

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	May 4, 2016
PROJECT:	New Construction: Single-Family Residential
APPLICANT:	Garfield and Nancy Moss
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicants, Garfield and Nancy Moss, request that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9575.** A Certificate of Appropriateness to allow the construction of a cottage of approximately 1,080 SF on a proposed subdivided lot from the main property identified as R610-039-00A-0306-0000, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 1,080 SF, is designed as an Additional Building Type in accordance to the allowable building types for the Neighborhood General-HD zoning district. The single-family residential structure contains features of the Cottage building type, but exceeds the allowable footprint. As a result, the structure is considered an Additional Building Type.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a cross gable roof with a wrap around porch on the front and north side elevation. Additional materials that are in keeping with the vernacular of Bluffton are the use of horizontal weatherboard, square columns, operable shutters, corner board trim, and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 4, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.18.3.B.** Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single family residence within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a recommendation regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 1. Section 5.15.6.H.1. Columns, Arches, Piers, Railing, Balustrades. The porch columns are shown at 8'-6" tall and spaced 7'-6" to 9'-6" apart on center. The UDO requires that columns shall be spaced no farther apart than they are tall. As a result, the column placement must be revised to meet the requirement.
 2. Section 5.15.6.G. Building Walls. The project analysis and drawings note the use of skim coat stucco over CMU piers at the foundation. The UDO states that exposed foundation walls shall be tabby stucco (mixed shell size only) or stucco over block or concrete (sand-finished or steel trowel only). Additional information must be provided to ensure that the type of stucco finish proposed meets the above requirements.
 3. Section 5.15.6.N. Corners and Water Tables Corners. The proposed elevations depict water table trim with a 1X10 skirt board. The UDO has design criteria for the dimension and configuration of water table trim that states the material must be a 2X material. The skirt board portion of the water table trim must be modified to a 2X material to meet the requirements of the UDO.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

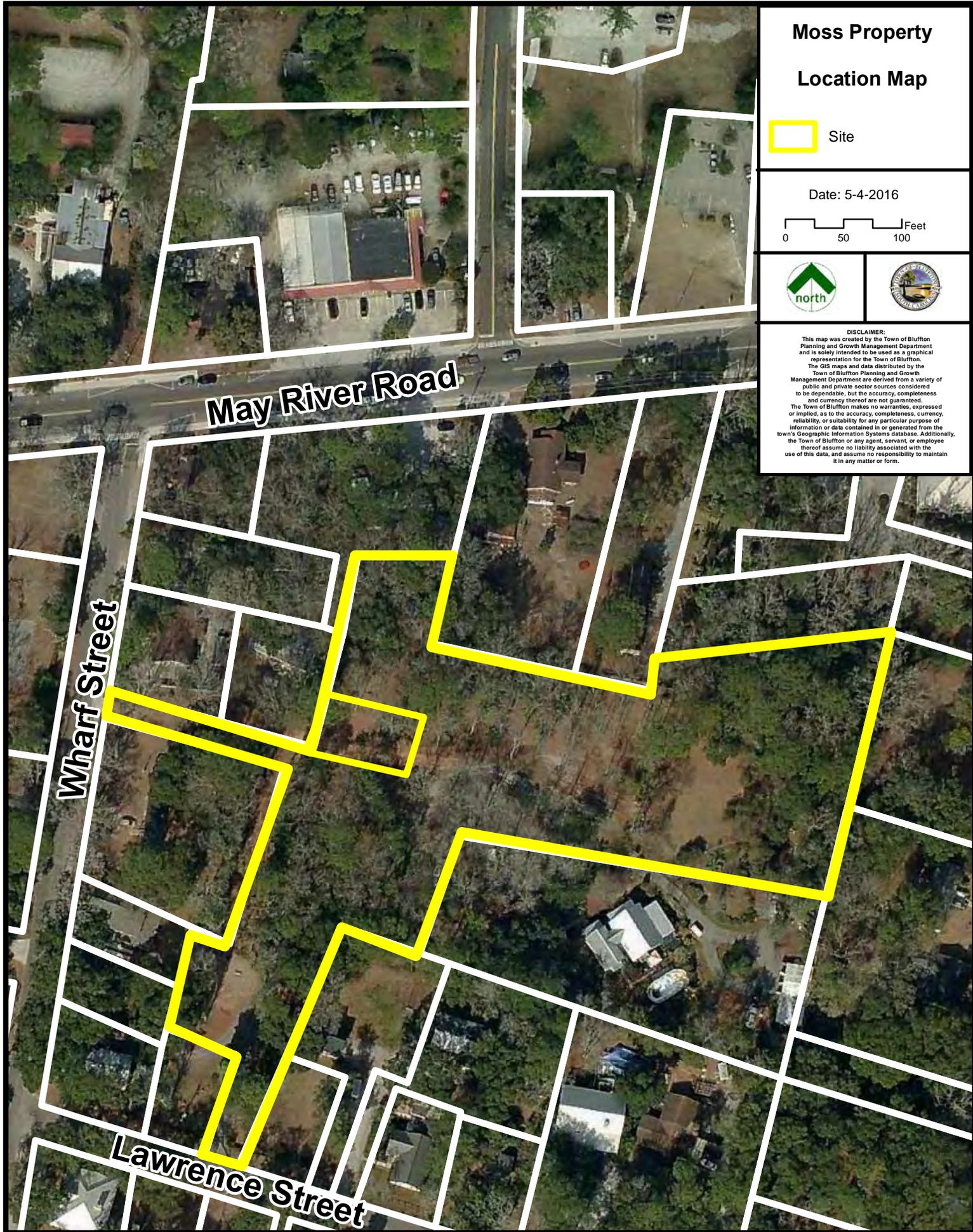
Finding. The application has been reviewed by Town Staff and has been determined to be complete. It should be noted that a Town of Bluffton Tree Removal Permit is required for any proposed tree removal over 14 inches diameter at breast height (DBH).

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.G. of the UDO, additional information must be provided to ensure that the type of stucco finish proposed meets the requirements of the UDO.
2. Per Section 3.22.2.A of the UDO, a Town of Bluffton tree removal permit is required for the removal of any tree, 8 inches in diameter at breast height (DBH) that is proposed for removal.
3. Per Section 5.15.6.H.1. of the UDO, the column spacing must be revised to be no farther apart than they are tall.
4. Per Section 5.15.6.N. of the UDO, the skirt board portion of the water table trim must be modified to a 2X material to meet the requirements of the UDO.

ATTACHMENTS:

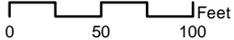
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



**Moss Property
Location Map**

 Site

Date: 5-4-2016



DISCLAIMER:
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**Moss Property
R610 039 00A 0306 0000
New Construction
Zoning Map**

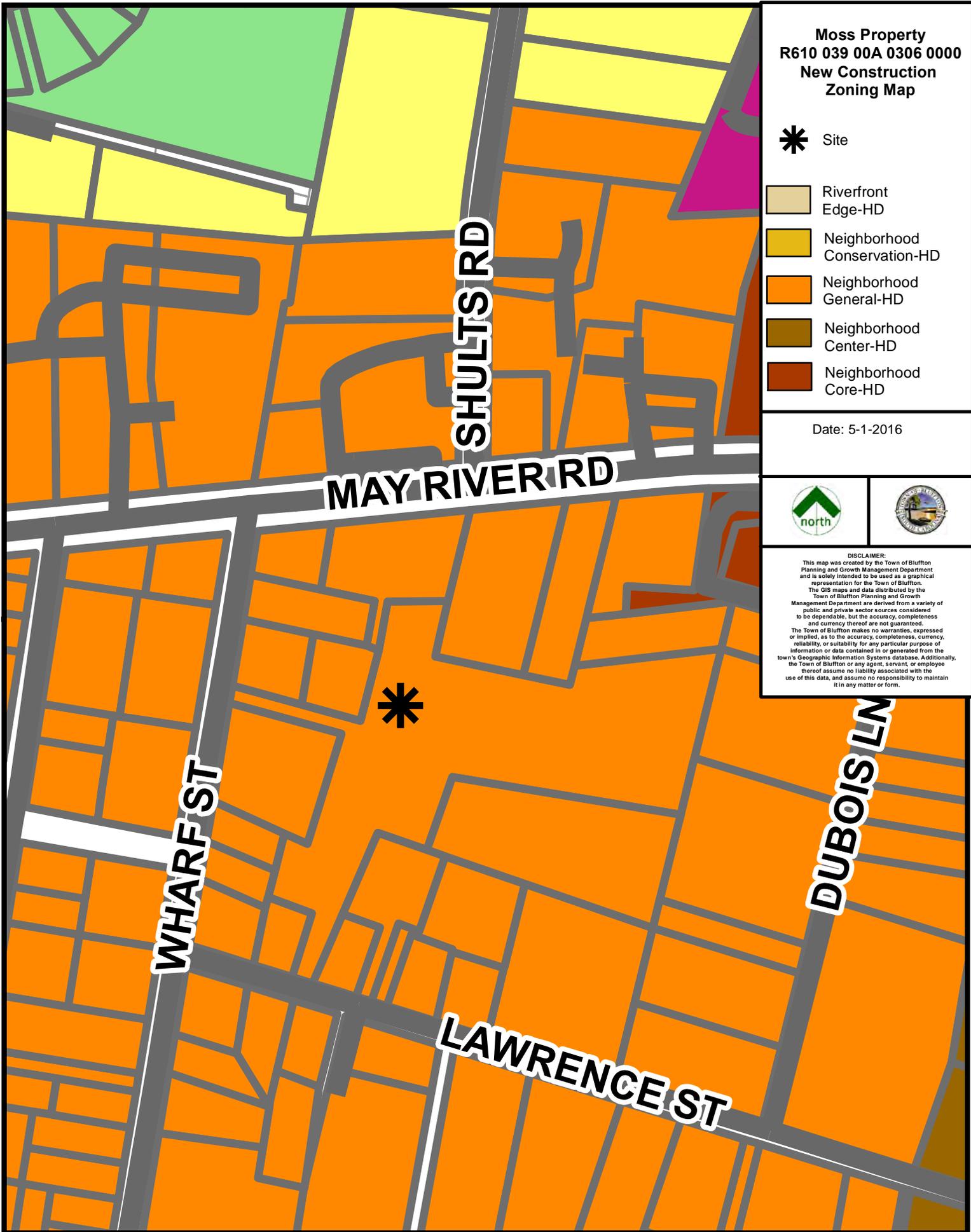
 Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 5-1-2016



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TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS –
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

**Garfield and Nancy R. Moss for
Hannah F. Moss Cottage Project
P. O. Box 433
Bluffton, SC 29910
(843) 227-8615**

April 8, 2016

NARRATIVE

DATE: April 8, 2016

SUBJECT: 17 Lawrence Street, Bluffton, SC 29910
PROPERTY: District 610, Map 039-A, Parcel 306

PROPOSED
USE: Residential, Single-Family Home

OWNERS &
APPLICANTS: Garfield and Nancy R. Moss for Hannah F. Moss

We have submitted a Subdivision Application to request that the Town of Bluffton approve our request to survey a 55'x80' lot from parcel R610-039-00A-0306-000 in order to build the house design within this current COA-HD Application. It is our desire to work with the Town of Bluffton to get our project approved by submitting both the Subdivision and Certificate of Appropriateness Applications simultaneously.

