

# GARVIN HOUSE: INTERIOR & EXTERIOR RESTORATION

## PROJECT INFORMATION

Address: Oyster Factory Park  
Wharf Street  
Bluffton, SC 29910  
TMS#: R620 039 00A 0190 0000

## CONTACTS

### Owner

Town of Bluffton  
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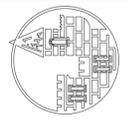
DRAWING LIST	
NO.	SHEET NAME
T100	COVER/TITLE SHEET
T101	CODE, ZONING, SYMBOLS AND ABBREVIATIONS
R100	SITE PLAN- EXISTING CONDITIONS
R101	PLANS- EXISTING CONDITIONS
R201	ELEVATIONS- EXISTING CONDITIONS
LS101	LIFE SAFETY PLANS
A100	SITE PLAN- LAYDOWN/ CONSTRUCTION PARAMETERS
A101	FLOOR PLANS- NEW CONSTRUCTION
A201	ELEVATIONS- NEW CONSTRUCTION
A301	SECTIONS DETAILS - NEW CONSTR. PORCH ADDITION
A302	SECTIONS DETAILS- NEW CONSTR. FRONT PORCH
A401	ELEVATIONS ROOM 101
A402	ELEVATIONS ROOM 102
A403	ELEVATIONS ROOM 103
A404	ELEVATIONS ROOM 104
A405	ELEVATIONS ROOM 201
A406	ELEVATIONS ROOM 202
A407	ELEVATIONS ROOM 203
A421	SECTION & PLAN DETAILS- INTERIOR STAIRS
A501	LARGE SCALE DETAILS- ROOF
A502	ELEVATION & PLAN DETAILS- FIREPLACE
A503	SECTION & PLAN DETAILS- EXTERIOR STAIRS
A504	LARGE SCALE DETAILS- WALLS
A601	DOOR SCHEDULE AND TYPES
A602	DOORS- EXISTING CONDITIONS
A603	WINDOW SCHEDULE AND TYPES
A604	WINDOW DETAILS- PORCH ADDITION WINDOWS
A621	FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS
S - 1	FOUNDATION & GIRDER PLANS
S - 2	1ST FLOOR FRAMING/WALL PLANS
S - 3	2ND FLOOR/ROOF FRAMING PLANS
S - 4	ROOF FRAMING/COVER PLANS
S - 5	NORTH SIDE WALL SECTION
S - 6	SOUTH SIDE WALL SECTION
S -A1	AS BUILT CONDITIONS
M0-01	MECHANICAL NOTES, LEGEND, & SCHEDULE
M1-01	FIRST FLOOR MECHANICAL PLAN
M5-01	MECHANICAL DETAILS
E0-01	ELECTRICAL NOTES, LEGENDS, & SCHEDULE
E1-01	FIRST & SECOND FLOOR ELECTRICAL PLANS
E5-01	ELECTRICAL SCHEDULES & DETAILS



EXISTING NORTH ELEVATION



LOCATOR MAP- WHARF STREET BLUFFTON, SC



**MEADORS INC.**  
2817 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

## BID DOCUMENTS

PROJ. NO. OYSTER  
FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: BLP

## REVISIONS

NO.	DATE	NOTES

COVER/TITLE SHEET

**T100**

## GENERAL NOTES

- THE BUILDING IS AN HISTORIC STRUCTURE. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015 FOR EXISTING PHOTOGRAPHS AND BUILDING CONDITIONS.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS AND MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE INTENT OF THIS PROJECT IS FOR ALL SURFACES OF THE BUILDING INTERIOR TO BE RESTORED OR INSTALLED NEW TO CREATE A COMPLETE INTERIOR ASSEMBLY, INCLUDING BUT NOT LIMITED TO THE FOLLOWING SURFACES: ALL WALLS, CEILINGS, FLOORS, DOORS, AND WINDOWS.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, ALL SAFETY PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONNECTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES. DO NOT SCALE DRAWINGS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZATION IN WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE IBC 2012, AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- DIMENSIONS ON LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS ON SMALL SCALED DRAWINGS.
- PROVIDE TWO WEEKS WRITTEN NOTICE TO ARCHITECT AND OWNER PRIOR TO BEGINNING WORK IN A SPECIFIC AREA.
- THIS PROJECT FALLS UNDER THE ENVIRONMENTAL PROTECTION AGENCY'S RENOVATION, REPAIR, AND PAINTING PROGRAM.
- FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT GRADE. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO COMPLETE THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS FOR THE INSTALLATION OF NEW MECHANICAL & ELECTRICAL SYSTEMS, INSTALLING NEW MECHANICAL & ELECTRICAL SYSTEMS, AND REPAIRING ALL AREAS DISTURBED WITH NEW IN-KIND MATERIALS OR APPROVED EQUALS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO ROOM FINISH SCHEDULE AND FINISH LEGEND FOR NEW FINISHES.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OF REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER, INCLUDING THOSE ITEMS CURRENTLY STORED, SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)
- PROVIDE AND MAINTAIN WEATHER BARRIERS AS NECESSARY TO PREVENT THE INTRUSION OF WATER AND WEATHER INTO THE BUILDING.
- PROTECT FLOORS IN AND ADJACENT TO DEMOLITION AND CONSTRUCTION AREAS WITH THERMOPLY OR EQUAL. PROTECTIVE COVERING TO EXTEND A MINIMUM OF 4' BEYOND WORK AREA. ALL JOINTS SHALL BE TAPED CONTINUOUSLY.
- AVOID DAMAGE TO INTERIOR & EXTERIOR FINISHES DURING THE COURSE OF THE WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL FINISHES.
- REMOVE ALL EXISTING ELECTRICAL SYSTEMS.
- ALL PLANTINGS AND PAVING TO REMAIN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THE RESTORE THE SITE TO THE CONDITION IT WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS
- REMOVE TEMPORARY SHORING COMPLETE FOLLOWING STRUCTURAL REPAIRS.
- DIMENSIONS TO F.O. STUD UNLESS NOTED OTHERWISE.

## ABBREVIATIONS

&	AND	INSUL	INSULATION
@	AT	INTR	INTERIOR
AFF	ABOVE FINISHED FLOOR	KH	KITCHEN HOUSE
ALT	ALTERNATE		
APPROX	APPROXIMATE	MATL	MATERIAL
ARCH	ARCHITECTURAL	MAX	MAXIMUM
		MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
B.O.	BOTTOM OF	MIN	MINIMUM
		MISC	MISCELLANEOUS
CL	CENTERLINE	M.O.	MASONRY OPENING
CLG	CEILING	MTL	METAL
COL	COLUMN		
CONC	CONCRETE	NIC	NOT IN CONTRACT
CONST	CONSTRUCTION	NTS	NOT TO SCALE
DET / DTL	DETAIL	OC	ON CENTER
DIA	DIAMETER		
DIM	DIMENSION	PLUMB	PLUMBING
DN	DOWN	PT	PRESSURE-TREATED
DR	DOOR		
DWGS	DRAWINGS	REF	REFERENCE
		REINF	REINFORCING
EA	EACH	REQ'D	REQUIRED
ELEV	ELEVATION	REV	REVISION
EQ	EQUAL		
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXIST	EXISTING	SIM	SIMILAR
EXTR	EXTERIOR	SPCS	SPECIFICATIONS
		SQ	SQUARE
FV	FIELD VERIFY	SQ FT	SQUARE FEET
FF	FINISH FLOOR	STD	STANDARD
FACP	FIRE ALARM CONTROL PANEL	STRUCT	STRUCTURE / STRUCTURAL
FD	FLOOR DRAIN	SYM	SYMMETRICAL
FDN	FOUNDATION		
FE	FIRE EXTINGUISHER	TEMP	TEMPORARY
FEC	FIRE EXTINGUISHER & CABINET	T.O.	TOP OF
FIG	FIGURE	TRTD	TREATED
FIN	FINISH	TYP	TYPICAL
FLR	FLOOR		
		VERT	VERTICAL
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GA	GAUGE OR GAGE		
GYP BD	GYPSPUM BOARD	W/	WITH
		W/O	WITHOUT
HORIZ	HORIZONTAL	WP	WATERPROOFING
HT	HEIGHT	WT	WEIGHT
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		

## REFERENCE PLAN LEGEND

--- MISSING ELEMENT

## SYMBOLS LEGEND

DOOR TAG	INTERIOR/EXTERIOR A
WINDOW TAG	1
ELEVATION TAG	4 A702 3 DIRECTION OF VIEW: ELEVATION NUMBER SHEET DRAWN
DETAIL CALLOUT	1 SIM DETAIL NUMBER SHEET DRAWN SHEET CUT FROM
ROOM TAG	Room name ← ROOM NAME 101 ← ROOM NUMBER
SECTION TAG	1 DETAIL NUMBER DIRECTION OF VIEW SHEET DRAWN
DRAWING TITLE	1 ← Floor Plan SCALE: 1/8" = 1'-0" SCALE DRAWN SHEET DRAWN

## NEW CONSTRUCTION PLAN LEGEND

#	NUMBERED NEW CONSTRUCTION NOTE
	NEW WOOD FLOORING, LINWORK PATTERN REPRESENTS DIRECTION OF FLOORING
	NEW WALL
□	EXISTING FLOORS & WALLS (CONDITION VARIES- SEE ASSESSMENT AND EXISTING CONDITION PHOTOGRAPHS)
	NEW MASONRY PIERS & CHIMNEYS (NEW & REBUILT)

## GENERAL CODE NOTES

APPLICABLE CODES:

- IBC 2012

PER IBC CHAPTER 5	Square Footage Total Design Area	BUILDING AREA Without Increase (IBC Table 503)	Square Footage as Allowed by IBC Sprinkler Increase (IBC 506.3)	Total Allowable Area (IBC 506.1)
Existing Building	711 gsf			
First Floor	430 gsf			
Second Floor				
Total	1141 gsf	9,000 sf	N/A	9,000 sf

Floor	Design Occupancy Type	Occupancy Floor Area	Floor Area in SF/Occupant	Design Occupant Load
1	B	711 rsf	100 gsf	8
2	B	430 rsf	100 gsf	5
Total Building Occupancy Load:				13

TABLE 5-3 BASIC BUILDING CODE INFORMATION

CONSTRUCTION CLASSIFICATION	Type V-B	(IBC 602)
OCCUPANCY GROUP (indicate all) (Note IBC 506.4.1)	Business Group B	(IBC 302)
OCCUPANCY GROUP (indicate most restrictive)	Business Group B	(IBC Table 503)
Does building require Incidental Use Area Separation?	X no <input type="checkbox"/> yes	(IBC 508.2.5)
Does building have Accessory Occupancy (ies)? What percent of story is accessory occupancy?	X no <input type="checkbox"/> yes	(IBC 508.2) _____ SF %
Mixed occupancy	X no <input type="checkbox"/> yes	(IBC 508)
Non separated	<input type="checkbox"/> no X yes	(IBC 508.3)
Separated	X no <input type="checkbox"/> yes	(IBC 508.4) (IBC 506.5)

OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES  
If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to locations in construction documents. (e.g. fire extinguishers, smoke- evacuation/control/compartments. Note IBC 414.1.3.)

TABLE 5-6 BUILDING DESIGN OCCUPANT LOAD

Stories & Levels	Function of Space <sup>1</sup>	A Floor Area <sup>2</sup>	B Max Area allowed /Occupant <sup>3</sup> (specify NSF or GSF)	C Persons on floor for this Function <sup>4</sup>	D Design Occupant Load
1 <sup>st</sup> floor	(1) Business Areas	(2) 711 gsf	(3) 100 gsf	(4) 8	
Subtotal Design Occupant Load for This Story					(5) 8
2 <sup>nd</sup> floor	(1) Business Areas	(2) 430 gsf	(3) 100 gsf	(4) 5	
Subtotal Design Occupant Load for This Story					(5) 5
Total Building Design Occupant Load					(6) 13

Footnotes:

- Provide the complete name of the Function of space using the left column of Table 1004.1.1 of the IBC.
- Design Area per each occupant of this function on this floor in either Gross or Net square footage
- Allowed Floor Areas in SF per Occupant per right column in Table 1004.1.1 of the IBC
- Divide Column A (2) by Column B (3) for each function and enter the result, rounded up to the nearest whole person (4)
- Subtotal all Column C values for this floor to yield the Design Occupant Load, (5)
- Total Building Design Occupant Load—sum of all Column D value (6)



MEADORS INC.  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 29405-8585



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

## BID DOCUMENTS

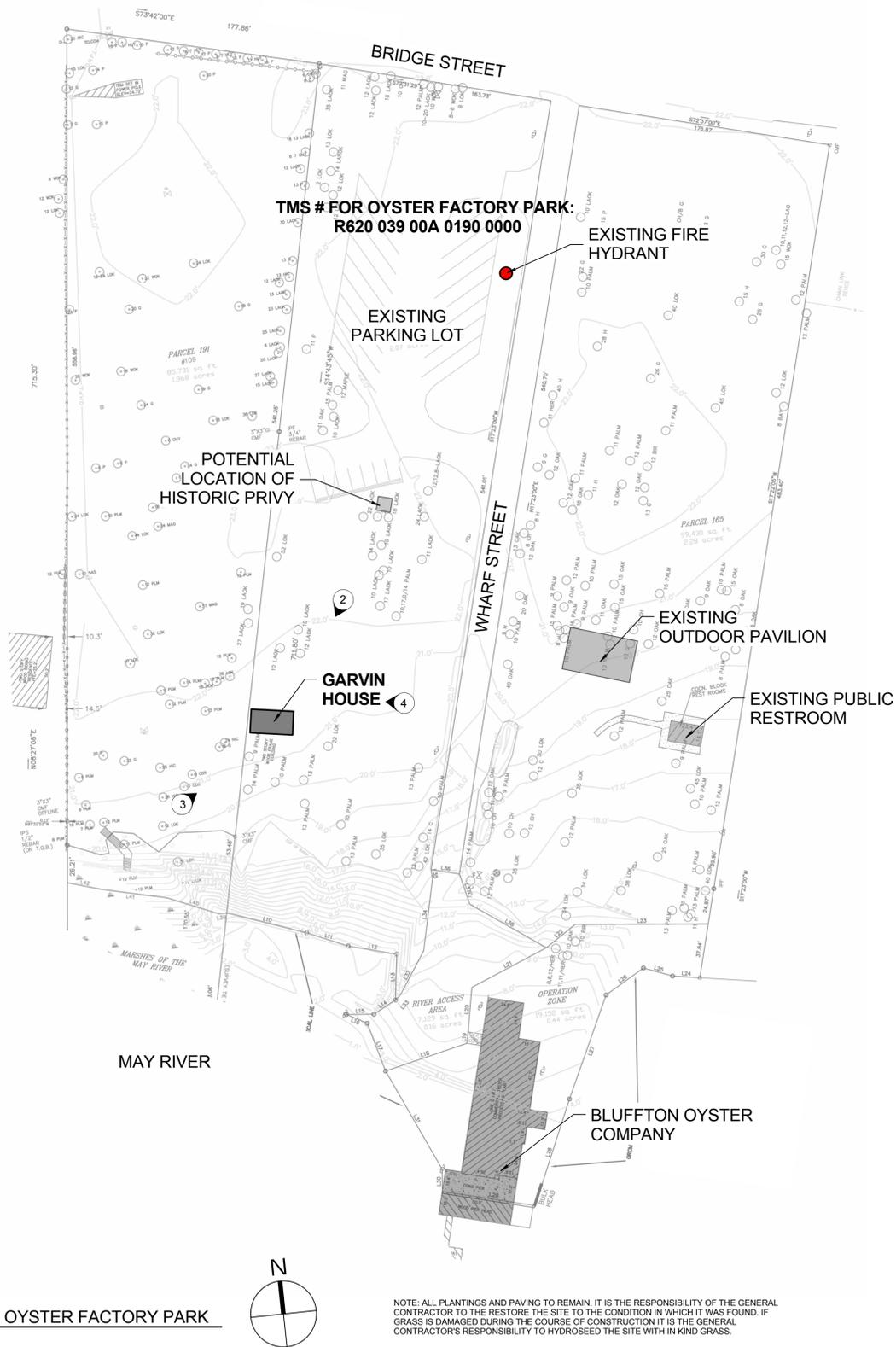
PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: BLP

## REVISIONS

NO.	DATE	NOTES

CODE, ZONING,  
SYMBOLS AND  
ABBREVIATIONS

T101



1 SITE PLAN- OYSTER FACTORY PARK  
R100 SCALE: N.T.S.



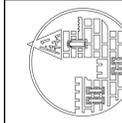
2 SITE PHOTO- LOOKING SOUTH FROM PARKING LOT  
R100 SCALE: N.T.S.



3 SITE PHOTO- LOOKING NORTH FROM EDGE OF WATER  
R100 SCALE: N.T.S.



4 SITE PHOTO- LOOKING EAST TOWARDS EXISTING CHIMNEY  
R100 SCALE: N.T.S.



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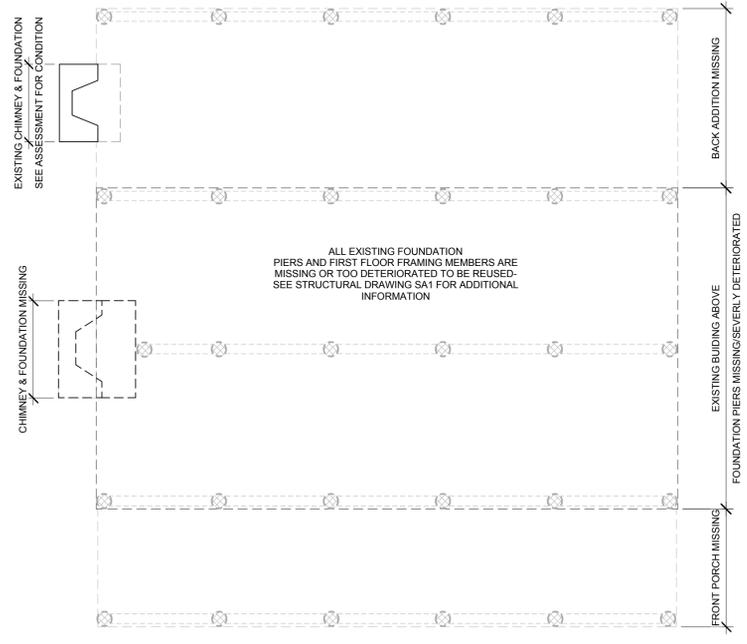
REVISIONS		
NO.	DATE	NOTES

SITE PLAN-  
EXISTING  
CONDITIONS

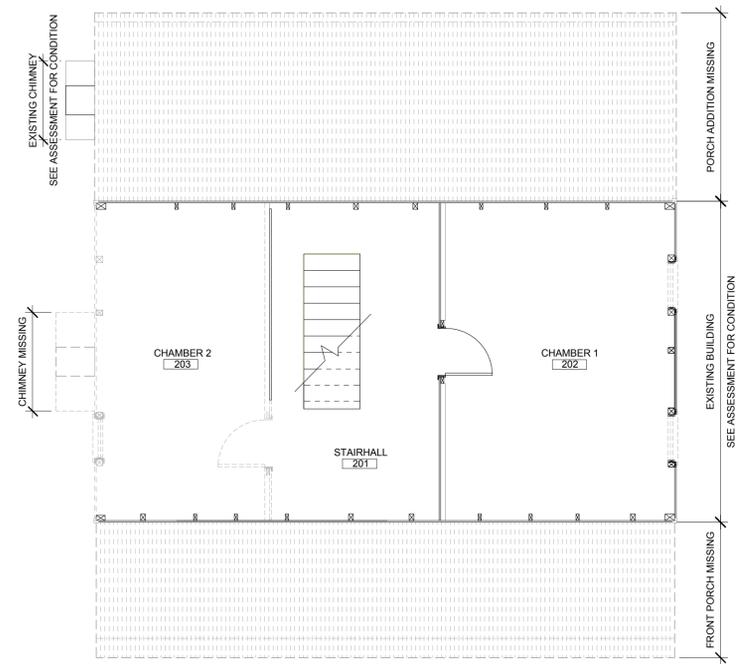
R100

GENERAL PLAN NOTES- EXISTING CONDITIONS

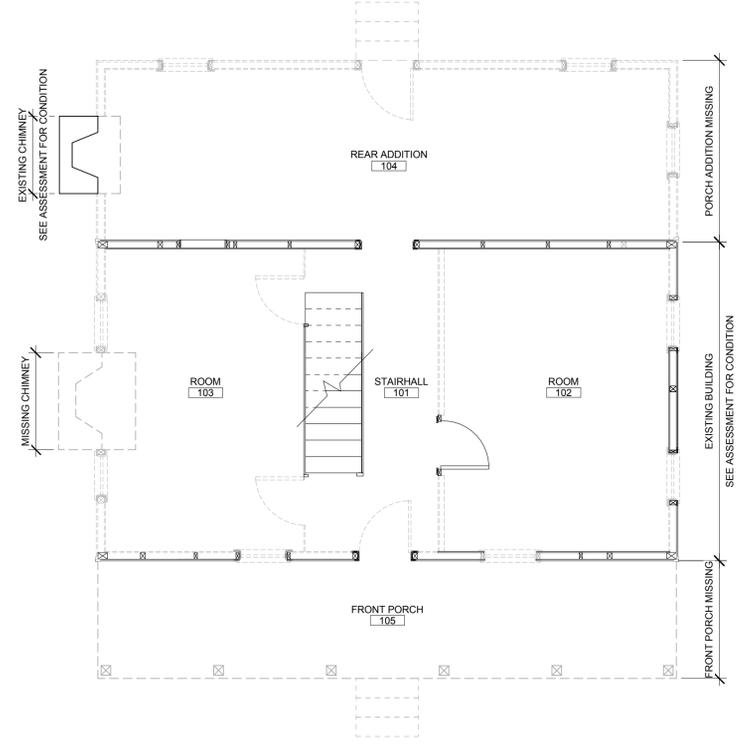
1. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT & PRESERVATION PLAN UPDATE REPORT DATED 02/26/2015 AND SA1 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
2. MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL. SEE STORAGE LOG AND REPORT FOR ITEM DESCRIPTIONS.
3. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
4. CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
5. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
6. PORCH ADDITION AND PORCH ARE NO LONGER EXTANT.
7. FOUNDATION PIERS AND FIRST FLOOR FRAMING MEMBERS ARE TOO DETERIORATED TO BE REUSED.



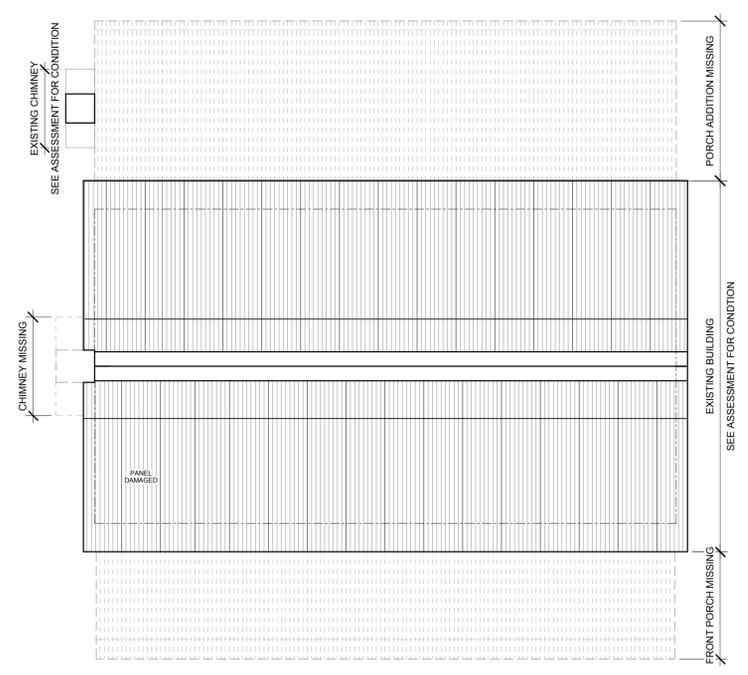
4 FOUNDATION- EXISTING CONDITION  
R101 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN- EXISTING CONDITION  
R101 SCALE: 1/4" = 1'-0"



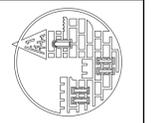
3 FIRST FLOOR PLAN- EXISTING CONDITION  
R101 SCALE: 1/4" = 1'-0"



1 ROOF PLAN- EXISTING CONDITION  
R101 SCALE: 1/4" = 1'-0"

REFERENCE PLAN LEGEND

--- MISSING ELEMENT



MEADORS INC.

2811 AZALEA DRIVE CHARLESTON, SC 29405-4885



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: 10.28.15  
Author

REVISIONS		
NO.	DATE	NOTES

PLANS- EXISTING CONDITIONS

R101



**1 EAST ELEVATION- EXISTING CONDITION**  
SCALE: N.T.S.



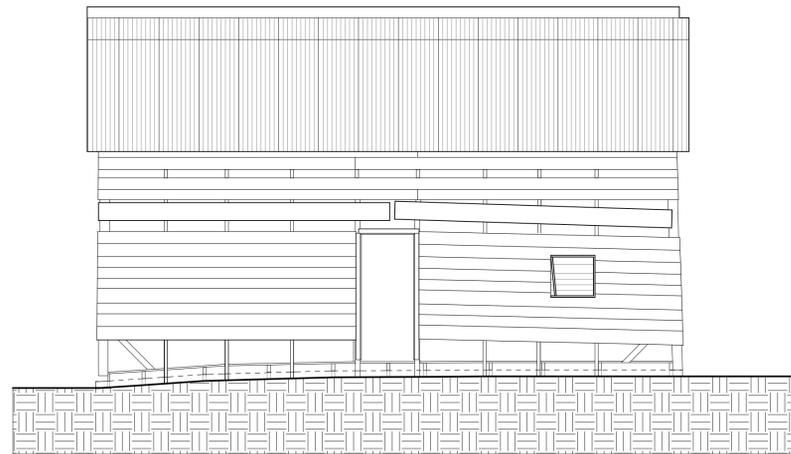
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SCALE: N.T.S.



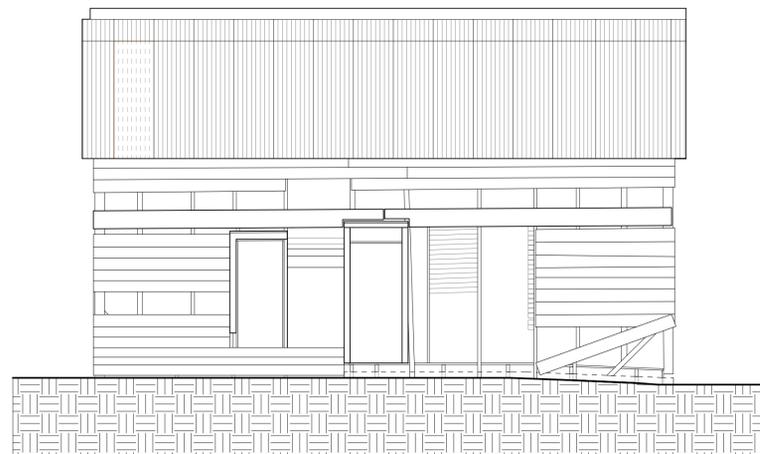
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SCALE: N.T.S.



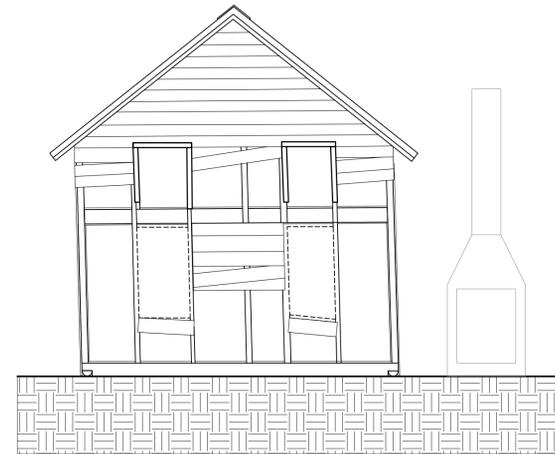
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SCALE: N.T.S.



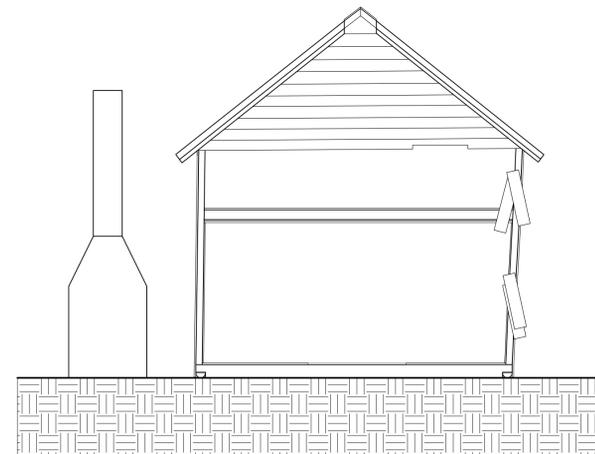
**7 NORTH ELEVATION- EXISTING**  
SCALE: 1/4" = 1'-0"



**6 SOUTH ELEVATION- EXISTING**  
SCALE: 1/4" = 1'-0"



**8 EAST ELEVATION- EXISTING**  
SCALE: 1/4" = 1'-0"



**5 WEST ELEVATION- EXISTING**  
SCALE: 1/4" = 1'-0"

**GENERAL ELEVATION NOTES- EXISTING CONDITIONS**

1. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT & PRESERVATION PLAN UPDATE REPORT DATED 02/26/2015 AND SA1 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
2. MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL.
3. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
4. CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
5. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
6. PORCH ADDITION AND PORCH ARE NO LONGER EXTANT.
7. FOUNDATION PIERS AND FIRST FLOOR FRAMING MEMBERS ARE TOO DETERIORATED TO BE REUSED.