Our daughter, Hannah F. Moss, grew up and lived on our property her entire life, located at 5 Lawrence Street, Bluffton, SC 29910 (R610-039-00A-02320-0000). Hannah would like to build a small, affordable starter "Cottage-Style" home on our family property. We have hired a Land Surveyor (Robert D. Trogdon) licensed in the State of South Carolina to survey a 55'x80' lot from parcel number R610-039-00A-0306-0000 to title a separate lot in order for her to secure financing to construct a home. We have attached a copy of the new 55'x80' parcel in question for your review and processing of this Certificate of Appropriateness – HD request. The proposed 55'x80' lot is on the west portion of our property adjacent to drive off of Wharf Street. This portion of our property has an open area to allow for the construction of this structure. There is a 32" diseased Live Oak tree in the center of the proposed lot which must be removed to accommodate this new structure. We will apply for a Tree Removal Permit before tree removal begins.

In summary, we would like to build a similar, but smaller, version of the historic Graves House for our daughter, Hannah Moss. The proposed affordable single-family structure is a one-story house with 1,080 square feet of heated space with a 592 SF covered front and side wrap-around porch.

The proposed roof structure will consist of two intersecting gables, with a window within each gable end; four (4) total. The proposed roof material is 5 "V" crimp galvalume metal screwed in place. The roof overhang for both the main dwelling and the front and side wrap-around porch will be 12".

The exterior siding on the house and within the gable ends will consist of horizontal Hardie plank siding with raised wood grain finish. The corner trim will be ¾" x 3 ½" Hardie trim boards with a smooth finish. The soffit material will consist of Hardie board panels. The fascia boards will

be 1x8 wood with 1x4 wood trim boards. The siding, corner trim, soffits and fascia & trim boards will be painted white.

The proposed covered porch will be built across the front of the dwelling and wrap around to the right side of the dwelling. The porch roof material will match the main house roof material (silver-colored 5"V" crimp galvalume metal) and will have 12" overhangs with exposed rafter tails. We propose to install wood 6x6 columns and a 36" high wood hand railing system around the perimeter of the front and side porches and on each side of the steps. The proposed deck material will be either 5/4" PT deck boards painted Charleston Green or Light Brown Trex deck boards. The columns and balustrade will be painted white. The handrail cap will be painted Charleston Green.

The proposed doors on the front, side and rear of the structure will be wood with full lite glass. The trim around the doors will be 3 1/2" fiber cement smooth Hardie trim boards. Both the doors and trim will be painted Charleston Green.

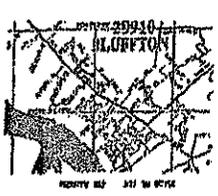
The proposed double-hung windows will consist of white vinyl framing and sashes with operable wood shutters. The shutter dogs will consist of one galvanized eye-hook secured to the back-side of each shutter which will be inserted into a galvanized screw eye installed on the siding boards behind the shutter. The proposed window trim will be 3 1/2" fiber cement smooth Hardie trim boards. The window trim and shutters will be painted Charleston Green.

The proposed structure will rest upon raised masonry piers using 12x12 concrete blocks, 32" high. A stucco skim coat will be applied over the concrete block and colored gray. Ninety-degree wood lattice skirting with a 2x4 frame will be installed between each masonry pier. The skirting and frame will be painted Charleston Green.

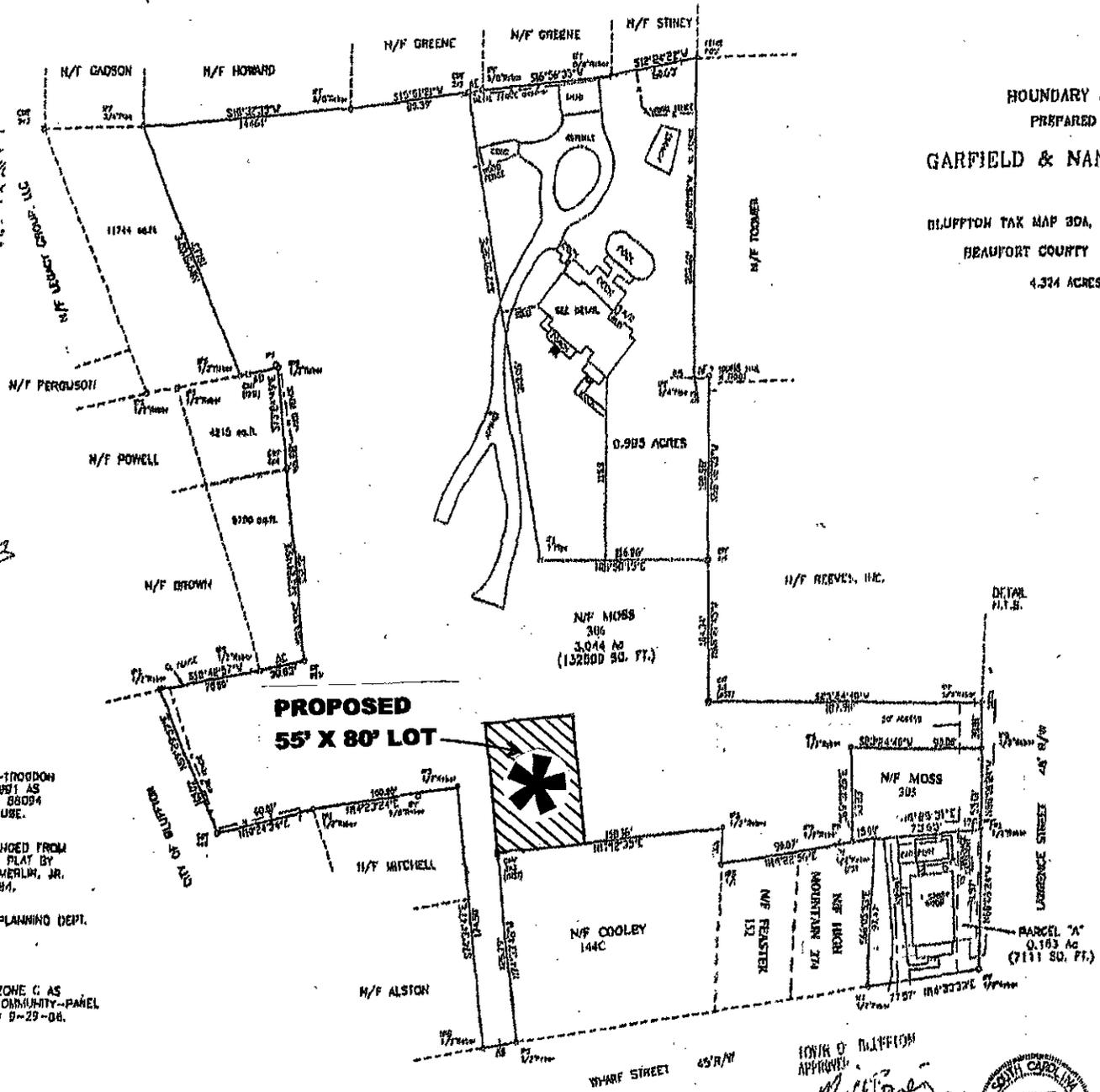
Our proposed lot is rectangular in shape and was placed to match as close as possible to the Town of Bluffton's Master Plan for our property. The dimension of the new parcel is 55' wide x 80' in length. The proposed lot would have .101 acres. This proposed lot is zoned Neighborhood General Historic District which is surrounded by residential parcels. We propose to install a 6' PT pine 4" dog-ear wood panel fence per the landscape plan attached to block the unsightly view of the accumulated debris/junk and inoperable cars behind the mobile home at parcel #144C.

There is access to this proposed 55'x80' lot from both Lawrence Street and Wharf Street.

Finally, there are underground utility lines for water, sewer, electricity and cable available on parcel R610-039-00A-0306-0000 to service the proposed 55'x80' lot.



BOUNDARY SURVEY
 PREPARED FOR
GARFIELD & NANCY R. MOSS
 BLUFFTON TAX MAP 30A, PARCELS 2 & 2B2
 BEAUFORT COUNTY SOUTH CAROLINA
 4.374 ACRES TOTAL



NEI	BEARING	DISTANCE
1	S 89° 52' E	100.00
2	N 89° 52' W	100.00
3	S 89° 52' E	100.00
4	N 89° 52' W	100.00

LEGEND:
 PP - POWER POLE
 TV - CABLE BOX
 TB - TELE BOX
 SBMM - SEWER MANHOLE

BEAUFORT COUNTY REC-006
 BY 00133 PZ 0016
 DATE 08/20/07 12:00:45 PM
 WCT # 00000000 0000 00000

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE HIGHEST STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 2 SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCUMBRANCES OR PROJECTS OTHER THAN SHOWN.

REFERENCE PLAT BY JOHNSON-TROGDON SURVEYORS DATED JUNE 20, 1991 AS RECORDED IN JUDGEMENT ROLL 88094 IN BEAUFORT COUNTY COURTHOUSE.

NOTE: BOUNDARY OF NE CORNER CHANGED FROM JOHNSON-TROGDON REFERENCE PLAT BY ORDER OF JUDGE THOMAS KEMMERLIN, JR. FILED IN JUDGEMENT ROLL 88094.

NOTE: R/W PER TOWN OF BLUFFTON PLANNING DEPT.

THIS PROPERTY IS LOCATED IN ZONE C AS DETERMINED BY FEMA FIRM COCOMMUNITY-PANEL NUMBER 450291 0001 D, DATED 9-29-06.