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**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

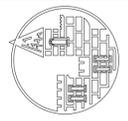
**BID DOCUMENTS**

PROJ. NO. OYSTER FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

**ELEVATIONS- EXISTING CONDITIONS**

**R201**



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**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

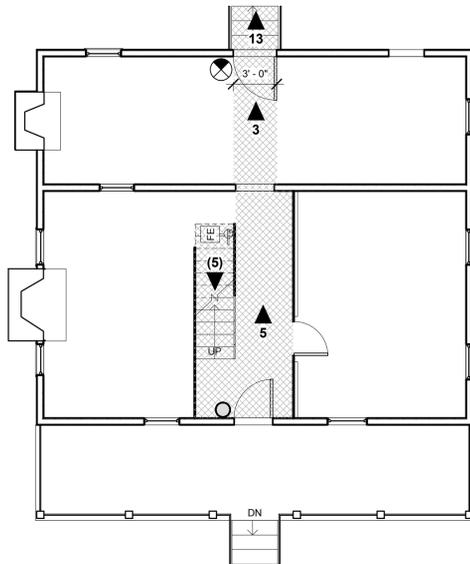
PROJ. NO. OYSTER FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

LIFE SAFETY PLANS

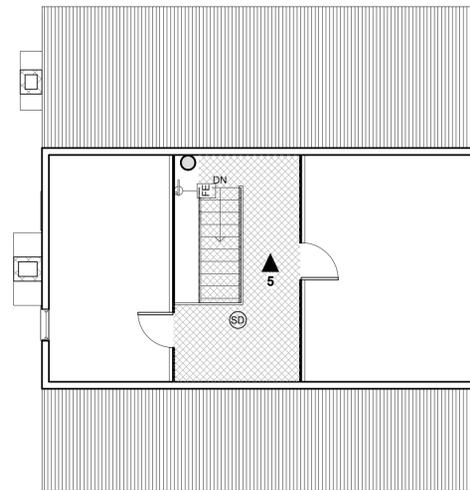
**LS101**

LIFE SAFETY PLAN LEGEND	
3 ▲	EGRESS COUNT & DIRECTION
(3) ▼	(EGRESS COUNT) INHERITED FROM FLOOR(S) ABOVE
▨	PATH OF EGRESS
⊗	COMBO EXIT/ EMERGENCY LIGHT FIXTURE
○	EMERGENCY LIGHT FIXTURE
FE	FIRE EXTINGUISHER- WALL MOUNTED
SD	SMOKE DETECTOR



**1 LIFE SAFETY - FIRST FLOOR**  
LS101 SCALE: 3/16" = 1'-0"

**FIRST FLOOR**  
GROSS SQUARE FOOTAGE: 711 SF  
OCCUPANCY LOAD: 8 OCCUPANTS



**2 LIFE SAFETY - SECOND FLOOR**  
LS101 SCALE: 3/16" = 1'-0"

**SECOND FLOOR**  
GROSS SQUARE FOOTAGE: 430 SF  
OCCUPANCY LOAD: 5 OCCUPANTS

**LIFE SAFETY GENERAL NOTES**

- OCCUPANT LOAD FOR THIS PROJECT IS DETERMINED USING THE CALCULATION OF 100 GSF PER OCCUPANT, ACCORDING TO IBC TABLE 1004.1.1 FOR BUSINESS USE.
- THIS BUILDING QUALIFIES AS AN HISTORIC BUILDING UNDER IBC 2012.
- HISTORIC DOORS AND WINDOWS HAVE BEEN LEFT IN THEIR EXISTING CONFIGURATIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIFE SAFETY EQUIPMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL ELEMENTS OF THE NEW LIFE SAFETY PLAN IN ACCORDANCE WITH IFC 2012 INCLUDING BUT NOT LIMITED TO: EGRESS FIXTURES, SMOKE DETECTORS, AND FIRE EXTINGUISHERS.
- VERIFY LOCATIONS OF ALL LIFE SAFETY EQUIPMENT WITH THE ARCHITECT PRIOR TO INSTALLATION.

TEMPORARY CONSTRUCTION DRIVE IS TO BE USED FOR DELIVERIES ONLY. TRUCKS ARE NOT ALLOWED ON THE CONSTRUCTION DRIVE. VEHICLES ARE LIMITED TO THE PARKING LOT. MATERIAL DELIVERIES SHOULD BE MADE WITH MOFFITT OR SIMILAR LIFT.

2- 8 FT GATES REQUIRED (NEW ACCESS GATES TO BE INSTALLED SO THAT VEHICLES AVOID CANOPY OF EXISTING TREES).

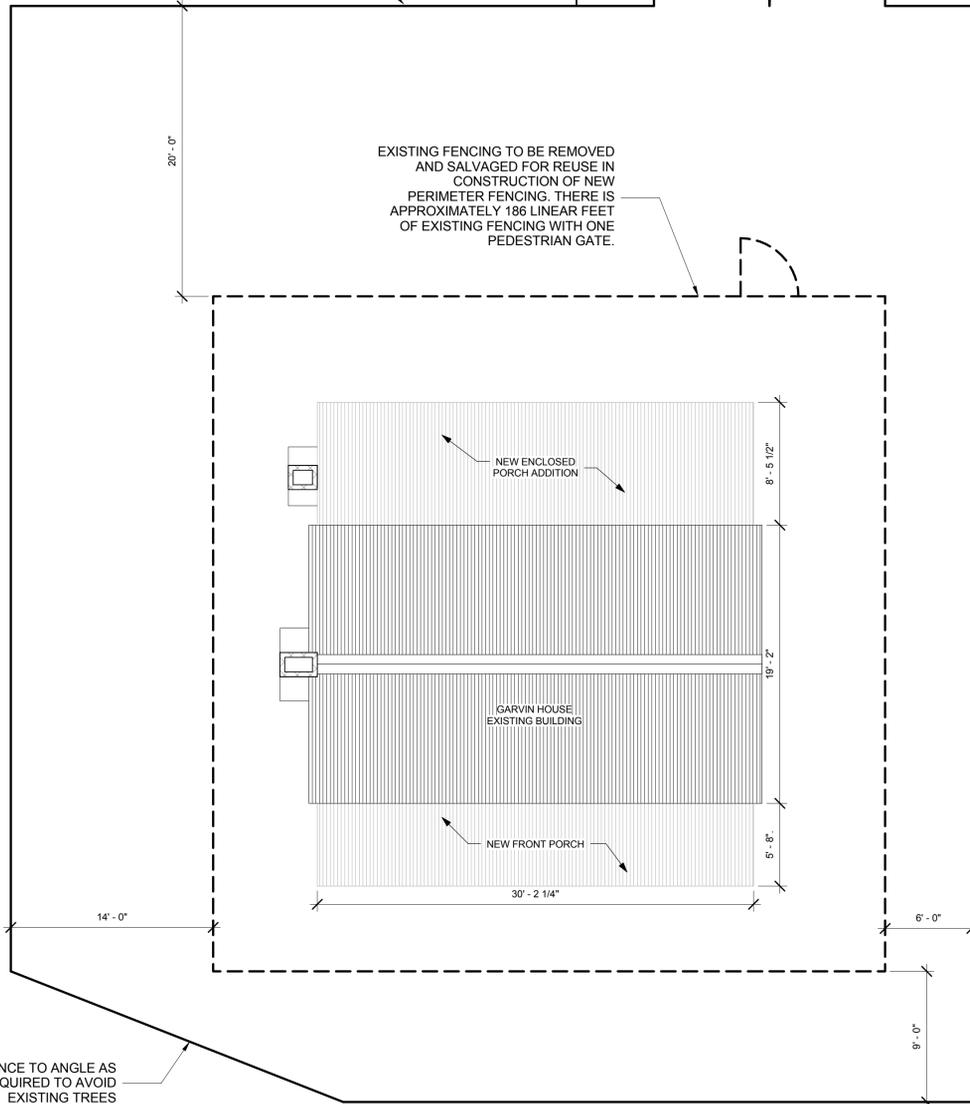
SALVAGED FENCING TO BE REINSTALLED, NEW FENCING AND ACCESS GATES TO BE INSTALLED AS REQUIRED TO ENCLOSE CONSTRUCTION PERIMETER AS DRAWN. NEW FENCING TO MATCH EXISTING FENCING.

ALL CONSTRUCTION MATERIALS AND STAGING TO BE WITHIN THE NEW PERIMETER FENCING. NEW FENCE IS APPROXIMATELY 280 LINEAR FEET.

TEMPORARY CONSTRUCTION DRIVE (EXITS AT PARKING LOT)

REINSTALL SALVAGED PEDESTRIAN GATE AT THIS LOCATION

EXISTING FENCING TO BE REMOVED AND SALVAGED FOR REUSE IN CONSTRUCTION OF NEW PERIMETER FENCING. THERE IS APPROXIMATELY 186 LINEAR FEET OF EXISTING FENCING WITH ONE PEDESTRIAN GATE.



**GENERAL NOTES:**

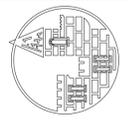
- CONSTRUCTION TO HAVE MINIMAL IMPACT ON EXISTING SITE LANDSCAPING
- ALL PLANTINGS AND PAVING TO REMAIN, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESTORE THE SITE TO THE CONDITION IT WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS.
- PORTABLE TOILET TO BE INSTALLED WITHIN CONSTRUCTION FENCE.
- PERIMETER CONSTRUCTION FENCE TO BE COVERED WITH HEAVY DUTY BLACK DEBRIS FIRE RETARDANT SAFETY MESH TO OBSCURE CONSTRUCTION WORK. MESH TO MEET LOCAL LAWS AND REQUIREMENTS OF OSHA.
- CONSTRUCTION DUMPSTER TO BE INSTALLED IN EXISTING OYSTER FACTORY PARK PARKING LOT. LOCATION TO BE CONFIRMED BY ARCHITECT AND OWNER PRIOR TO DELIVERY ON SITE.
- OWNER TO DESIGNATE AREA FOR CONSTRUCTION PARKING IN EXISTING OYSTER FACTORY PARK PARKING LOT. CONTRACTORS ARE NOT ALLOWED TO PARK CARS INSIDE THE CONSTRUCTION FENCE.
- ALL TREES LOCATED WITHIN 50 FEET OF THE CONSTRUCTION DRIVEWAY TO HAVE TREE PROTECTION. FOR PROTECTED TREES 23" OR LESS PROTECTED BARRICADES SHALL BE PLACED A MINIMUM DISTANCE OF TEN FEET (10) FROM THE BASE OF EACH PROTECTED TREE, AND FOR PROTECTED TREES GREATER THAN 23" BARRICADES SHALL PROVIDE A DIAMETER OF PROTECTION AROUND THE TREE EQUAL IN FEET TO THE DIAMETER BREST HEIGHT OF THE TREE (I.E. A 24" DIAMETER TREE WOULD REQUIRE A 24 FOOT DIAMETER PROTECTIVE BARRICADE). ALL BARRICADES TO BE CONSTRUCTED WITH METAL POSTS AND 4 FT. PLASTIC NETTING.

1 SITE PLAN- LAYDOWN AREA/CONSTRUCTION PARAMETERS

A100 SCALE: 3/16" = 1'-0"



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2811 AZALEA DRIVE CHARLESTON, SC 29405-4885



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

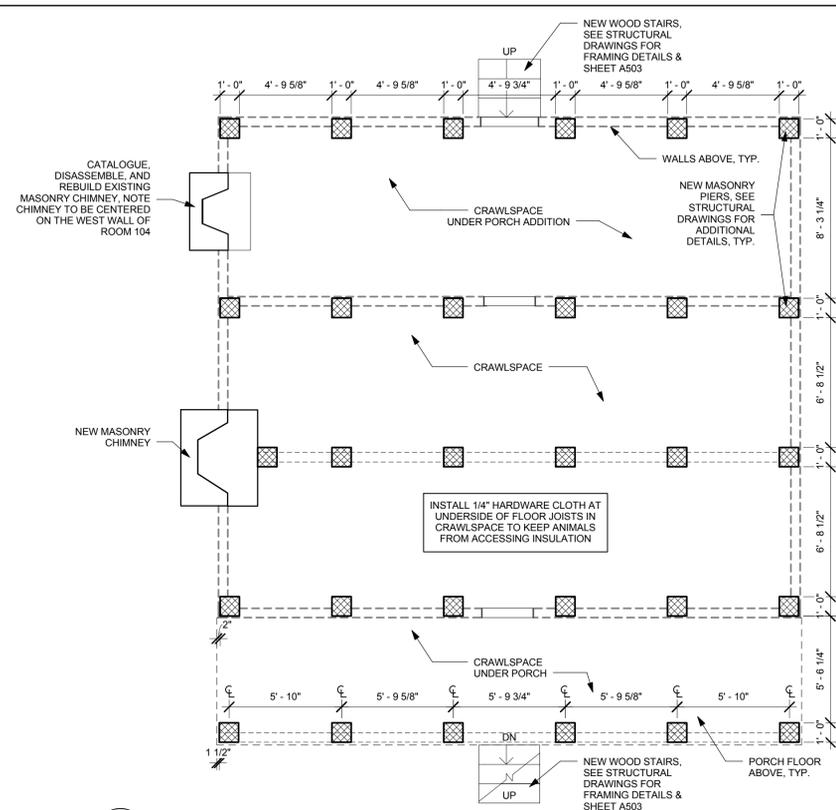
**BID DOCUMENTS**

PROJ. NO. OYSTER FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: EAB

REVISIONS		
NO.	DATE	NOTES

SITE PLAN- LAYDOWN/ CONSTRUCTION PARAMETERS

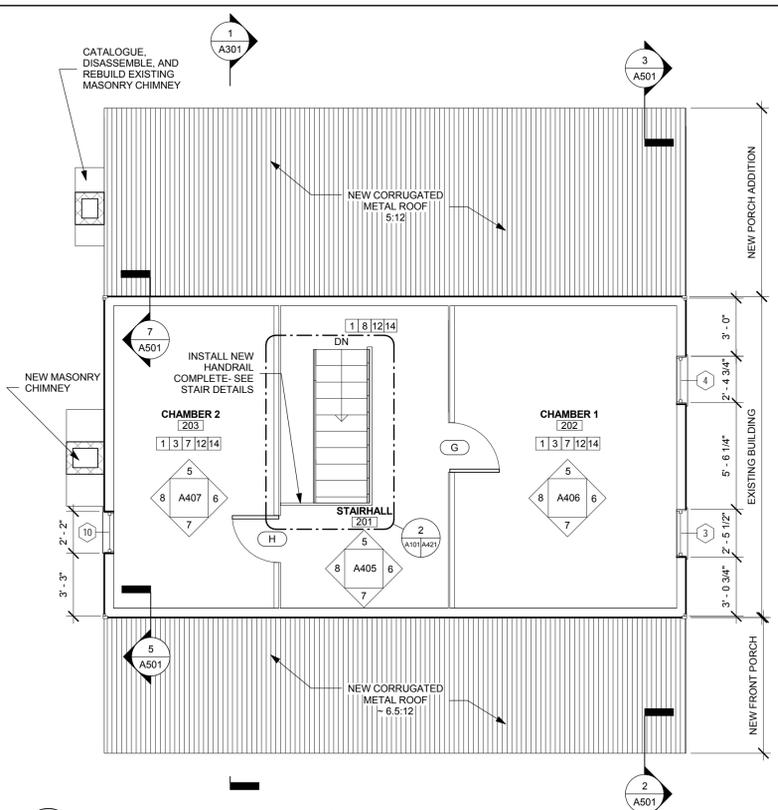
**A100**



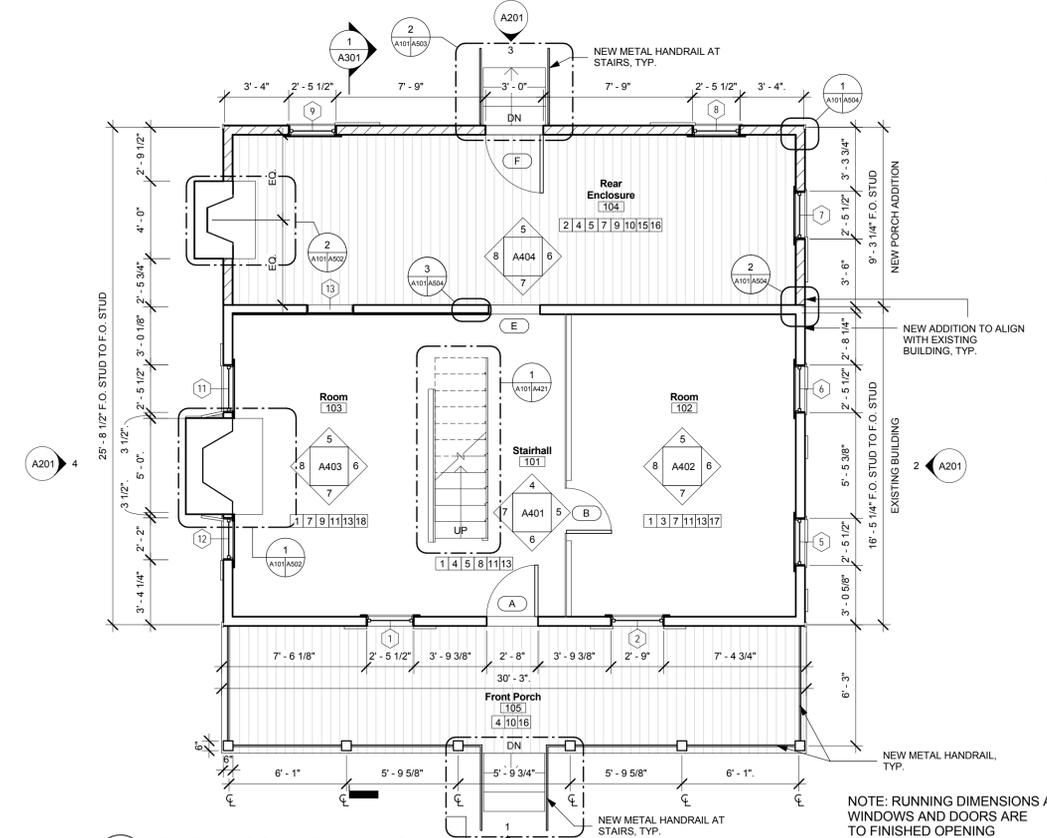
**1 FOUNDATION**  
SCALE: 1/4" = 1'-0"

**GENERAL PLAN NOTES:**

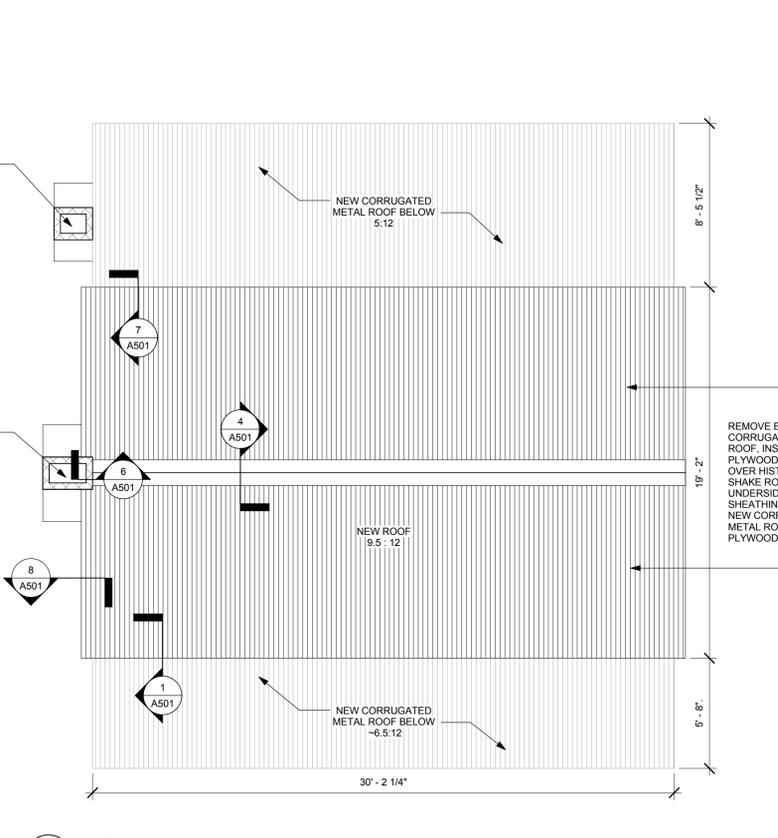
- COORDINATE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- SEE STRUCTURAL DRAWINGS FOR PIER DETAILS & FIRST FLOOR FRAMING PLAN.
- SEE ADDITIONAL NOTES ON INTERIOR ELEVATION SHEETS FOR EACH ROOM.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS REQUIRED.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES. ALL ARTIFACTS ARE THE PROPERTY OF THE OWNER. ALL OBJECTS SHOULD BE PHOTOGRAPHED PRIOR TO RELOCATION. NOTIFY OWNER OF ANY SIGNIFICANT ARCHAEOLOGICAL MATERIAL PRIOR TO REMOVAL.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.
- PROVIDE TERMITE TREATMENT PER SPECIFICATIONS.



**3 SECOND FLOOR F.F.**  
SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR F.F.**  
SCALE: 1/4" = 1'-0"



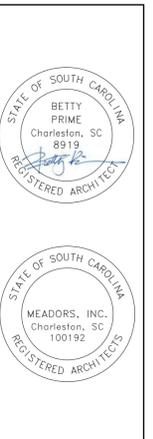
**4 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

NUMBERED NEW CONSTRUCTION NOTES- REFERENCE GENERAL NOTES ON T101

- WALLS:**
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. RESTORE & REINSTALL EXISTING WALL BOARDS, TRIM, AND FLOORSTOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
  - INSTALL NEW WALLS COMPLETE INCLUDING BUT NOT LIMITED TO WALL FINISH AND TRIM.
- DOORS:**
- RESTORE ALL ELEMENTS OF THE DOOR COMPLETE, INCLUDING BUT NOT LIMITED TO: DOOR, JAMB, TRIM, TRANSOM (WHERE PRESENT). REPLACE ALL MISSING ELEMENTS. REHANG DOOR AS REQUIRED TO ENSURE EXISTING DOORS ARE FULLY OPERATIONAL.
  - INSTALL NEW DOOR. MATCH EXISTING BOARD AND BATTEN DOORS. RESTORE ALL ELEMENTS OF THE DOOR COMPLETE, INCLUDING BUT NOT LIMITED TO: DOOR, JAMB, TRIM, TRANSOM (WHERE PRESENT). REPLACE ALL MISSING ELEMENTS.
- WINDOWS:**
- RESTORE MISSING WINDOWS, JAMB, TRIM & SHUTTERS COMPLETE (SEE WINDOW SCHEDULE ON SHEET A803).
- STAIRS:**
- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL (SEE DETAILS ON SHEET A421). REMOVE PLYWOOD COVER COMPLETE.
- CHIMNEY/FIREBOXES:**
- RESTORE CHIMNEY, FIREBOX, HEARTH COMPLETE (SEE DETAILS ON SHEET A502).
- FLOORS:**
- INSTALL NEW TONGUE AND GROOVE SHEATHING, UNDERLAYMENT, AND WOOD FLOOR (FRONT PORCH DOES NOT REQUIRE SHEATHING).
  - CATALOGUE FLOORING. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND IN-FILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
  - FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. THE END OF THE BOARDS, AT THE EAST & WEST GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS. SCOPE OF REPAIRS TO BE REVIEWED BY ARCHITECT PRIOR TO IMPLEMENTATION.
- CEILINGS:**
- CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND IN-FILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT REAR.
  - CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- INSULATION:**
- INSTALL INSULATION IN WALLS, FLOORS, & CEILINGS OF FIRST FLOOR
- NEW CONSTRUCTION:**
- CONSTRUCT NEW PORCH ADDITION, FRONT PORCH, AND STAIRS COMPLETE.
- CONSERVATION VIEWERS:**
- INSTALL VIEWER IN CEILING
  - INSTALL VIEWER IN WALL

**NEW CONSTRUCTION PLAN LEGEND**

#	NUMBERED NEW CONSTRUCTION NOTE
[Pattern]	NEW WOOD FLOORING, LINWORK PATTERN REPRESENTS DIRECTION OF FLOORING
[Pattern]	NEW WALL
[Pattern]	EXISTING FLOORS & WALLS (CONDITION VARIES- SEE ASSESSMENT AND EXISTING CONDITION PHOTOGRAPHS)
[Pattern]	NEW MASONRY PIERS & CHIMNEYS (NEW & REBUILT)



**GARVIN HOUSE**  
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**BID DOCUMENTS**

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DRAWN BY:	BLP	
REVISIONS		
NO.	DATE	NOTES

**FLOOR PLANS- NEW CONSTRUCTION**  
**A101**

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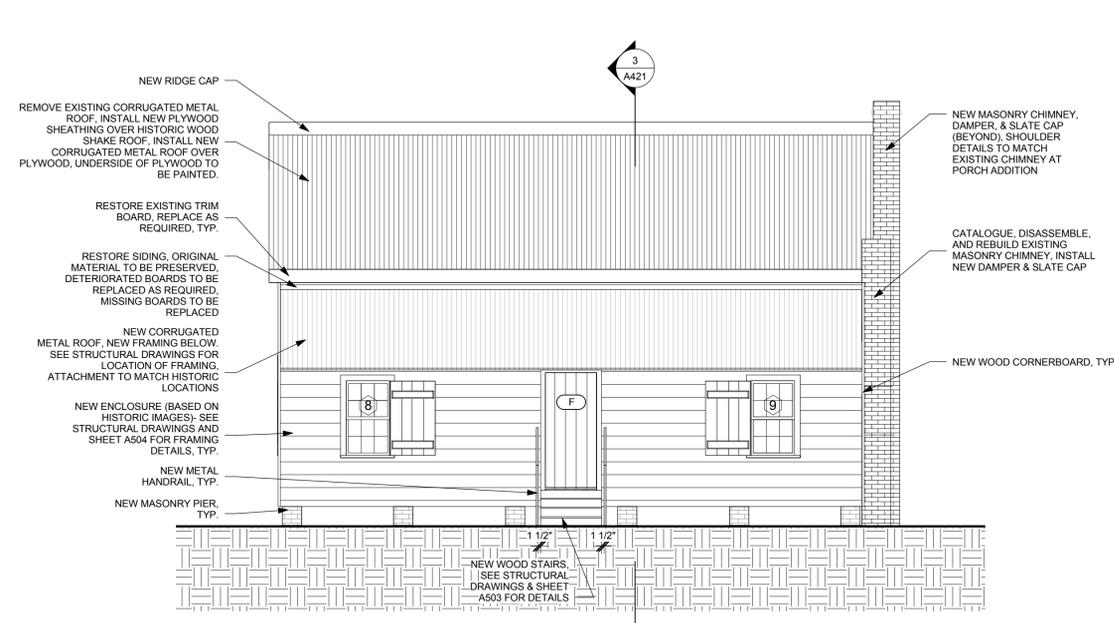
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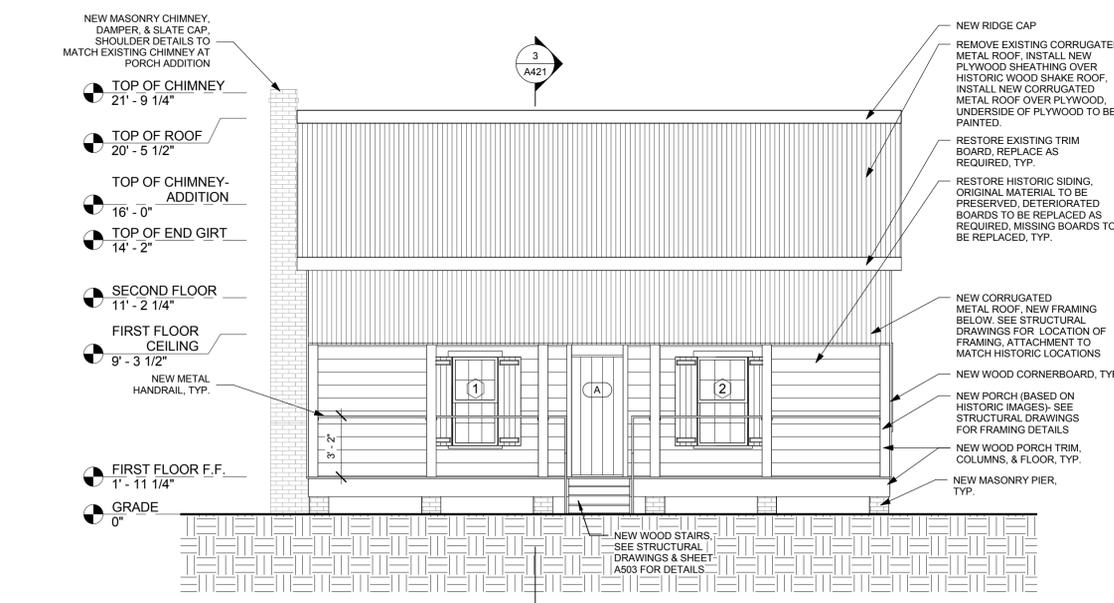
REVISIONS		
NO.	DATE	NOTES

**ELEVATIONS-  
NEW  
CONSTRUCTION**

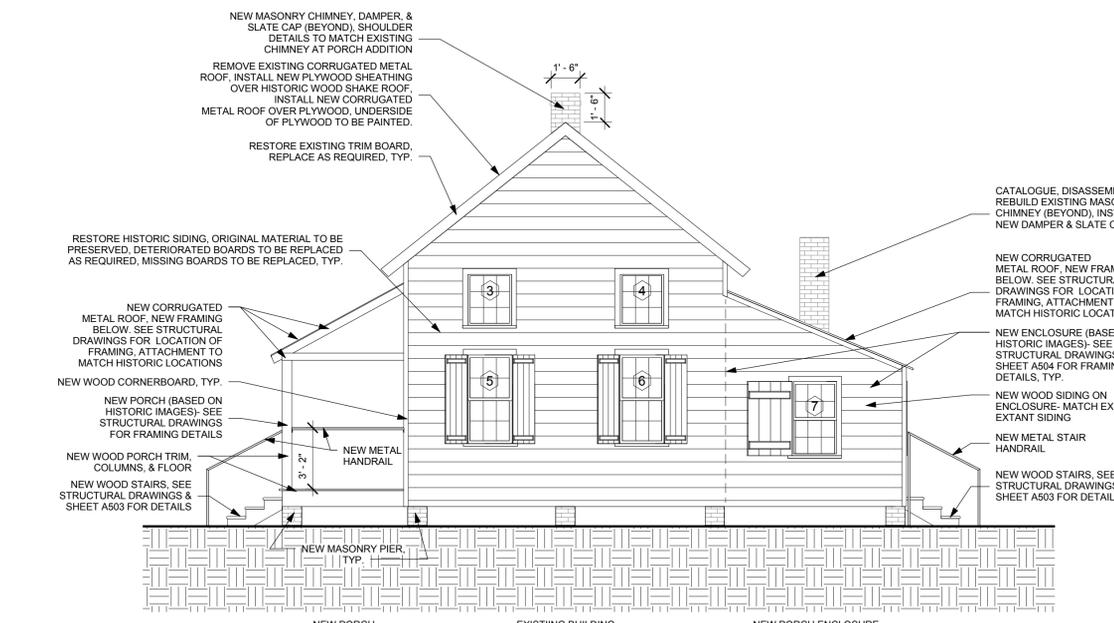
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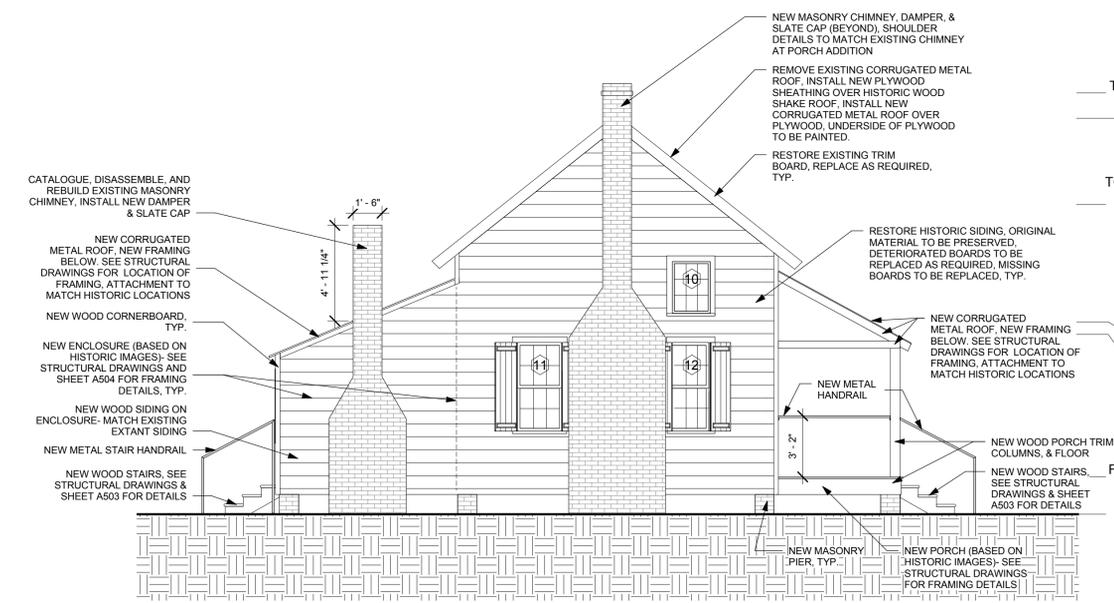
**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: PREP AND PAINT BUILDING EXTERIOR. MASONRY TO REMAIN UNPAINTED. PAINT COLORS TO BE DETERMINED BY THE ARCHITECT.