R610-030-00A-0144-0000
 R610-039-00A-0232-0000

NOT TO SCALE

REVISED 11-14-04 - ADDED AREA FIGURES FOR PARCELS ON NORTH-LINE BOUNDARY
 REVISED 07/09/07 CREATING PARCELS "A", "B" & "C"

TOWN OF BLUFFTON APPROVED

Mark Green

FILED 08/20/07
 10:03 AM



David S. Youkaris RLS 0708
 DAVID S. YOKARIS
 BEAUFORT SURVEYING, INC.
 1018 PARIS AVENUE
 BEAUFORT, S.C. 29936
 PHONE (843) 624-3363 626-1176

MOSS Construction
 P. O. Box 433, Bluffton, SC 29910
 (843) 227-8615

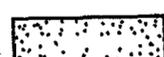
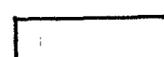


**HANNAH F. MOSS
 COTTAGE PROJECT**
 BLUFFTON, SOUTH CAROLINA 29910

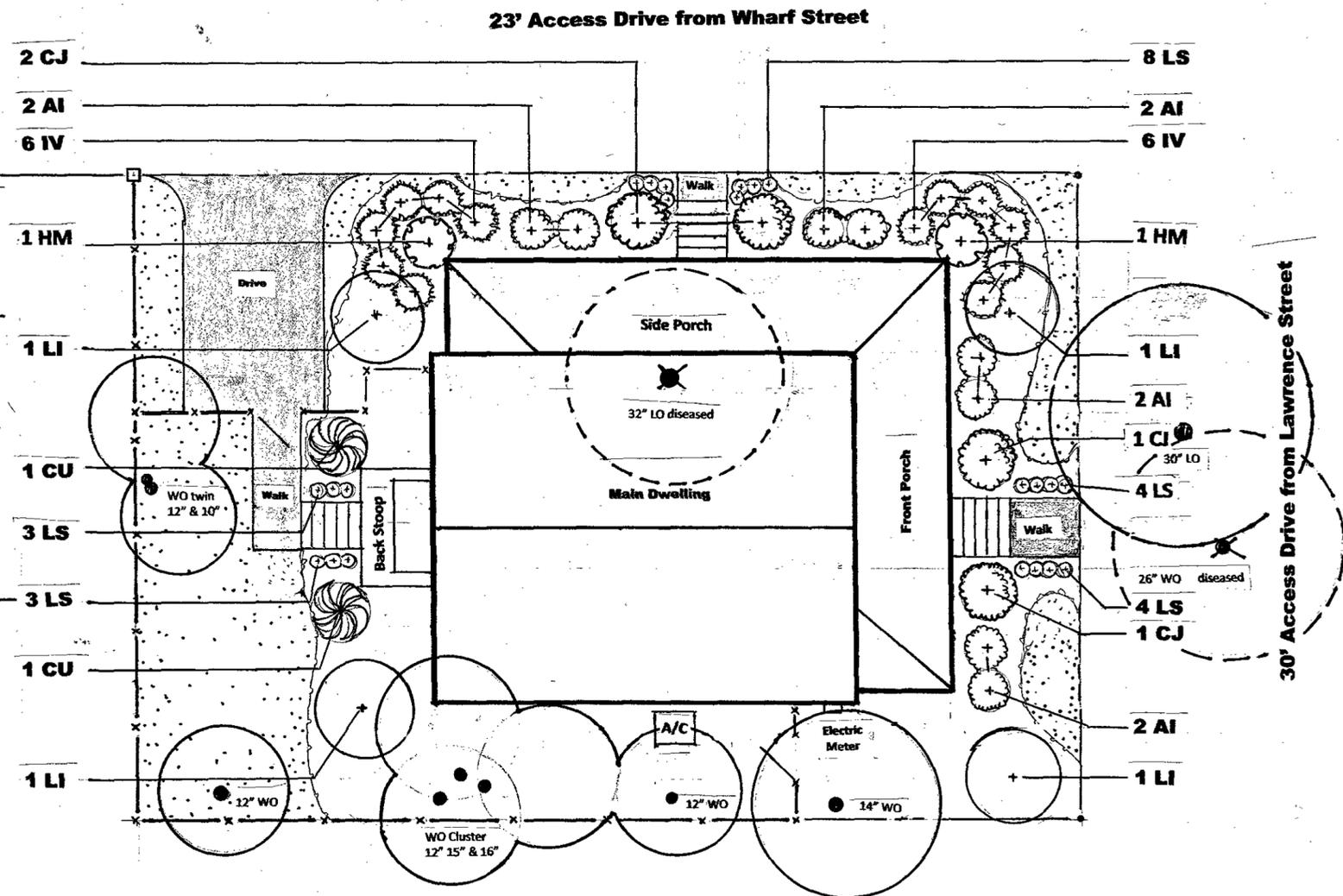
PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
LI	Lagerstroemia indica	Crape Myrtle	7 gal.	4 ea.	Multi-stem
AI	Azalea indica	Indian Azalea	3 gal.	8 ea.	White flowers
CJ	Camellia japonica	Camellia	3 gal.	4 ea.	White flowers
CU	Caryota urens	Sago Palm	3 gal.	2 ea.	
HM	Hydrangea macrophylla	Bigleaf Hydranga	3 gal.	2 ea.	Blue flowers
IV	Ilex vomitoria 'nana'	Dwarf Yaupon Holly	3 gal.	12 ea.	
LS	Liriope spicata	Creeping Lilyturf	1 gal.	22 ea.	Blue flowers

KEY:

-  Gravel (5 CYDS)
-  Lawn Area (1,015 SF or 2 pallets)
-  Pine Straw Mulch (1,385 SF or 23 bales)
-  Proposed 6' Wood Panel Privacy Fence with Dog-Ear Slats (136 LF)
-  Property Line

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
- LO Live Oak
- WO Water Oak



LANDSCAPE PLAN

SCALE: 1" = 10'-0"
 DRAWN BY: NRM
 DATE: 3/22/2016
 rev. 4/6/2016
SHEET 7



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(843) 227-8815

**HANNAH F. MOSS
COTTAGE PROJECT
BLUFFTON, SOUTH CAROLINA 29910**

26 GAUGE METAL 5 V CRIMP ROOFING OVER 1/2" PLYWOOD SHEATHING COVERED W/ #15 FELT PAPER

2x8 ROOF RAFTERS @ 16" O.C. W/ GALV. METAL HURRICANE CLIPS @ EA. RAFTERS.

2x8 PT. BLOCKING W/ (1) 2" DIA. SCREEN BACKED VENT HOLES PER VOID BETWEEN RAFTERS

2x4 KNEE WALL @ 16" O.C.
PLYWOOD FLOOR
12" OVERHANG

1/2" PLYWOOD SHEATHING COVERED W/ HOUSE WRAP
2x10 JOIST @ 16" O.C. OR ENG. I-BEAMS W/ R-30 INSULATION
(2) 2x4 TOP PLATE

1x5 HORIZONTAL HARDI PLANK SIDING BOARDS
2x4 STUD WALLS @ 16" O.C. W/ R-13 BATT INSULATION
2x4 PERLIN BLOCKING @ MID-SPAN

2x4 BOTTOM PLATE
3/4" CDX T+G PLYWOOD SUB-FLOOR GLUED & NAILED
(3) 2x10 GIRDER NAILED & GLUED
RIPPED 2x4 PT DRIP EDGE
1x10

STUCCO SKIM-COAT (TYP.)
(1) 2x8 PT. SOLE PLATE
12" CMU PIER FILLED W/ CONC.
CONC. FOOTING

TYPICAL BUILDING SECTION
1/2" = 1'-0"

26 GAUGE METAL 5 V CRIMP ROOFING OVER 1/2" PLYWOOD SHEATHING COVERED W/ #15 FELT PAPER.

2x8 PT RAFTERS @ 16" O.C. (TRIM BOTTOM CORNER) & HURRICANE CLIPS @ EA. RAFTER

2x8 PT. BLOCKING W/ ONE SCREEN PER VOID

RIPPED 2x4 BLOCKING
1" CORNER MOLDING
2x6 CEILING JOISTS @ 16" O.C. SECURED TO (2) 2x4 BEAMS
3/8" BEAD BD, CEILING

(2) 2x8 PT W/ 3/4" PLYWOOD CENTER & 2x4 BOTTOM WRAPPED W/ 1x10 SIDES & 1x6 BOTTOM

6x6 PT TIMBER COLUMN
12" OVERHANG

FRONT PORCH RAFTER DETAIL
1/2" = 1'-0" (RELOCATED PORCH)

26 GAUGE METAL 5 V CRIMP ROOFING OVER 1/2" PLYWOOD SHEATHING COVERED W/ #30 FELT PAPER

12" OVERHANG
2x8 PT BLOCKING W/ 1 SCREEN PER VOID

2x8 PT RAFTERS @ 16" O.C. (TRIM BOTTOM CORNER)

2x8 CEILING JOIST
(2) 2x4 PLATE
2x4 STUD WALL

1/2" PLYWOOD, HOUSE WRAP & 1x6 SIDING
1x4 TRIM BOARD OVER 1x10 PASCIA

HOUSE RAFTER DETAIL
1/2" = 1'-0"