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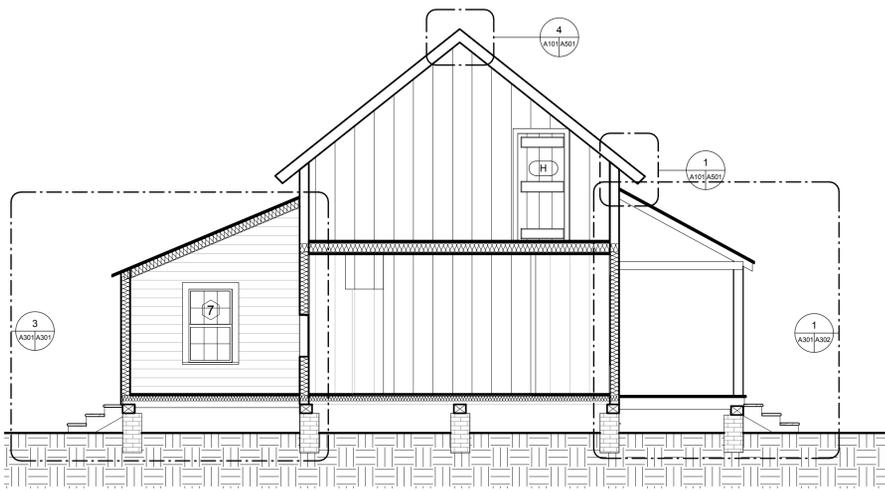
NOTE: PREP AND PAINT BUILDING EXTERIOR. MASONRY TO REMAIN UNPAINTED. PAINT COLORS TO BE DETERMINED BY THE ARCHITECT.

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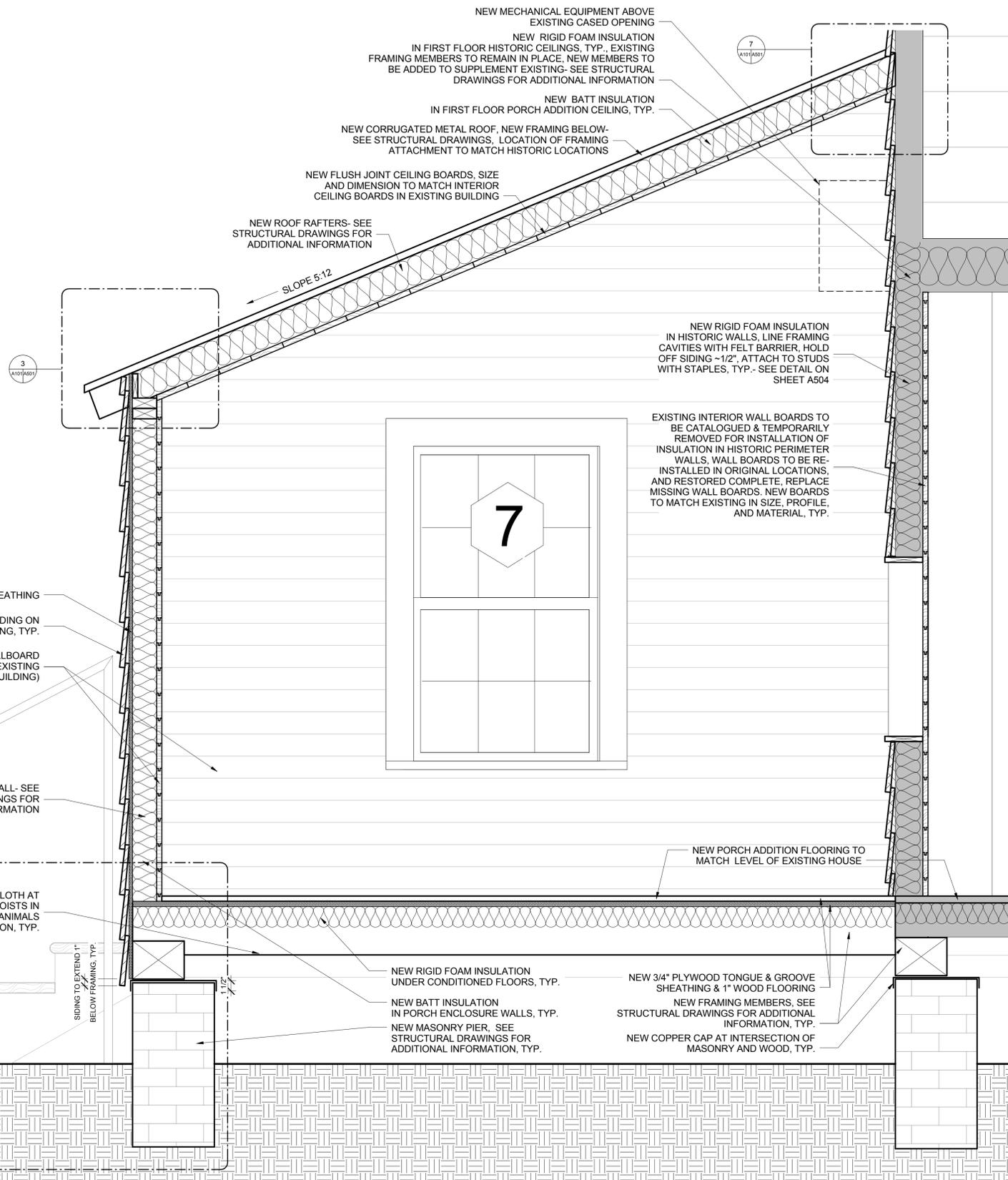
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**GENERAL ELEVATION NOTES**

- REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
- SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE EXTERIOR OF THE BUILDING. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY AREAS DAMAGED ON THE EXTERIOR OF THE BUILDING DURING THE RENOVATION.
- ALL INTERIOR AND EXTERIOR PENETRATIONS NECESSARY FOR THE INSTALLATION OF THE NEW MECHANICAL AND ELECTRICAL SYSTEMS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL AREAS REMOVED OR DAMAGED MUST BE REPAIRED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REPAIRS SHOULD BE MADE WITH IN-KIND MATERIALS. PENETRATIONS MUST BE PROPERLY SEALED AND FLASHED TO PREVENT WATER INFILTRATION. FLASHING DETAILS TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW. ALL COPPER USED FOR FLASHING SHOULD BE 16 OZ COLD ROLLED COPPER.
- PAINT ALL EXPOSED MECHANICAL AND ELECTRICAL PIPING. PAINT COLOR TO MATCH ADJACENT SURFACES. VERIFY COLOR SELECTIONS WITH ARCHITECT. PAINT USED ON SURFACES SHOULD BE SPECIFIC TO MATERIAL TYPE.
- MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL. SALVAGED MATERIALS STORED ON SITE SHOULD BE USED WHEN POSSIBLE FOR ALL REPAIRS TO THE BUILDING. SALVAGED SIDING SHOULD BE USED ON THE EXTERIOR OF THE SECOND FLOOR PRIOR TO USE IN OTHER EXTERIOR LOCATIONS AS THESE BOARDS ARE EXPOSED ON THE INTERIOR.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
- CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO-LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE ALL EXTANT ROOF FLASHING FROM HISTORIC PORCHES AND PORCH ADDITIONS THAT ARE NOW MISSING AND SCHEDULED TO BE REPLACED.
- INSTALL NEW UL LISTED LIGHTNING PROTECTION SYSTEM.
- PROVIDE TERMITE TREATMENT BOND PER SPECIFICATIONS.



**1 BUILDING SECTION- E/W**  
A301 SCALE: 1/4" = 1'-0"



**3 SECTION DETAIL- NEW PORCH ADDITION**  
A301 SCALE: 1 1/2" = 1'-0"

NEW MECHANICAL EQUIPMENT ABOVE EXISTING CASED OPENING  
NEW RIGID FOAM INSULATION IN FIRST FLOOR HISTORIC CEILINGS, TYP. EXISTING FRAMING MEMBERS TO REMAIN IN PLACE. NEW MEMBERS TO BE ADDED TO SUPPLEMENT EXISTING- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

NEW BATT INSULATION IN FIRST FLOOR PORCH ADDITION CEILING, TYP.

NEW CORRUGATED METAL ROOF, NEW FRAMING BELOW- SEE STRUCTURAL DRAWINGS. LOCATION OF FRAMING ATTACHMENT TO MATCH HISTORIC LOCATIONS

NEW FLUSH JOINT CEILING BOARDS, SIZE AND DIMENSION TO MATCH INTERIOR CEILING BOARDS IN EXISTING BUILDING

NEW ROOF RAFTERS- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

SLOPE 5:12

NEW RIGID FOAM INSULATION IN HISTORIC WALLS, LINE FRAMING CAVITIES WITH FELT BARRIER, HOLD OFF SIDING - 1/2", ATTACH TO STUDS WITH STAPLES, TYP.- SEE DETAIL ON SHEET A504

EXISTING INTERIOR WALL BOARDS TO BE CATALOGUED & TEMPORARILY REMOVED FOR INSTALLATION OF INSULATION IN HISTORIC PERIMETER WALLS. WALL BOARDS TO BE RE-INSTALLED IN ORIGINAL LOCATIONS, AND RESTORED COMPLETE. REPLACE MISSING WALL BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL, TYP.

NEW 1/2" PLYWOOD SHEATHING

NEW SIDING TO MATCH SIDING ON EXISTING BUILDING, TYP.

NEW TONGUE & GROOVE WALLBOARD (MATCH WALLBOARDS IN EXISTING BUILDING)

NEW METAL PORCH HANDRAIL BEYOND, TYP.

NEW 2 X 4 STUD WALL- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

INSTALL 1/4" HARDWARE CLOTH AT UNDERSIDE OF FLOOR JOISTS IN CRAWLSPACE TO KEEP ANIMALS FROM ACCESSING INSULATION, TYP.

SIDING TO EXTEND 1" BELOW FRAMING, TYP.

NEW RIGID FOAM INSULATION UNDER CONDITIONED FLOORS, TYP.

NEW BATT INSULATION IN PORCH ENCLOSURE WALLS, TYP.

NEW MASONRY PIER, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION, TYP.

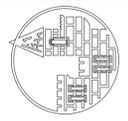
NEW 3/4" PLYWOOD TONGUE & GROOVE SHEATHING & 1" WOOD FLOORING

NEW FRAMING MEMBERS, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION, TYP.

NEW COPPER CAP AT INTERSECTION OF MASONRY AND WOOD, TYP.

NEW PORCH ADDITION FLOORING TO MATCH LEVEL OF EXISTING HOUSE

PRINTED ON: 10/20/2015 14:17 PM FILE LOCATION: Z:\AutoCAD\Bids\_Gen\Preparation\Parade\0911\_Wing\NewGarvin House Schematic Drawings\BID DOCUMENTS\A301.dwg



**MEADORS INC.**

2811 AZALEA DRIVE CHARLESTON, SC 29405-1205



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

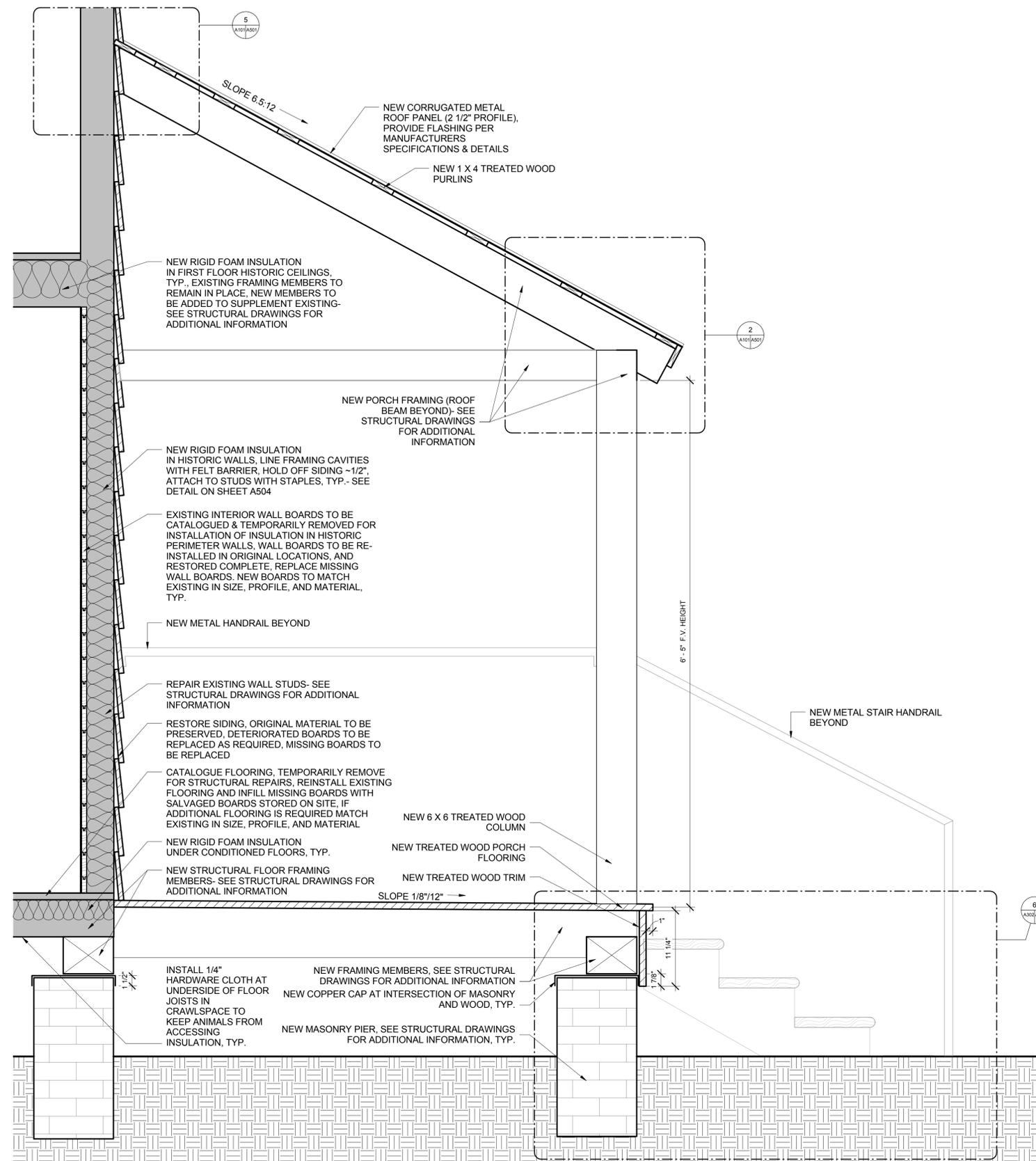
PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

SECTIONS  
DETAILS - NEW  
CONSTR. PORCH  
ADDITION

**A301**

PRINTED ON: 10/20/2015 14:12 PM FILE LOCATION: Z:\Arch\CAD\088\_Grove Preservation\088\_01\_Wing\01\_RestGarvin House Schematic Drawings\088\_01\_DOCUMENTS\A302.rvt



**1** SECTION DETAIL- NEW FRONT PORCH  
 A302 SCALE: 1 1/2" = 1'-0"

**MEADORS INC.**  
 2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

STATE OF SOUTH CAROLINA  
 BETTY PRIME  
 Charleston, SC 8919  
 REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA  
 MEADORS, INC.  
 Charleston, SC 100192  
 REGISTERED ARCHITECTS

**GARVIN HOUSE**  
 OYSTER FACTORY PARK  
 Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER FACTORY PARK  
 DATE: 10.28.15  
 DRAWN BY: BLP

REVISIONS

NO.	DATE	NOTES

SECTIONS  
 DETAILS- NEW  
 CONSTR. FRONT  
 PORCH  
**A302**

EXISTING CONDITIONS



- REMOVE BOARD
  - REPLACE MISSING HANDRAIL
  - SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 101.