SCALE: AS SHOWN

DRAWN BY: NRM

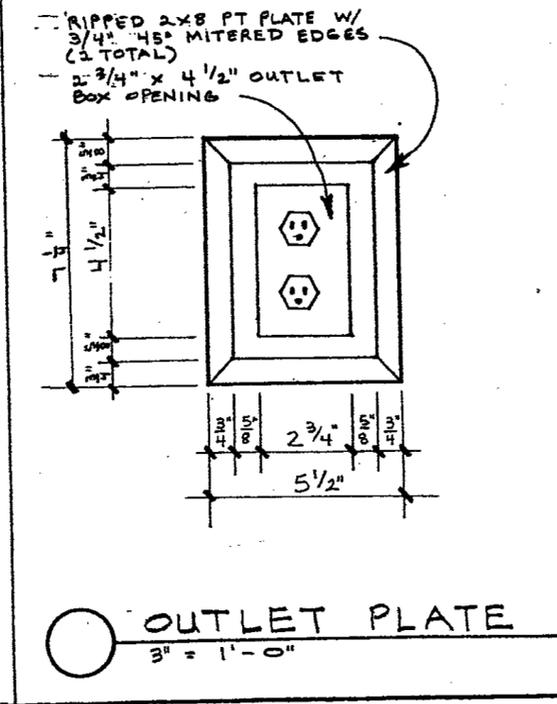
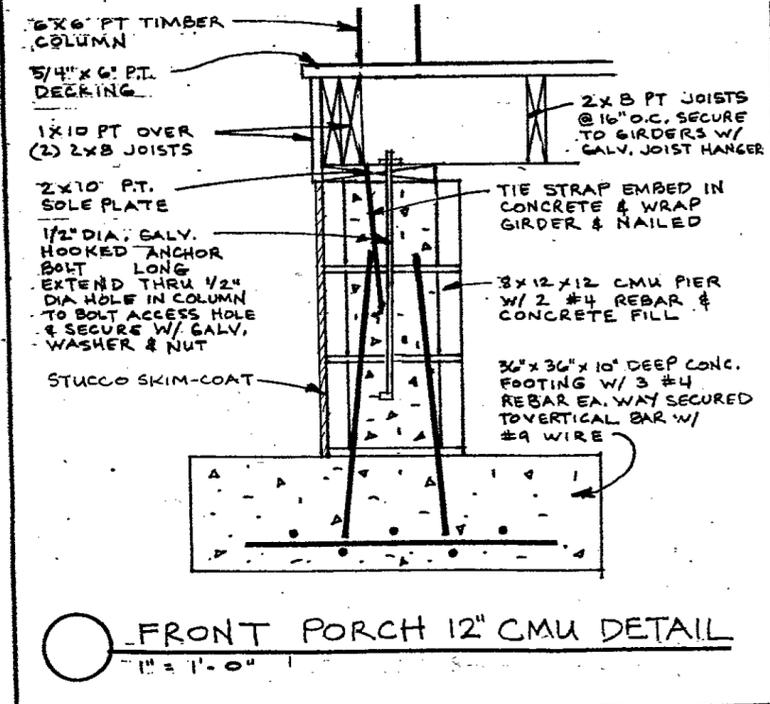
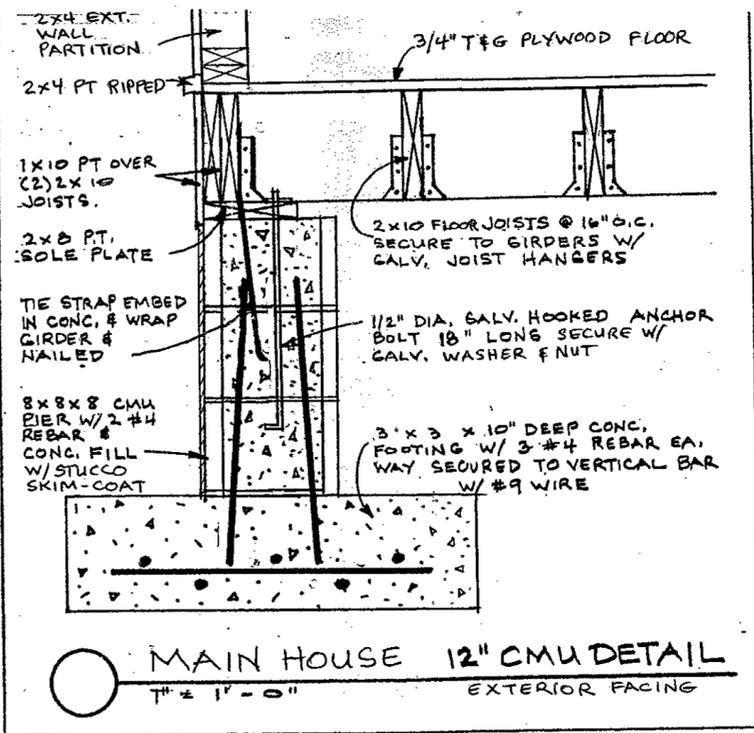
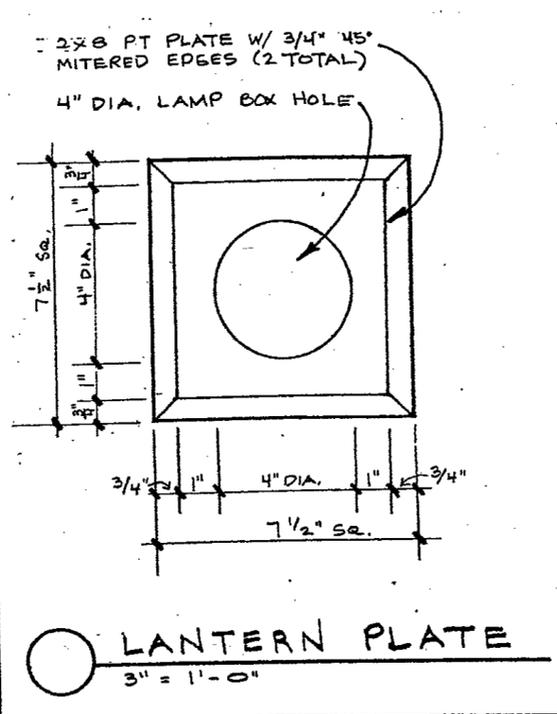
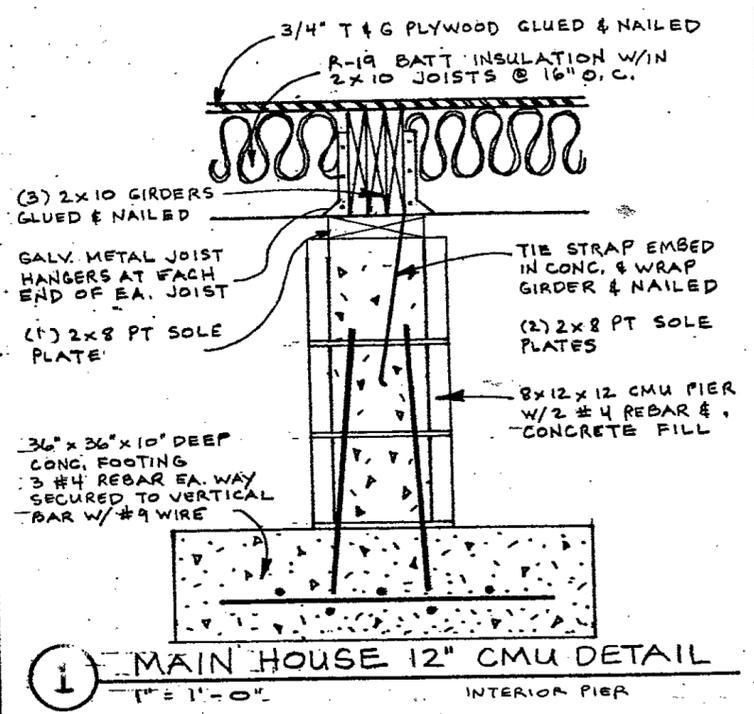
DATE:

SHEET



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COTTAGE PROJECT
BLUFFTON, SOUTH CAROLINA 29910**



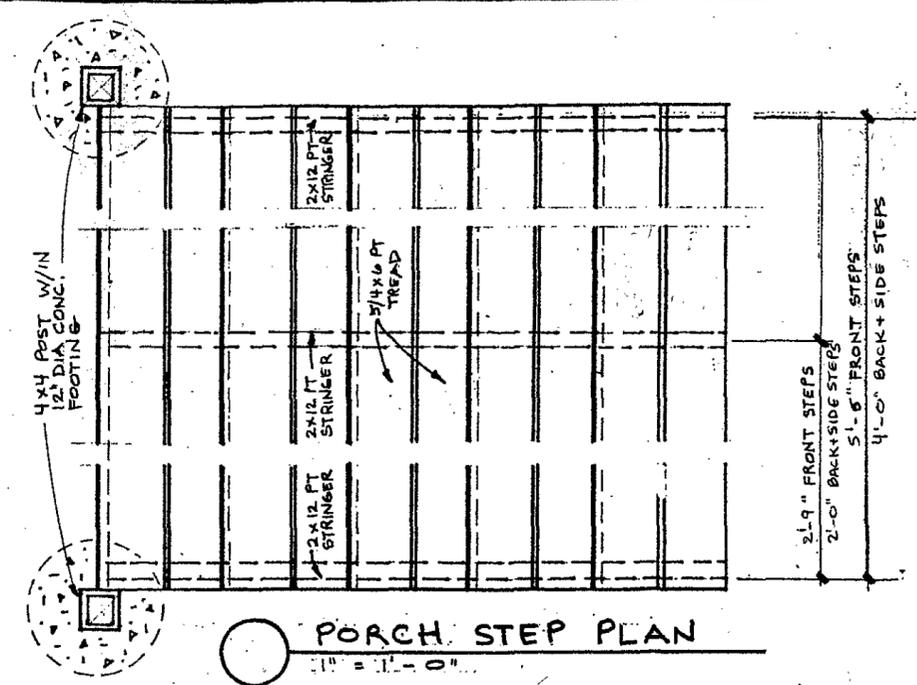
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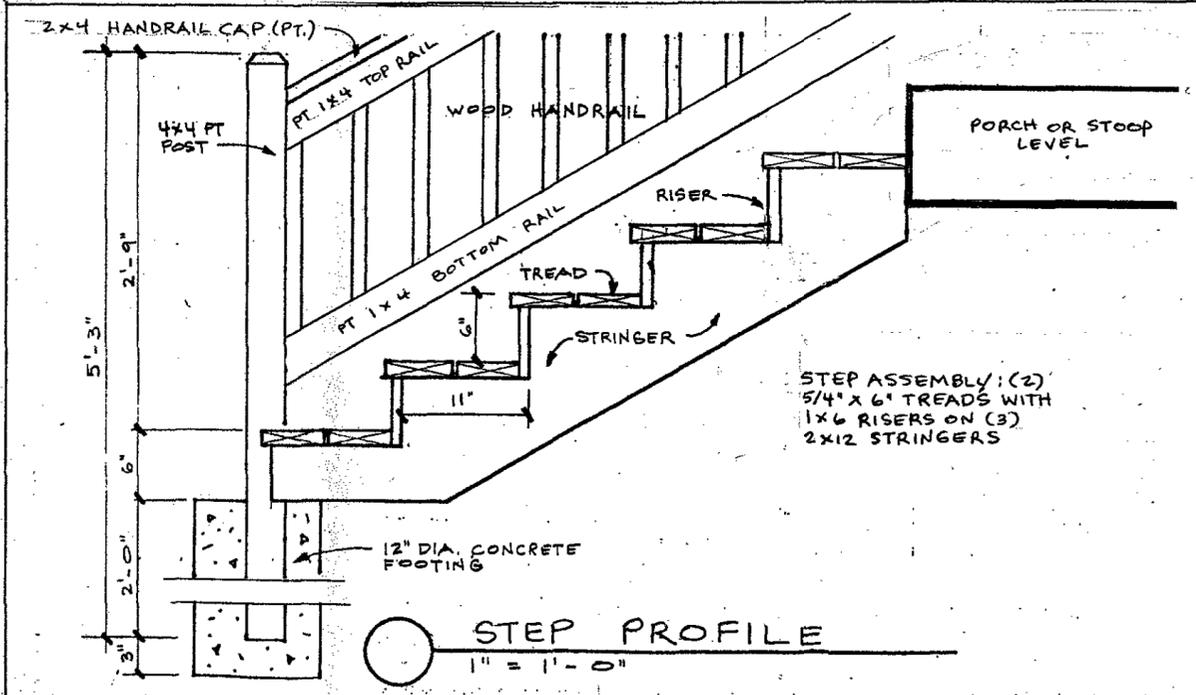
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HANNAH F. MOSS COTTAGE PROJECT BLUFFTON, SOUTH CAROLINA 29910

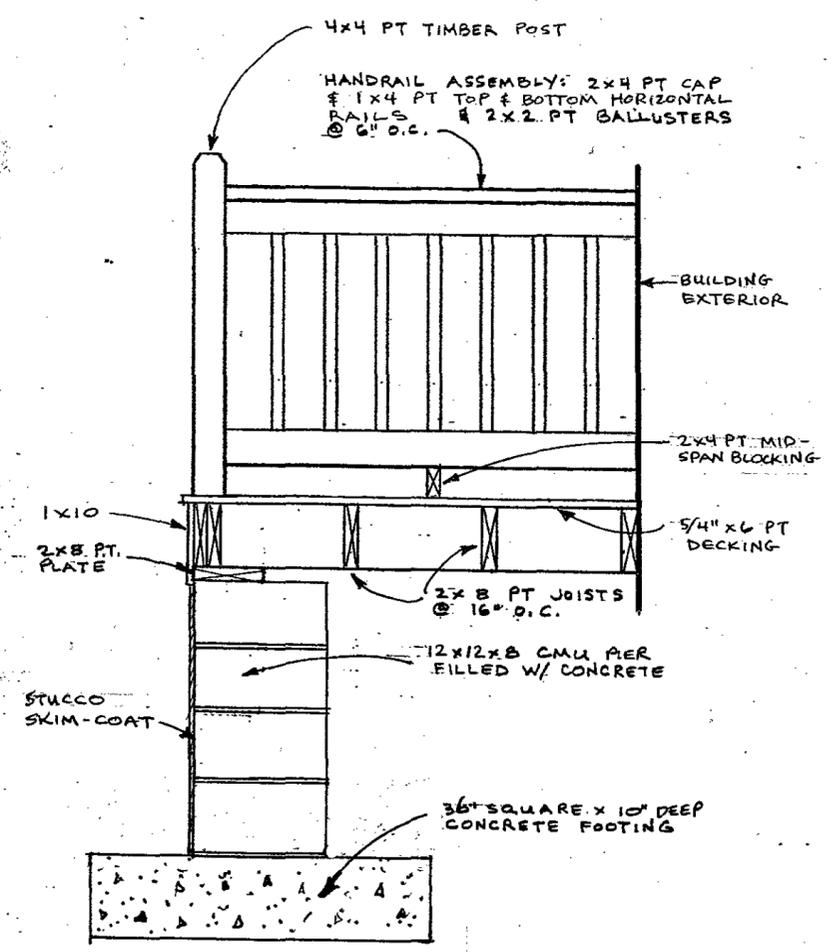
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DATE: 4/7/2016
SHEET



PORCH STEP PLAN
1" = 1'-0"



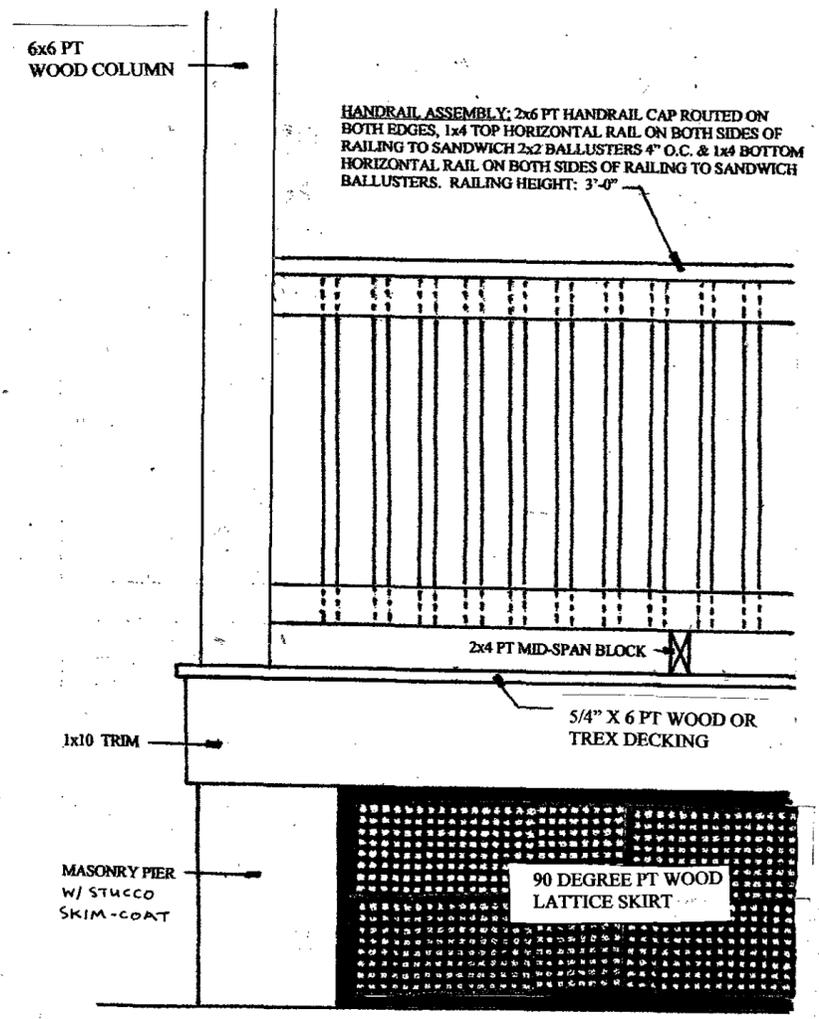
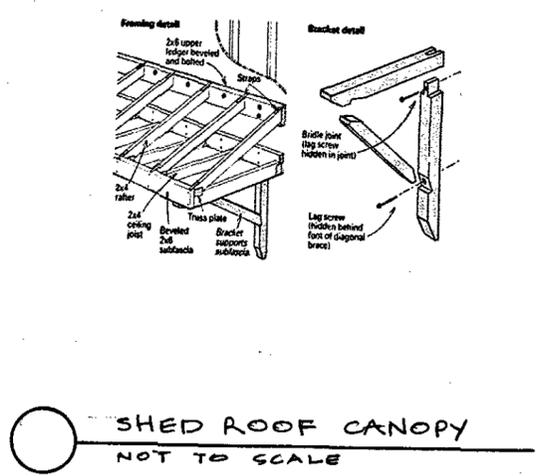
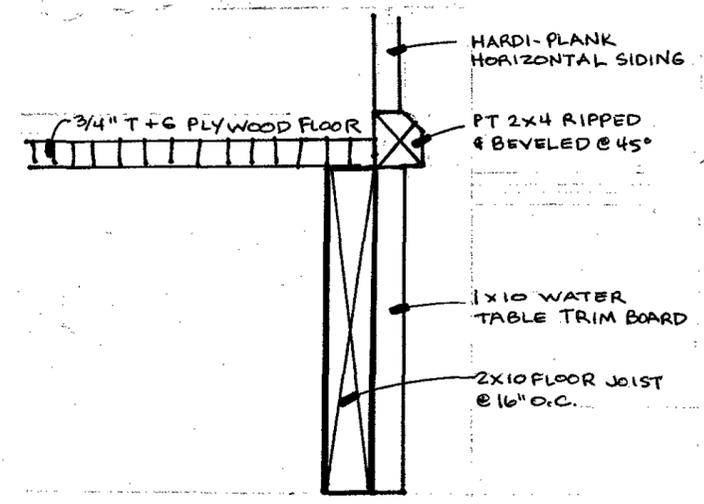
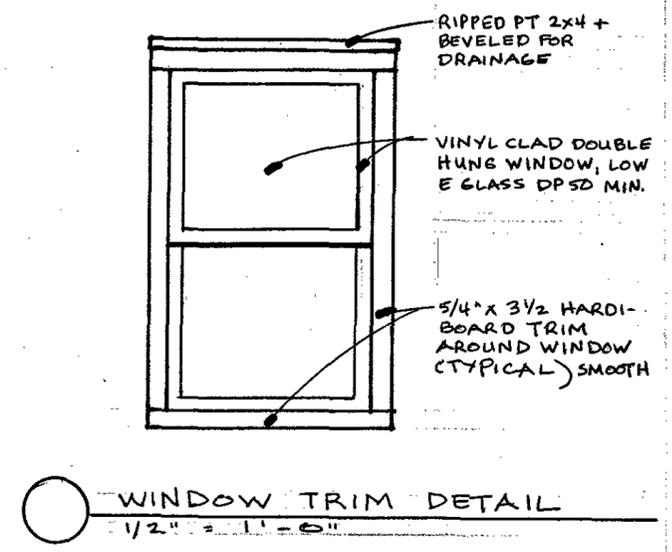
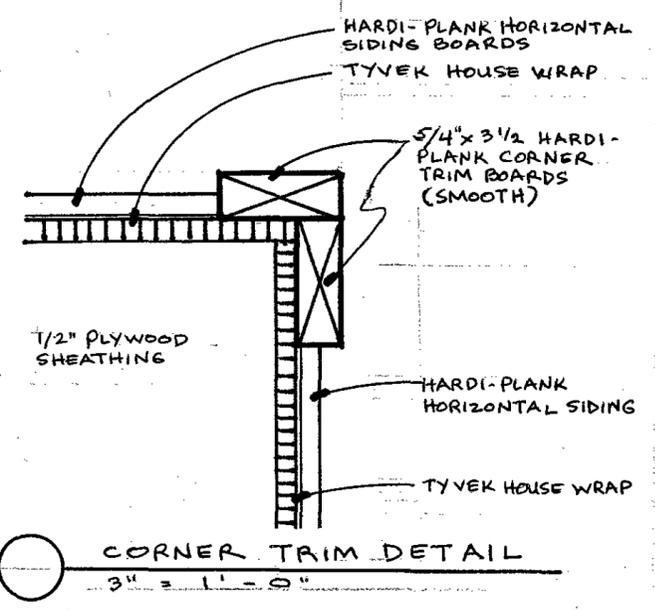
STEP PROFILE
1" = 1'-0"



BACK STOOP HANDRAIL/FOOTING
3/4" = 1'-0"