1 ROOM 101- NORTH WALL  
A401 SCALE: N.T.S.



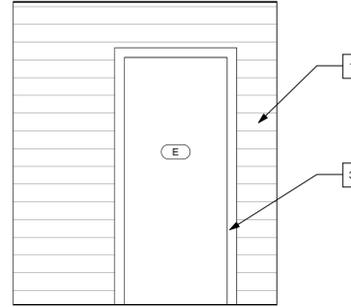
- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - TEMPORARILY STORE TRUNK DURING RESTORATION
  - REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
  - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
  - REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 102.

2 ROOM 101- NORTH & WEST WALL AFTER 2014 STABILIZATION  
A401 SCALE: N.T.S.

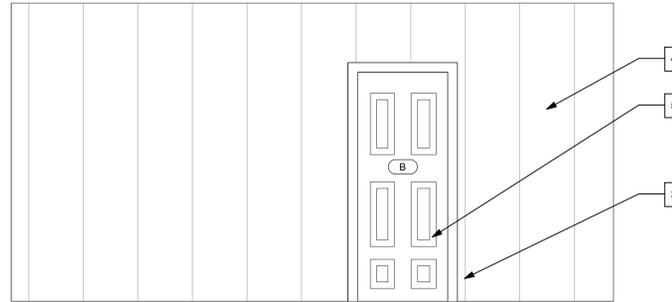


- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - PANEL WALL HAS BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG
  - ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG
  - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 102.

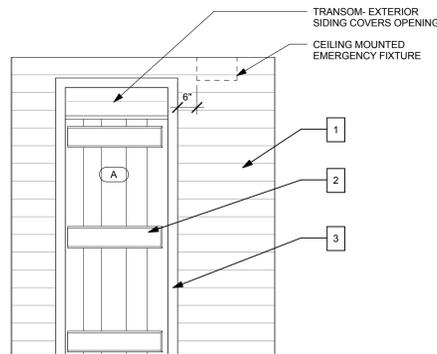
3 ROOM 101- EAST WALL BEFORE 2014 STABILIZATION  
A401 SCALE: N.T.S.



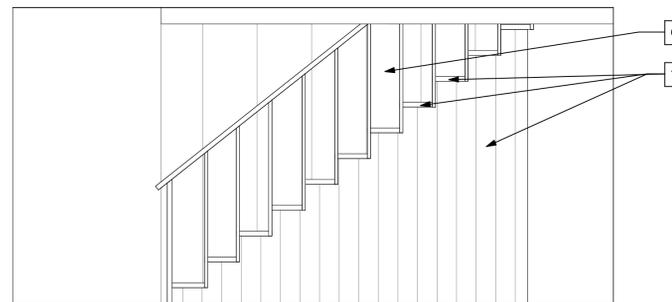
4 INTERIOR ELEVATION- ROOM 101 NORTH WALL  
A401 SCALE: 1/2" = 1'-0"



5 INTERIOR ELEVATION- ROOM 101 EAST WALL  
A401 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 101 SOUTH WALL  
A401 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 101 WEST WALL  
A401 SCALE: 1/2" = 1'-0"

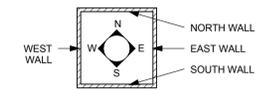
SHEET SPECIFIC NOTES

- 1 REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, AND FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
- 2 INSTALL NEW DOOR, MATCH EXISTING BOARD AND BATTEN DOORS.
- 3 RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT).
- 4 RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS SEEN IN PHOTOGRAPH 3 HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS & FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, & MATERIAL.
- 5 RESTORE & REHANG EXISTING DOOR.
- 6 STABILIZE AND RESTORE PANEL WALL & FLOORSTOPS- ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS & FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- 7 SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
7. WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
8. FLOORS  
CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
9. CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEMS CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID- TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



MEADORS INC.

2811 AZALEA DRIVE CHARLESTON, SC 29405-4323



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS  
ROOM 101

A401

**EXISTING CONDITIONS**



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

**1 ROOM 102- NORTH WALL**  
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE:  
CURRENT CONFIGURATION OF EAST WALL PHOTO TAKEN FROM INSIDE ROOM 102.

**2 ROOM 102- EAST WALL**  
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- RESTORE & REHANG DOOR
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL PHOTO TAKEN FROM INSIDE ROOM 102.

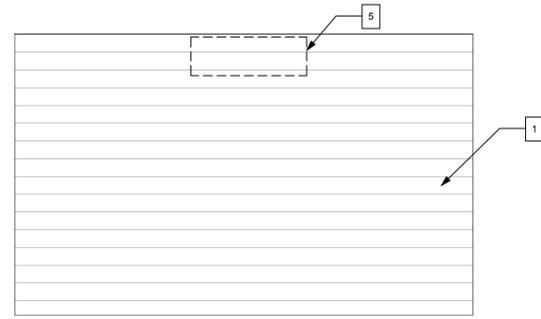
**3 ROOM 102- SOUTH WALL**  
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE & RE-HANG DOOR
- TEMPORARILY STORE TRUNK DURING RESTORATION
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

NOTE:  
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

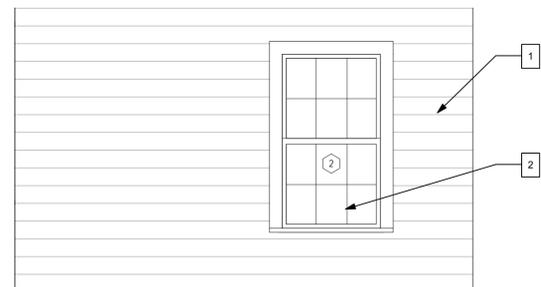
**4 ROOM 102- WEST WALL**  
SCALE: N.T.S.



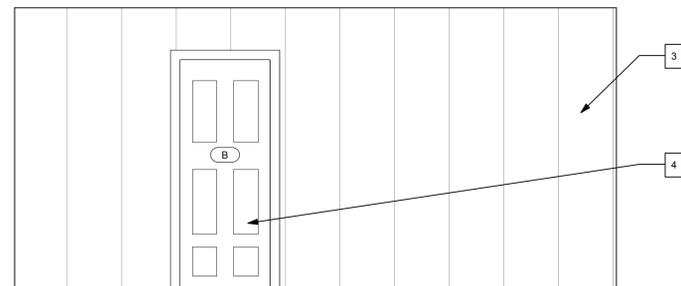
**5 INTERIOR ELEVATION- ROOM 102 NORTH WALL**  
SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 102 EAST WALL**  
SCALE: 1/2" = 1'-0"



**7 INTERIOR ELEVATION- ROOM 102 SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 102 WEST WALL**  
SCALE: 1/2" = 1'-0"

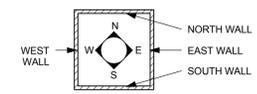
**SHEET SPECIFIC NOTES**

1. REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, AND FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
  2. RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE.
  3. RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
  4. RESTORE & REHANG EXISTING DOOR.
- NOTE: TRANSPARENT CONSERVATION VIEWER TO BE INSTALLED IN CEILING OF ROOM 102- ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS.
5. NEW MECHANICAL EQUIPMENT.

**GENERAL INTERIOR ELEVATION NOTES**

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES. FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
7. WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
8. FLOORS  
CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
9. CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

**INTERIOR ELEVATION KEY- WALL DESIGNATIONS**



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
10.28.15  
DRAWN BY: Author

**REVISIONS**

NO.	DATE	NOTES

ELEVATIONS  
ROOM 102

**A402**

**EXISTING CONDITIONS**



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE EXISTING 2 X 4 TABLE COMPLETE

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

**1 ROOM 103- NORTH WALL**  
SCALE: N.T.S.



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED.

REMOVE EXISTING 2 X 4 TABLE COMPLETE

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE:  
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

**2 ROOM 103- EAST WALL**  
SCALE: N.T.S.



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE

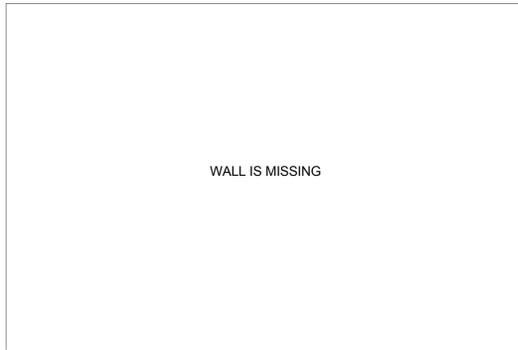
REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

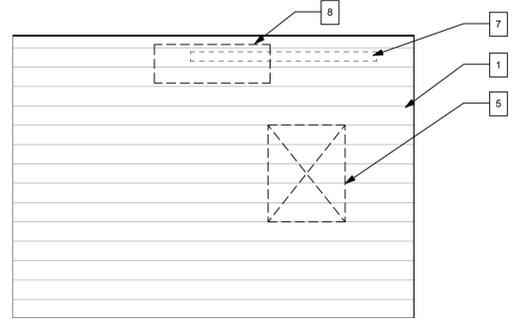
NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

**3 ROOM 103- SOUTH WALL**  
SCALE: N.T.S.

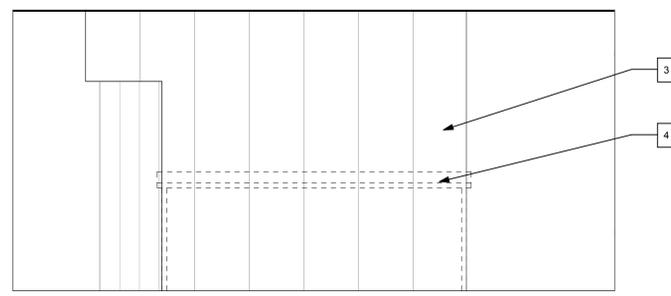


NOTE:  
WALL AND ALL ARCHITECTURAL ELEMENTS ARE MISSING FROM THIS ELEVATION. RESTORE COMPLETE.

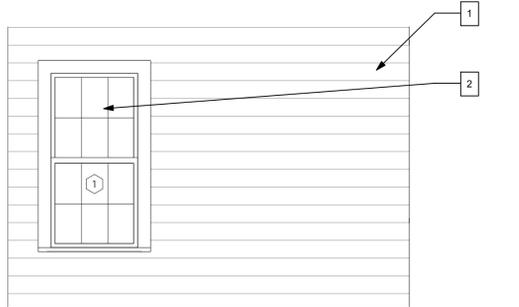
**4 ROOM 103- WEST WALL**  
SCALE: N.T.S.



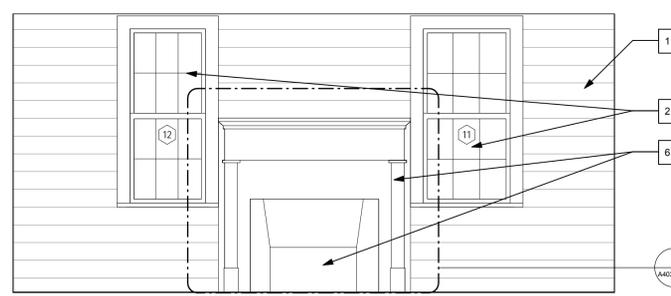
**5 INTERIOR ELEVATION- ROOM 103 NORTH WALL**  
SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 103 EAST WALL**  
SCALE: 1/2" = 1'-0"

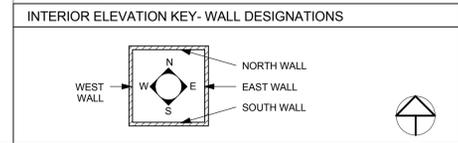


**7 INTERIOR ELEVATION- ROOM 103 SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 103 WEST WALL**  
SCALE: 1/2" = 1'-0"

- SHEET SPECIFIC NOTES**
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, & FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED, REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, & MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
  - RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE.
  - RESTORE PANEL WALL, TRIM, AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED
  - REMOVE EXISTING 2 X 4 TABLE COMPLETE.
  - INSTALL HINGED CONSERVATION WINDOW, ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS.
  - RESTORE MANTEL COMPLETE (CURRENTLY STORED), NEW CHIMNEY AND FIREBOX COMPLETE. CONFIRM DIMENSIONS OF MANTEL DURING FRAMING TO ENSURE THERE IS ADEQUATE CLEARANCE BETWEEN WINDOW TRIM FOR MANTEL. INSTALL NEW MASONRY HEARTH.
  - REMOVE WALL HOOKS, SALVAGE.
  - NEW MECHANICAL EQUIPMENT.
- GENERAL INTERIOR ELEVATION NOTES**
- FIELD VERIFY ALL DIMENSIONS.
  - COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
  - ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
  - PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
  - REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
  - REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
  - WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
  - FLOORS  
CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
  - CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR, TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION, REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR, FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
  - CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
  - EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
  - THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEMS CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
  - REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

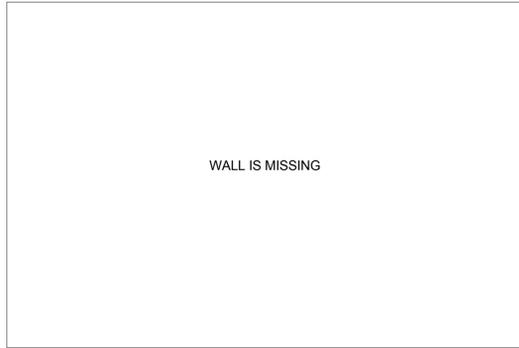
PROJ. NO. OYSTER FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

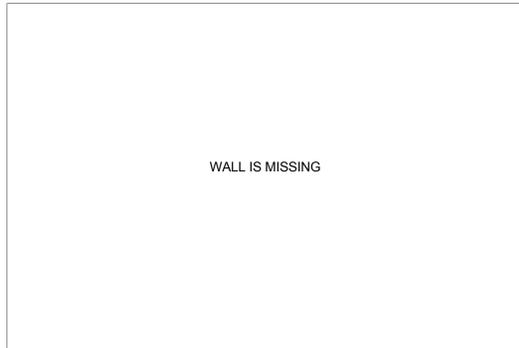
**ELEVATIONS ROOM 103**  
**A403**

PRINTED ON: 10/28/2015 10:42:17 AM FILE LOCATION: Z:\AutoCAD\BIBI\_Garvin Preservation\Projects\10\_Wing\103\Garvin House\BIBI\BIBI\_DOCUMENTS\A403.dwg

**EXISTING CONDITIONS**



**1 ROOM 104- NORTH WALL**  
A404 SCALE: N.T.S.



**2 ROOM 104- EAST WALL**  
A404 SCALE: N.T.S.



REMOVE EXISTING CORRUGATED METAL ROOF. INSTALL NEW PLYWOOD SHEATHING OVER HISTORIC WOOD SHAKE ROOF. INSTALL NEW CORRUGATED METAL ROOF OVER PLYWOOD. UNDERSIDE OF PLYWOOD TO BE PAINTED.

RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE FRAMED OPENING COMPLETE.

RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT) COMPLETE.

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL. CURRENTLY AN EXTERIOR WALL.

**3 ROOM 104- SOUTH WALL**  
A404 SCALE: N.T.S.

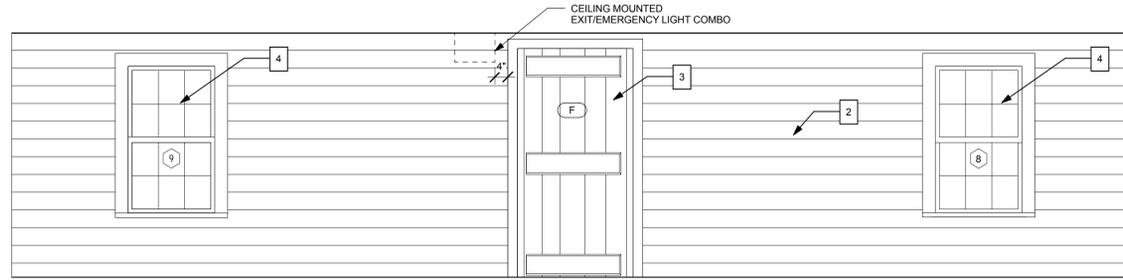


REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

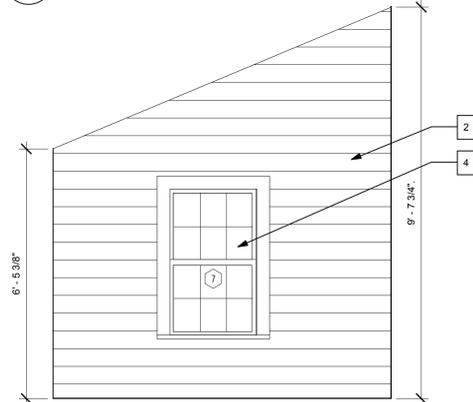
CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY

NOTE:  
CURRENT CONFIGURATION OF WEST WALL. ONLY CHIMNEY REMAINS.

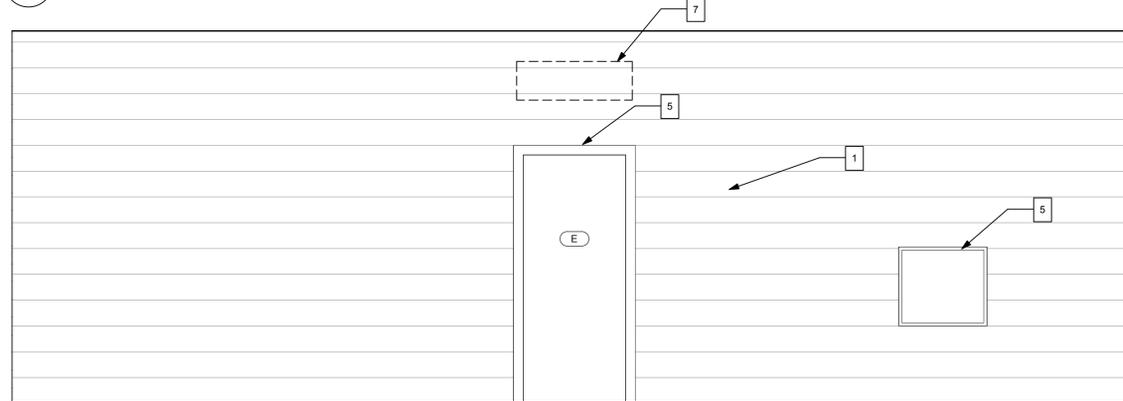
**4 ROOM 104- WEST WALL**  
A404 SCALE: N.T.S.



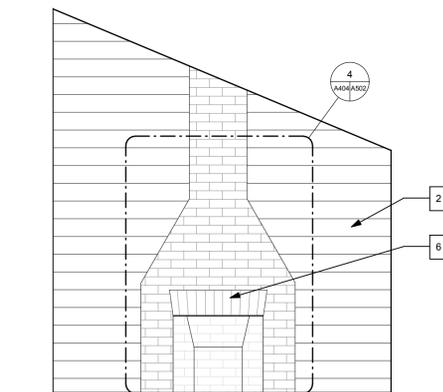
**5 INTERIOR ELEVATION- ROOM 104 NORTH WALL**  
A404 SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 104 EAST WALL**  
A404 SCALE: 1/2" = 1'-0"



**7 INTERIOR ELEVATION- ROOM 104 SOUTH WALL**  
A404 SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 104 WEST WALL**  
A404 SCALE: 1/2" = 1'-0"

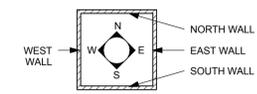
**SHEET SPECIFIC NOTES**

- RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- INSTALL NEW TONGUE AND GROOVE WALLBOARDS.
- INSTALL NEW DOOR COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, AND DOOR), MATCH EXISTING BOARD AND BATTEN DOORS.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
- RESTORE EXISTING DOOR OPENING COMPLETE (INCLUDING BUT NOT LIMITED TO THE JAMB AND TRIM).
- CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY AND FIREBOX, INSTALL NEW MASONRY HEARTH.
- NEW MECHANICAL EQUIPMENT.

**GENERAL INTERIOR ELEVATION NOTES- NEW CONSTRUCTION**

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES, FLOORING, TRIM, AND MECH/ELEC. EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS  
NEW TONGUE AND GROOVE FLOORING, ORIENTATION TO RUN NORTH/SOUTH.
- CEILINGS  
NEW FLUSH JOINT CEILING BOARDS, SIZE AND DIMENSION TO MATCH INTERIOR CEILING BOARDS IN EXISTING BUILDING.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

**INTERIOR ELEVATION KEY- WALL DESIGNATIONS**



**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: Author  
10.28.15

**REVISIONS**

NO.	DATE	NOTES

**ELEVATIONS**  
ROOM 104

**A404**

**EXISTING CONDITIONS**



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE PANEL WALLS AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

**1 ROOM 201- NORTH WALL**  
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:  
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

**2 ROOM 201- EAST WALL**  
SCALE: N.T.S.



RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE PANEL WALLS AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR (STORED), RESTORE DOOR TRIM AND JAMB COMPLETE.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

**3 ROOM 201- SOUTH WALL**  
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

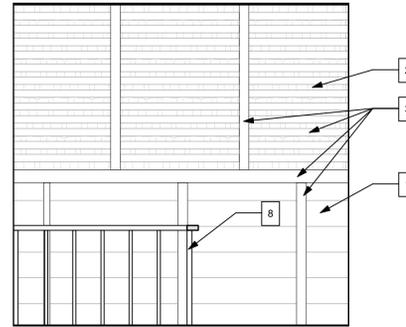
RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE BOARD.

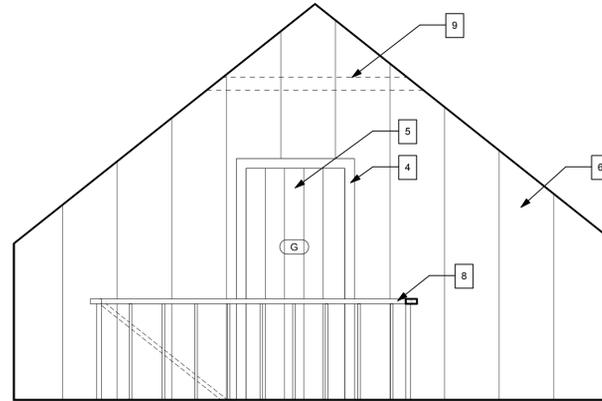
SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

NOTE:  
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

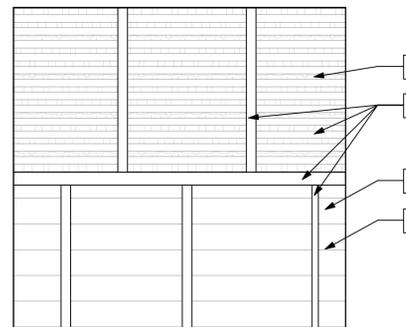
**4 ROOM 201- WEST WALL**  
SCALE: N.T.S.



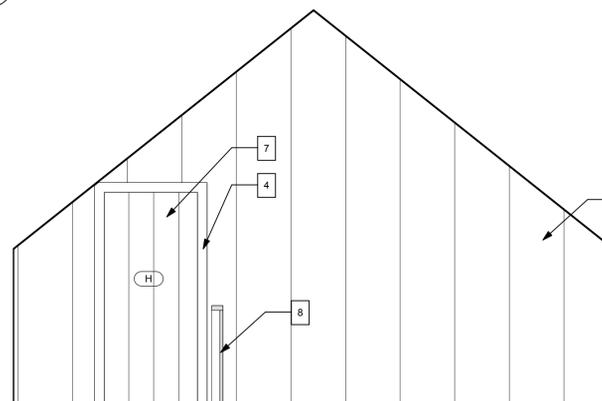
**5 INTERIOR ELEVATION- ROOM 201 NORTH WALL**  
SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 201 EAST WALL**  
SCALE: 1/2" = 1'-0"



**7 INTERIOR ELEVATION- ROOM 201 SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 201 WEST WALL**  
SCALE: 1/2" = 1'-0"

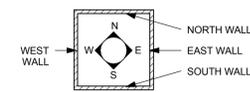
**SHEET SPECIFIC NOTES**

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THEM DURING THE COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE DOOR JAMB, TRIM.
- RESTORE & REHANG EXISTING DOOR.
- STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- RESTORE & REHANG DOOR (STORED).
- NEW HANDRAIL COMPLETE.
- EXISTING COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE.

**GENERAL INTERIOR ELEVATION NOTES**

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS: FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
- CEILINGS: CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

**INTERIOR ELEVATION KEY- WALL DESIGNATIONS**



**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

STATE OF SOUTH CAROLINA  
BETTY PRIME  
Charleston, SC  
8919  
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA  
MEADORS, INC.  
Charleston, SC  
100192  
REGISTERED ARCHITECTS

**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER  
FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS  
ROOM 201  
**A405**

**EXISTING CONDITIONS**



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS, NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

**1 ROOM 202- NORTH WALL**  
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

ALL ELECTRICAL ELEMENTS TO BE REMOVED, TYP. BOARD TO REMAIN, REMOVE BOARD.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS, NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

**2 ROOM 202- EAST WALL**  
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

**3 ROOM 202- SOUTH WALL**  
SCALE: N.T.S.



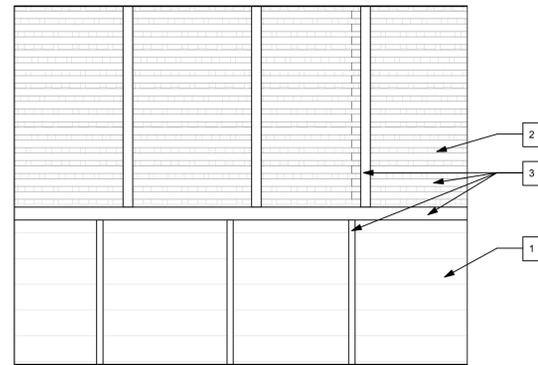
REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

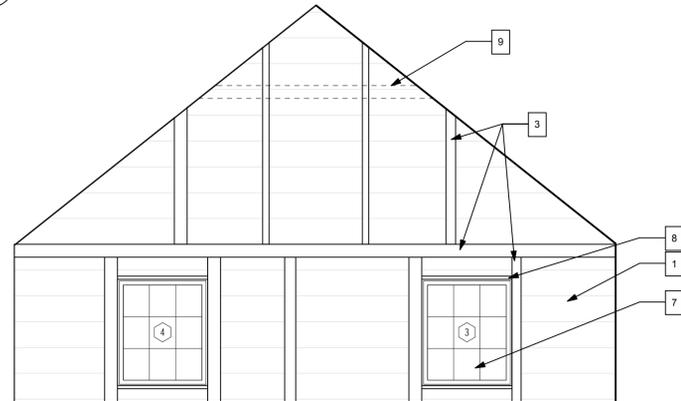
RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

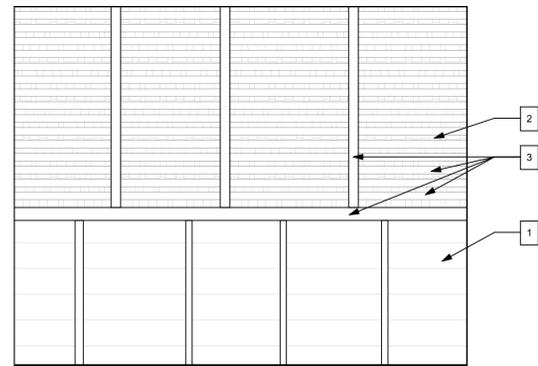
**4 ROOM 202- WEST WALL**  
SCALE: N.T.S.



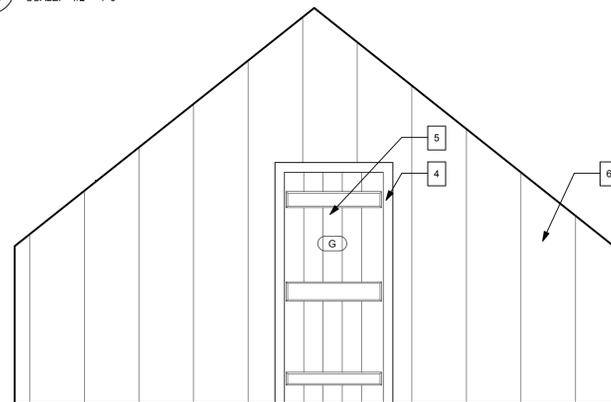
**5 INTERIOR ELEVATION- ROOM 202 NORTH WALL**  
SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 202 EAST WALL**  
SCALE: 1/2" = 1'-0"



**7 INTERIOR ELEVATION- ROOM 202 SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 202 WEST WALL**  
SCALE: 1/2" = 1'-0"

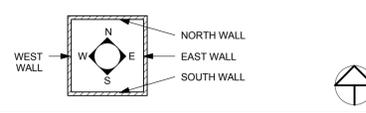
**SHEET SPECIFIC NOTES**

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE DURING COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE DOOR JAMB, TRIM.
- RESTORE & REHANG EXISTING DOOR.
- STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
- INSTALL NEW HORIZONTAL FRAMING MEMBERS FOR WINDOWS, TEMPLATE EXISTING HORIZONTAL FRAMING MEMBER ON EAST WALL.
- EXISTING COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE.

**GENERAL INTERIOR ELEVATION NOTES**

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS: FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
- CEILINGS: CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

**INTERIOR ELEVATION KEY- WALL DESIGNATIONS**



**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

STATE OF SOUTH CAROLINA  
BETTY PRIME  
Charleston, SC  
8919  
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA  
MEADORS, INC.  
Charleston, SC  
100192  
REGISTERED ARCHITECTS

**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
10.28.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

ELEVATIONS  
ROOM 202  
**A406**

PRINTED ON: 10/28/2015 14:32 PM FILE LOCATION: Z:\Arch\Garvin\_House\_Preservation\_Plan\0301\_Walling\_Rehanging\_House\_Schematic\_Drawings\EXISTING\_DOCUMENTS\A406.rvt

**EXISTING CONDITIONS**



**1 ROOM 203- NORTH WALL**  
SCALE: N.T.S.

- REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
- RESTORE PANEL WALLS AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



**2 ROOM 203- EAST WALL**  
SCALE: N.T.S.

- REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.
- RESTORE PANEL WALL AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

NOTE:  
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



**3 ROOM 203- SOUTH WALL**  
SCALE: N.T.S.

- REMOVE BOARD.
- REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.
- FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

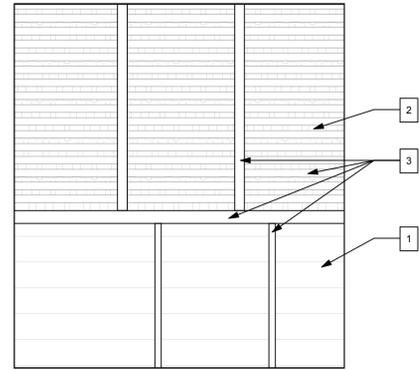
NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



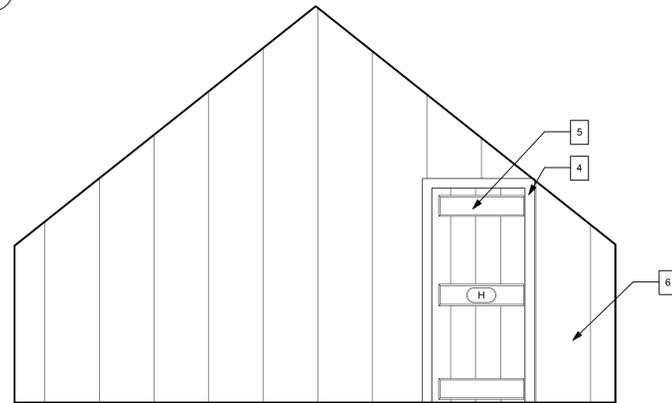
**4 ROOM 203- WEST WALL**  
SCALE: N.T.S.