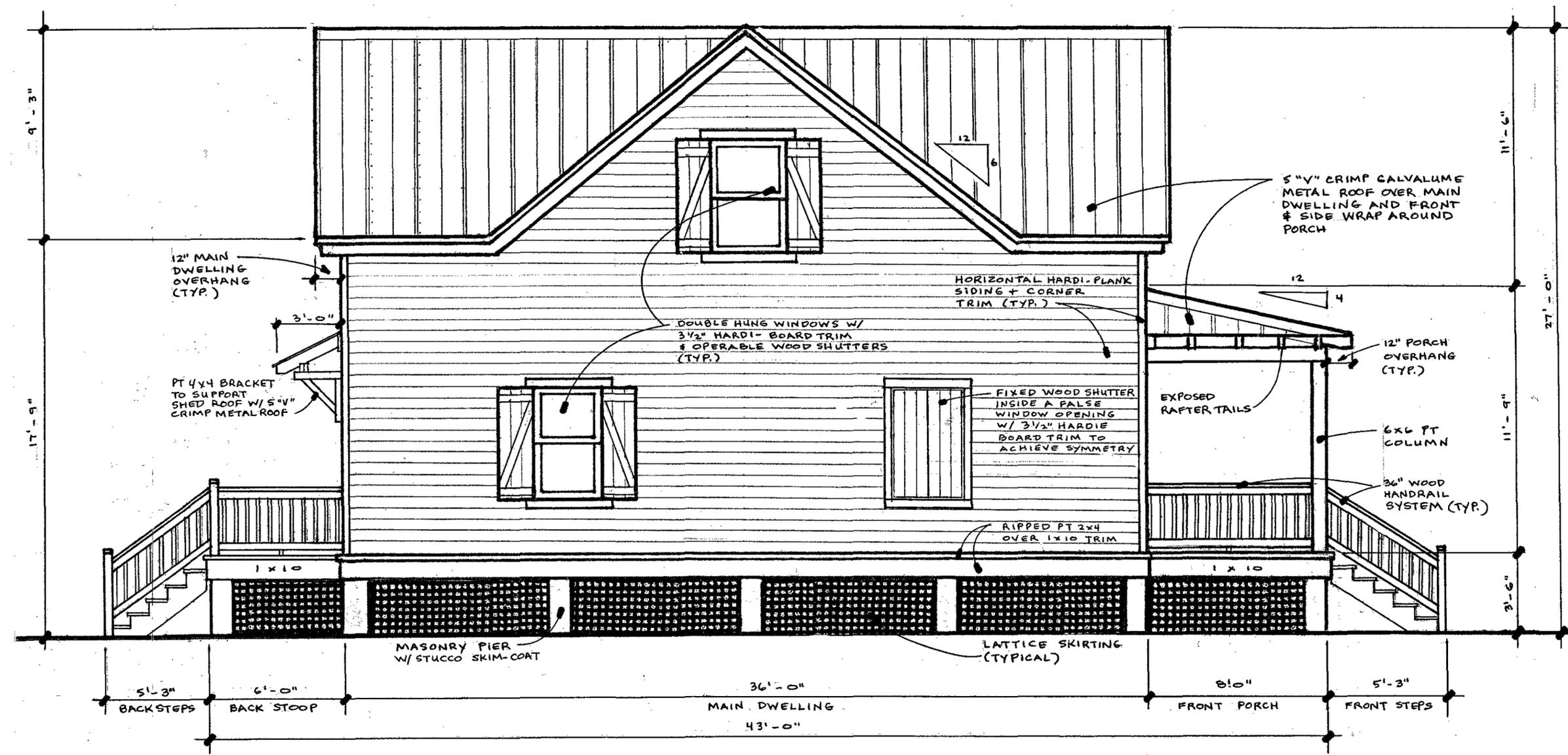


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**HANNAH F. MOSS
 COTTAGE PROJECT**
 BLUFFTON, SOUTH CAROLINA 29910

**HANNAH F. MOSS
 COTTAGE PROJECT
 BLUFFTON, SOUTH CAROLINA 29910**



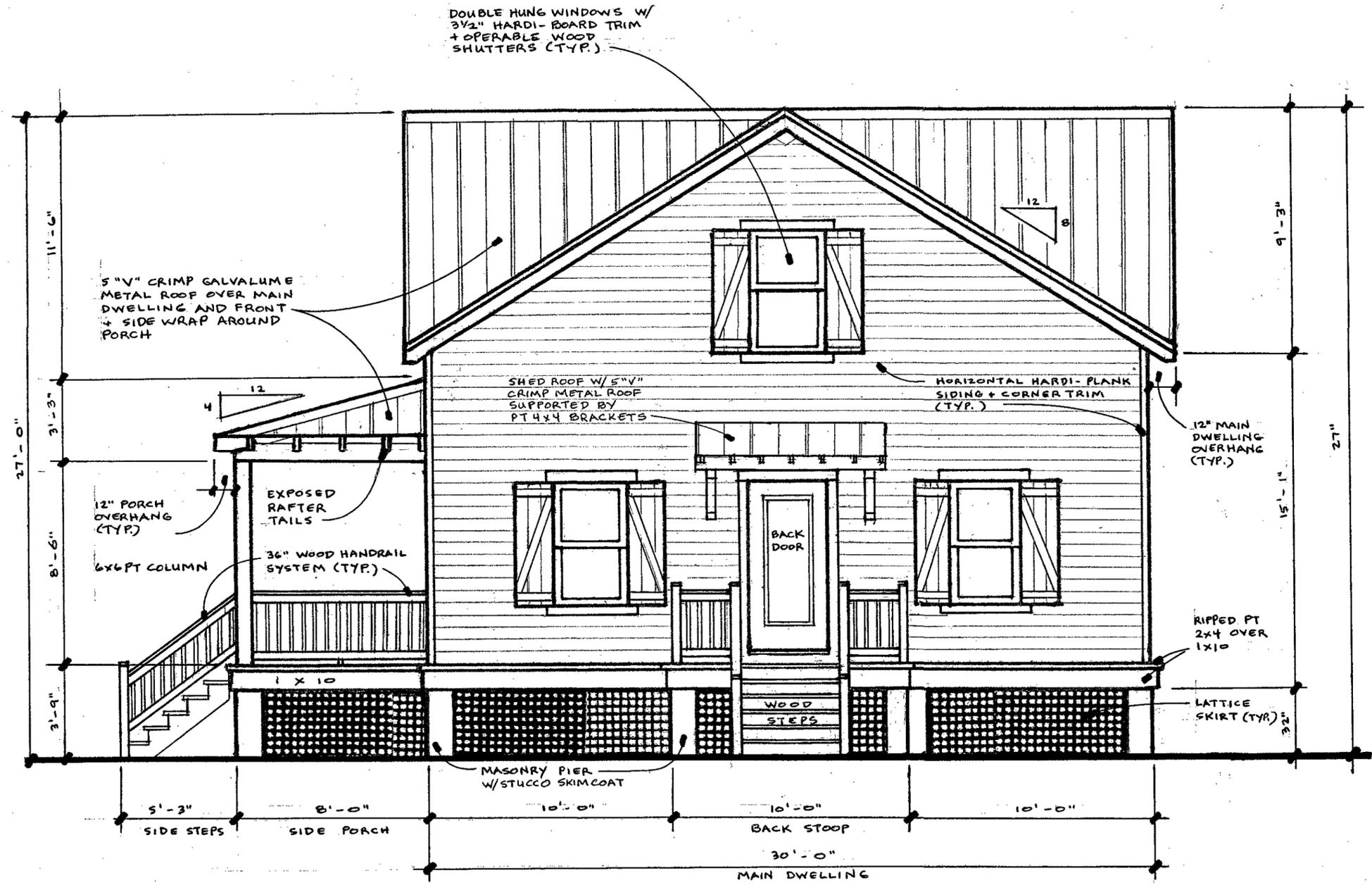
SOUTH ELEVATION



MOSS Construction
 P. O. Box 433, Bluffton, SC 29910
 (843) 227-8815



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WEST ELEVATION

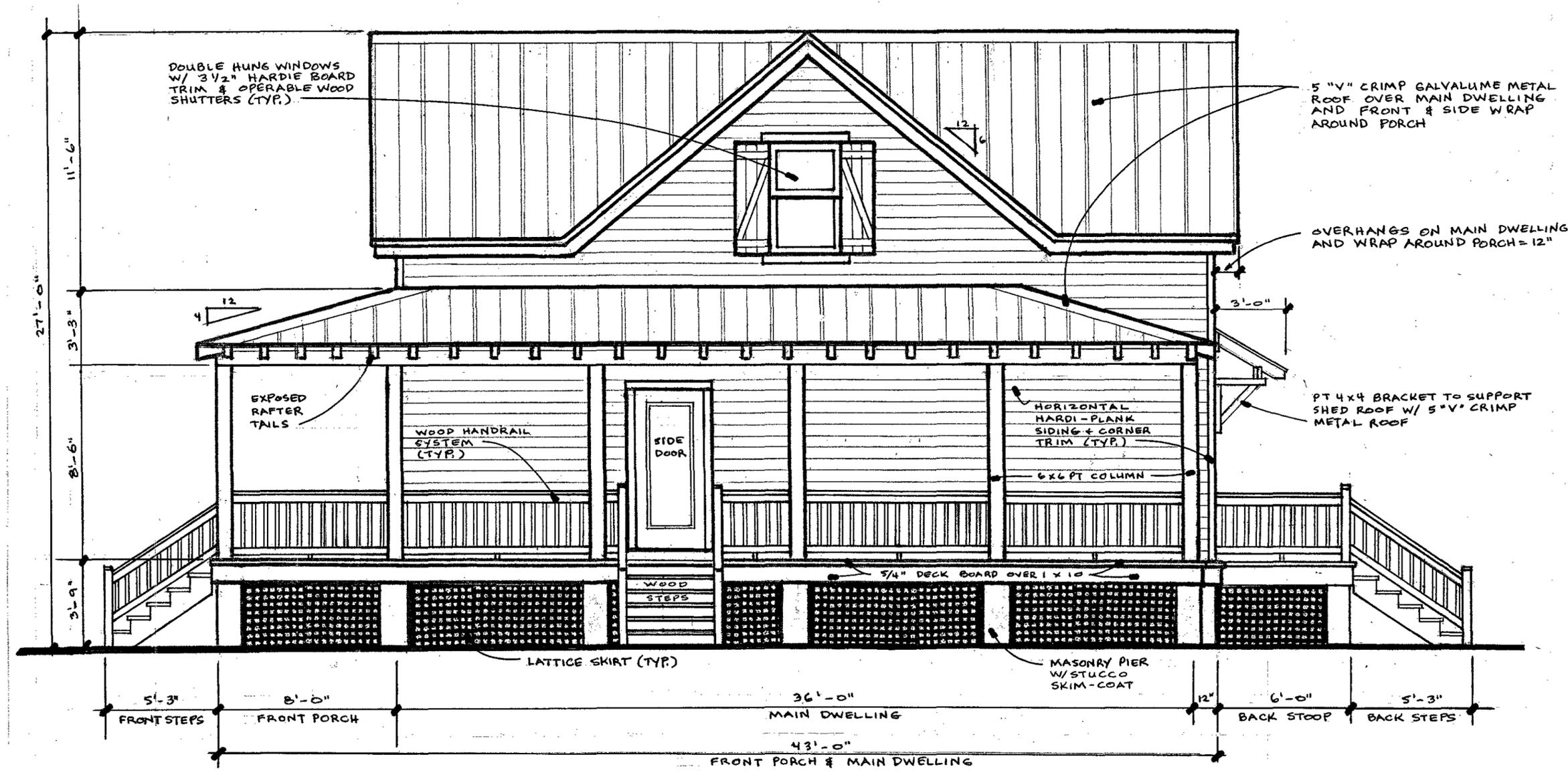
SCALE: 1/4" = 1'-0"
 DRAWN BY: NRM
 DATE: 3/18/2016
 rev. 4/6/2016
SHEET 5



MOSS Construction

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(843) 227-8815

**HANNAH F. MOSS
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NORTH ELEVATION

SCALE: 1/8" = 1'-0"
DRAWN BY: NRM
DATE: 3/19/2016
REV. 4/6/2016
SHEET 4

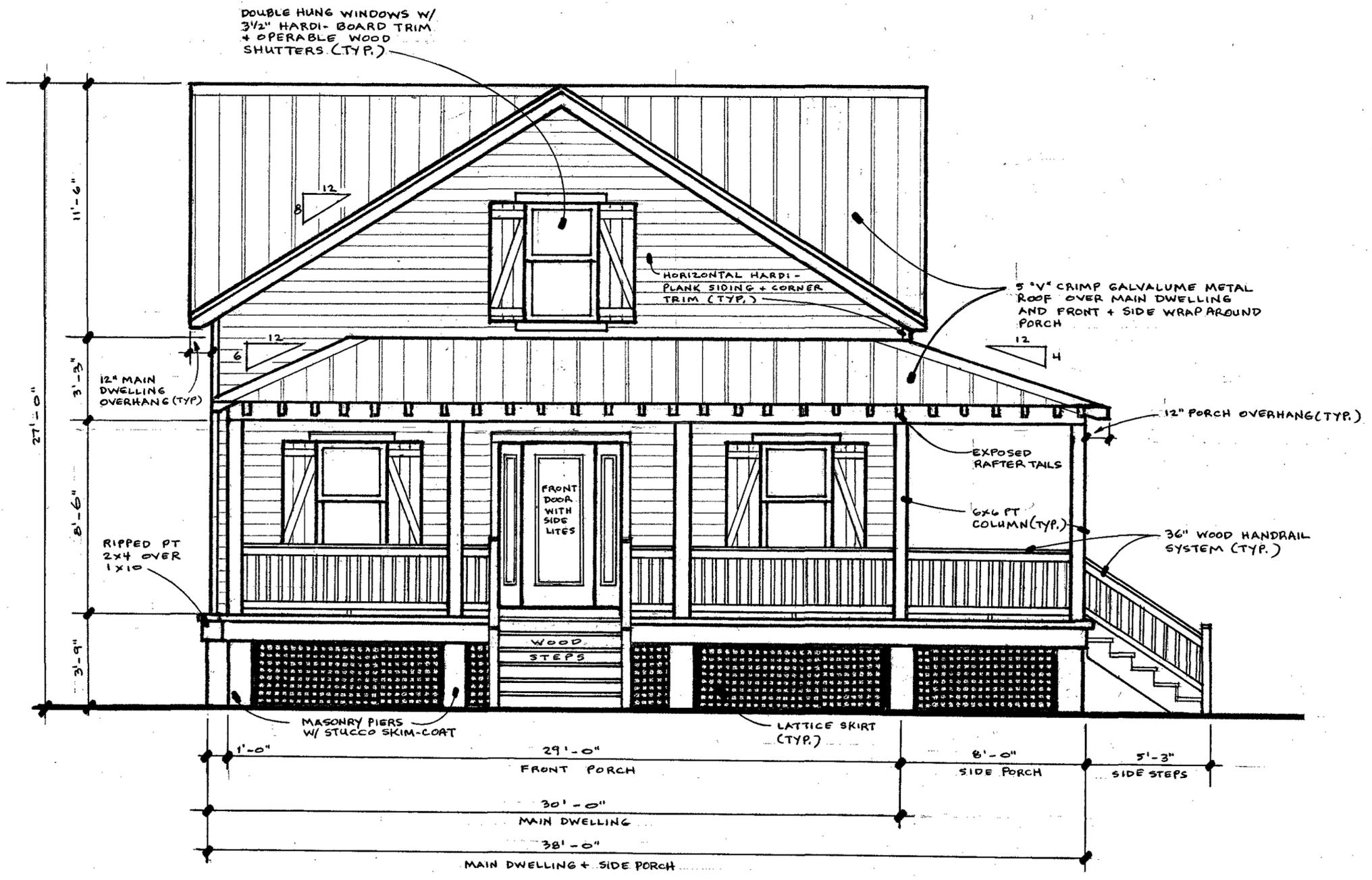


MOSS Construction

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(843) 227-8615



**HANNAH F. MOSS
COTTAGE PROJECT**
BLUFFTON, SOUTH CAROLINA 29910



EAST ELEVATION

SCALE: 1/4" = 1'-0"

DRAWN BY: NRM

DATE: 3/19/2016
REV: 4/6/2016

SHEET 3

MOSS Construction
 P. O. Box 433, Bluffton, SC 29910
 (843) 227-8618



**HANNAH F. MOSS
 COTTAGE PROJECT
 BLUFFTON, SOUTH CAROLINA 29910**

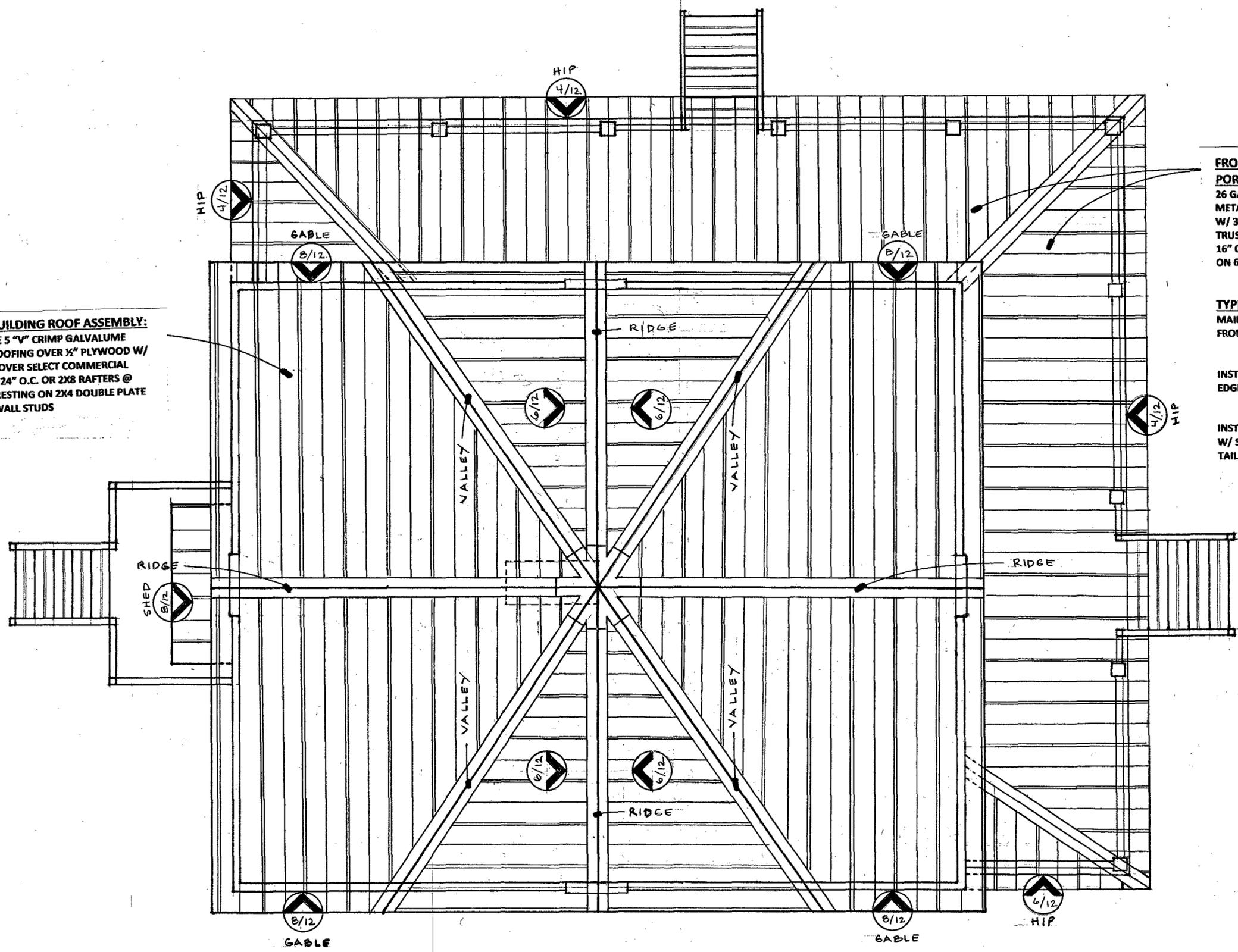
MAIN BUILDING ROOF ASSEMBLY:
 26 GAUGE 5 "V" CRIMP GALVALUME
 METAL ROOFING OVER 1/2" PLYWOOD W/
 30# FELT OVER SELECT COMMERCIAL
 TRUSS @ 24" O.C. OR 2X8 RAFTERS @
 16" O.C. RESTING ON 2X4 DOUBLE PLATE
 ON 2X4 WALL STUDS

**FRONT AND SIDE WRAP-AROUND
 PORCH ROOF ASSEMBLY:**
 26 GAUGE 5 "V" CRIMP GALVALUME
 METAL ROOFING OVER 1/2" PLYWOOD
 W/ 30# FELT OVER SELECT COMMERCIAL
 TRUSS @ 24" O.C. OR 2X6 RAFTERS @
 16" O.C. RESTING ON A DOUBLE 2X8 BEAM
 ON 6X6 TIMBER COLUMNS

TYPICAL OVERHANGS:
 MAIN DWELLING = 12"
 FRONT & SIDE WRAP AROUND PORCH = 12"

INSTALL METAL OR ALUMINUM DRIP
 EDGES ON ALL TYPICAL EAVES

INSTALL TWO 1 1/2" DIA. SOFFIT VENTS
 W/ SCREEN BETWEEN EACH RAFTER
 TAIL (TYP.)



ROOF PLAN

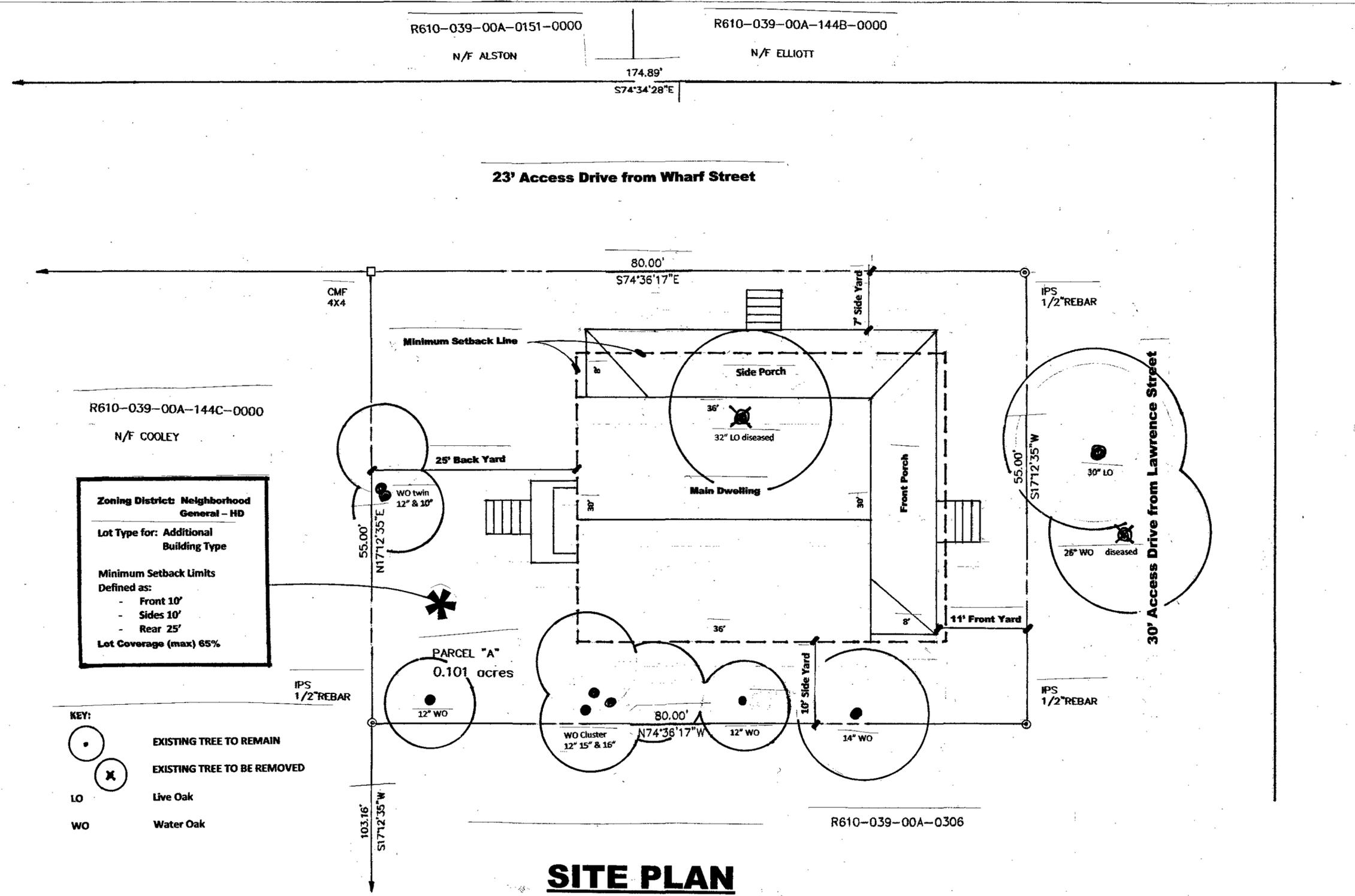
SCALE: 1/4" = 1'-0"
 DRAWN BY: NRM
 DATE: 3/20/2016
 REV: 4/6/2016
SHEET 2