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
- SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.
- FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

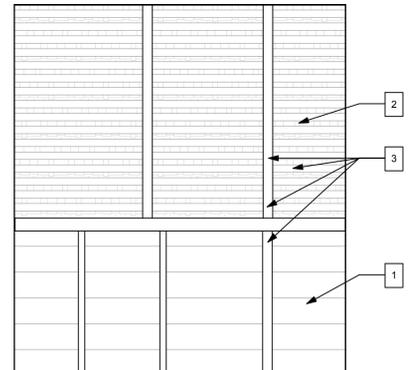
NOTE:  
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



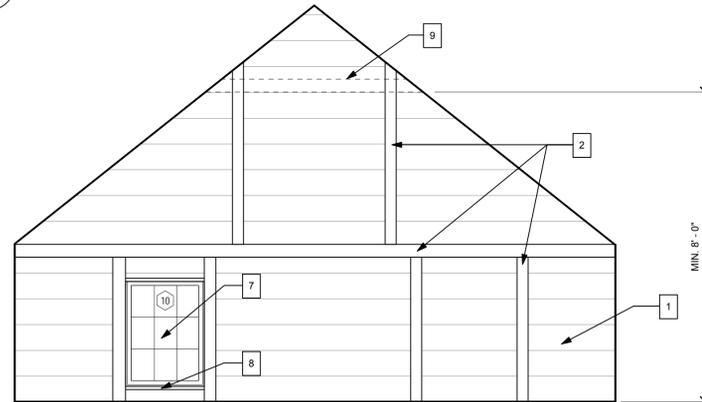
**5 INTERIOR ELEVATION- ROOM 203 NORTH WALL**  
SCALE: 1/2" = 1'-0"



**6 INTERIOR ELEVATION- ROOM 203 EAST WALL**  
SCALE: 1/2" = 1'-0"



**7 INTERIOR ELEVATION- ROOM 203 SOUTH WALL**  
SCALE: 1/2" = 1'-0"



**8 INTERIOR ELEVATION- ROOM 203 WEST WALL**  
SCALE: 1/2" = 1'-0"

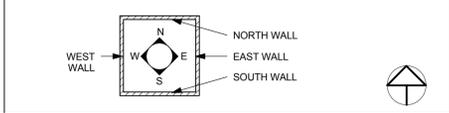
**SHEET SPECIFIC NOTES**

1. RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
2. SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THEM DURING THE COURSE OF WORK.
3. REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
4. RESTORE & REHANG DOOR (STORED).
5. RESTORE & REHANG EXISTING DOOR.
6. STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
7. INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
8. INSTALL NEW HORIZONTAL FRAMING MEMBERS FOR WINDOWS, TEMPLATE EXISTING HORIZONTAL FRAMING MEMBER ON EAST WALL OF ROOM 202.
9. INSTALL COLLAR TIE AT ~ CENTER OF ROOM. MATCH LOCATION OF EXISTING COLLAR TIE. COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE. MATERIAL FOR COLLAR TIE TO BE RECLAIMED.

**GENERAL INTERIOR ELEVATION NOTES**

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
7. WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
8. FLOORS: FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
9. CEILINGS: CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

**INTERIOR ELEVATION KEY- WALL DESIGNATIONS**



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO.	OYSTER	
DATE:	FACTORY PARK 10.28.15	
DRAWN BY:	Author	
REVISIONS		
NO.	DATE	NOTES

**ELEVATIONS ROOM 203**  
**A407**

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2811 AZALEA DRIVE CHARLESTON, SC 29405-8585



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

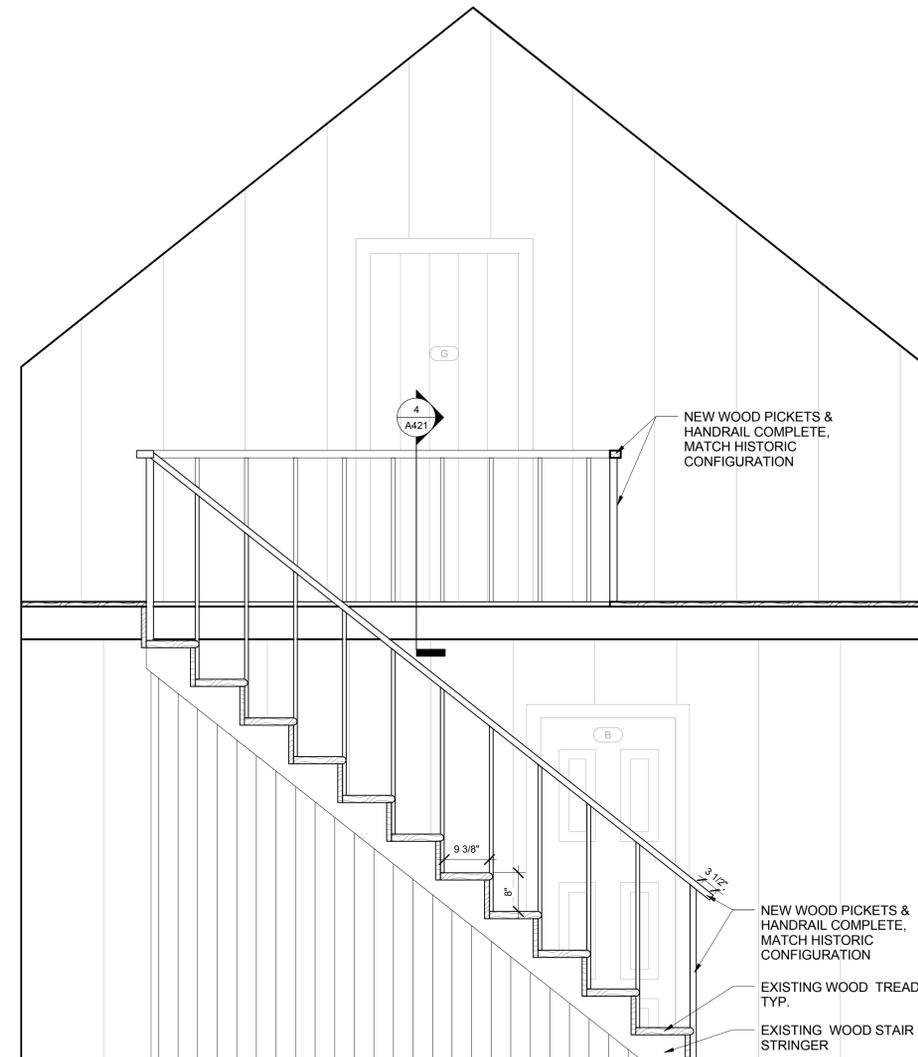
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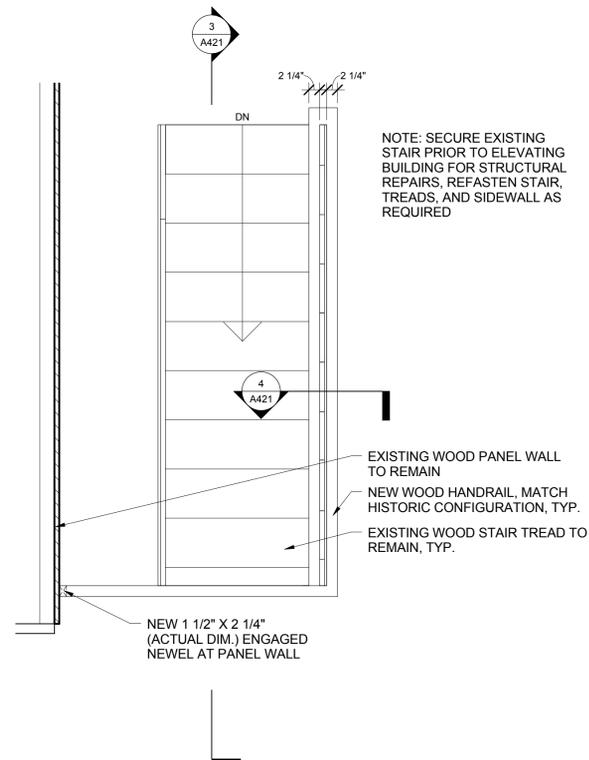
REVISIONS		
NO.	DATE	NOTES

SECTION & PLAN  
DETAILS-  
INTERIOR  
STAIRS

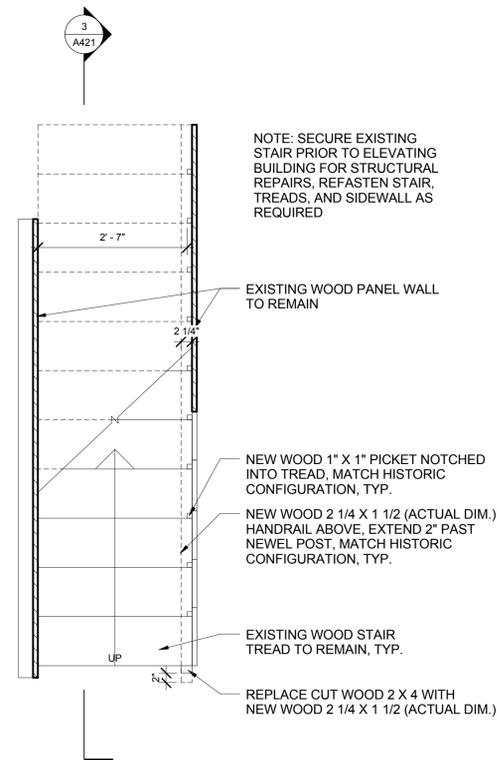
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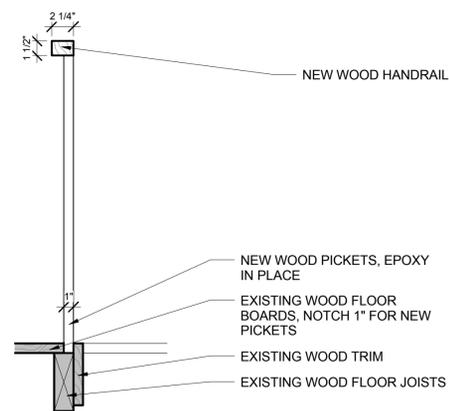
3 SECTION DETAIL (N/S)- INTERIOR STAIR  
SCALE: 3/4" = 1'-0"



2 PLAN DETAIL- SECOND FLOOR INTERIOR STAIRS  
SCALE: 3/4" = 1'-0"

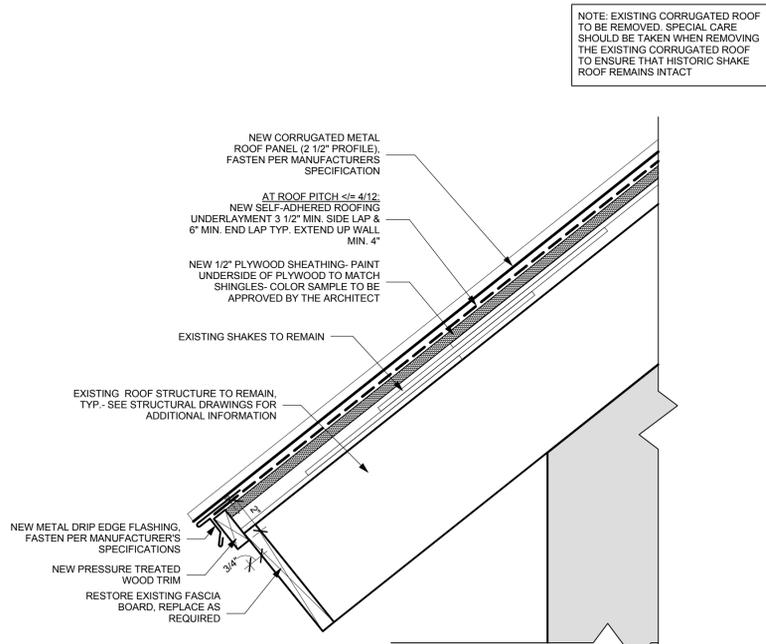


1 PLAN DETAIL- FIRST FLOOR INTERIOR STAIRS  
SCALE: 3/4" = 1'-0"

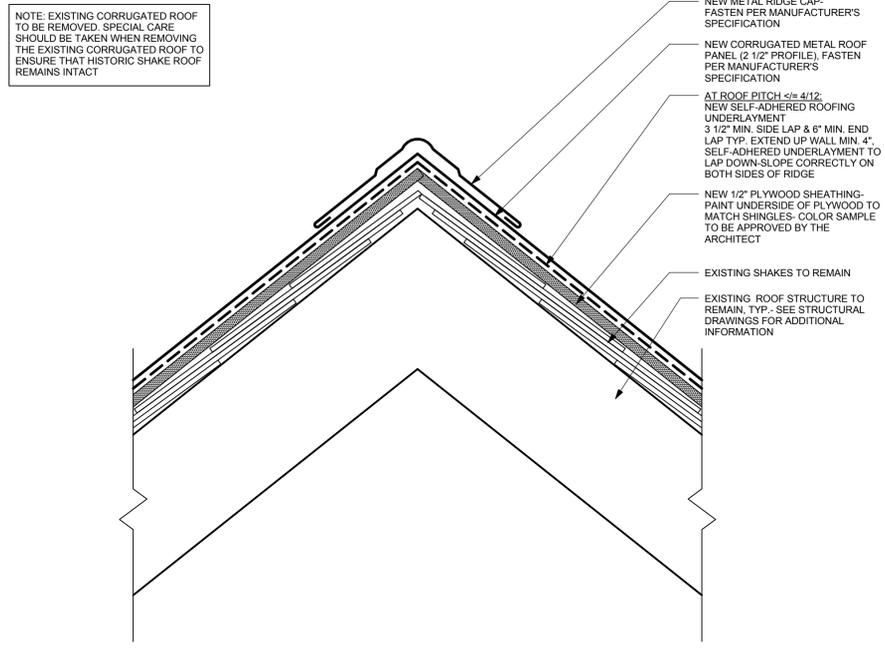


4 SECTION DETAIL- 2ND FLOOR STAIR HANDRAIL  
SCALE: 1 1/2" = 1'-0"

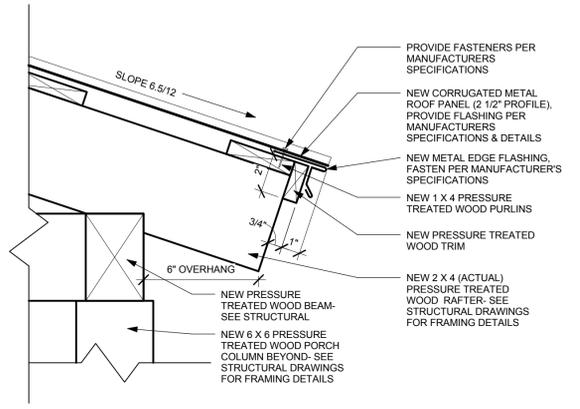
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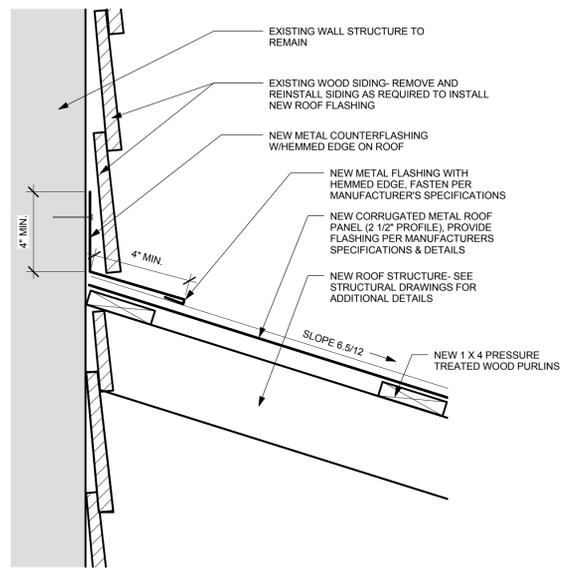
**1 EAVE DETAIL (N & S)- EXISTING BUILDING**  
A501 SCALE: 3" = 1'-0"