MOSS Construction
 P. O. Box 433, Bluffton, SC 29910
 (843) 227-8615



**HANNAH F. MOSS
 COTTAGE PROJECT**
 BLUFFTON, SOUTH CAROLINA 29910

SCALE: 1" = 10'-0"
 DRAWN BY: NRM
 DATE: 3/18/2016 rev. 4/5/2016
 SHEET 1



R610-039-00A-144C-0000
 N/F COOLEY

Zoning District: Neighborhood General - HD

Lot Type for: Additional Building Type

Minimum Setback Limits Defined as:

- Front 10'
- Sides 10'
- Rear 25'

Lot Coverage (max) 65%

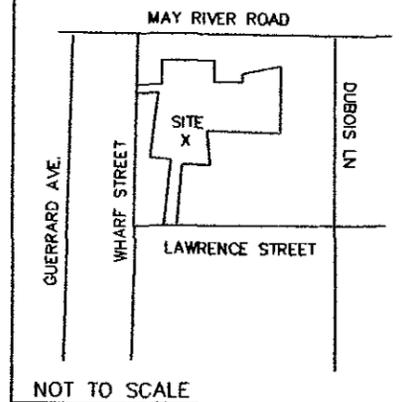
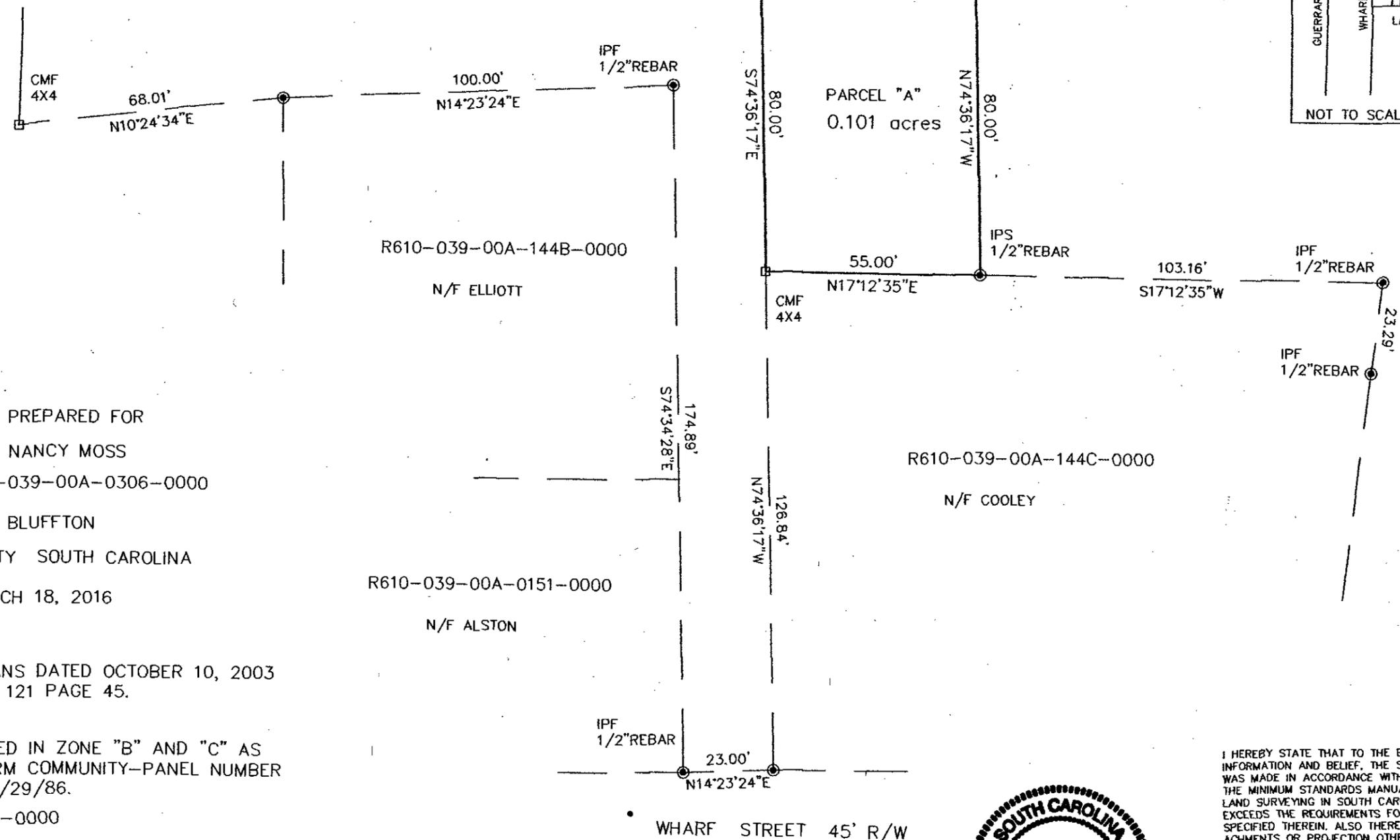
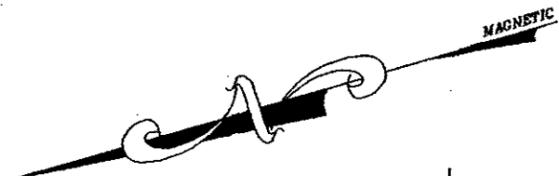
KEY:

- (Circle with dot) EXISTING TREE TO REMAIN
- (Circle with X) EXISTING TREE TO BE REMOVED
- LO Live Oak
- WO Water Oak

SITE PLAN

R610-039-00A-0306

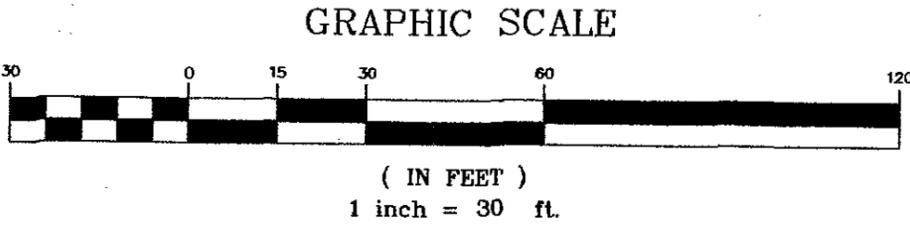
R610-039-00A-0306



LOT SURVEY PREPARED FOR
 GARFIELD & NANCY MOSS
 A PORTION OF R610-039-00A-0306-0000
 TOWN OF BLUFFTON
 BEAUFORT COUNTY SOUTH CAROLINA
 DATE: MARCH 18, 2016

REFERENCE PLAT:
 PLAT BY DAVID S. YOUMANS DATED OCTOBER 10, 2003
 RECORDED IN PLAT BOOK 121 PAGE 45.

THIS PROPERTY IS LOCATED IN ZONE "B" AND "C" AS
 DETERMINED BY FEMA, FIRM COMMUNITY-PANEL NUMBER
 450251 0001 D, DATED 9/29/86.
 PIN: R610-039-00A-0306-0000



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE,
 INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON
 WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
 THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF
 LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR
 EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS
 SPECIFIED THEREIN. ALSO THERE ARE NO VISIBALE ENCRO-
 ACHMENTS OR PROJECTION OTHER THAN SHOWN.

Robert D. Trogdon
 ROBERT D. TROGDON IV PLS 14819
 TROGDON SURVEYING
 52 FRANCIS MARION CIRCLE
 BEAUFORT, S.C. 29907
 PHONE (843)252-9219



PLAN REVIEW COMMENTS FOR COFA-03-16-009575

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 03/29/2016

Plan Status: Active **Plan Address:** 17 Wharf St
BLUFFTON, SC 29910

Case Manager: Erin Schumacher **Plan PIN #:** R610 039 00A 0306 0000

Plan Description: A request by Garfield and Nancy Moss for review of a Certificate of Appropriateness to allow the construction of a cottage of approximately 1,080 SF on a proposed subdivided lot from the main property identified as R610-039-00A-0306-0000, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the April 4th meeting.

Staff Review (HD)

Submission #: 1 Received: 03/30/2016 Completed: 04/01/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Addressing Review	03/31/2016	Theresa Thorsen	Not Required

Comments:
1. No comment.

Beaufort Jasper Water and Sewer Review	04/01/2016	Dick Deuel	Approved
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Comments:
1. No comment.

Engineering Department Review - HD	04/01/2016	Kendra Lelie	Approved
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Comments:
1. No comment.

Growth Management Dept Review (HD)	04/01/2016	Erin Schumacher	Approved
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Comments:

1. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal. It appears that 32" Live Oak is within the proposed building footprint. As such, a Tree Removal Permit must be submitted for review. (UDO Section 3.22.2.A.)
2. The proposed building is similar to the Cottage Building type, but exceeds the allowable footprint, so it must be reviewed as an Additional Building type. The required side setback for an additional building type in the Neighborhood General-HD zoning district is 10'. The side setback shown is 5' with the building placement at 7'. This does not meet the 10' setback requirement and must be revised or a variance application submitted to the Board of Zoning Appeals (BZA). (UDO Section 5.15.5.C.)
3. The porch columns are shown as 8' tall and are spaced 7-1/2' to 8-1/2' apart on center. The UDO requires that columns shall be spaced no farther apart than they are tall. The column placement must be revised to meet this requirement. (UDO Section 5.15.6.H.1.a.)
4. For the final application provide architectural details of the railings and balusters with the spacing noted, typical window detail, corner board and water table trim, a pier detail, and a wall section through the eave depicting the material configuration and dimensions. (Applications Manual)
5. The plans note the use of T1-11 on the project analysis for the soffit material. T1-11 is a type of plywood and rough sawn wood, plywood, and aluminum are not permitted materials for soffit or cornice detailing. Revise to a permitted material. (UDO Section 5.15.6.P.)
6. Provide additional information to clarify the proposed type of shutter dogs (typical "S" style are permitted). (UDO Section 5.15.6.)

HPRC Review

04/01/2016

Erin Schumacher

Approved

Comments:

1. Consider adding an additional window on the south elevation to provide better vertical rhythm. (UDO Section 5.15.5.4.e.)
2. Recommendation: consider adding a shed roof over the rear stoop to provide cover from the elements.

Stormwater Review

03/31/2016

William Baugher

Approved

Comments:

Single Family Development, not part of a larger common plan of development:

1. Silt Fencing buried a minimum of 6 inches below disturbed grade, where applicable,
2. In areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing meeting the requirements of SCDOT must be used.
3. Temporary gravel driveways a minimum of 15 feet by 10 feet, where applicable
4. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site, where applicable

Plan Review Case Notes: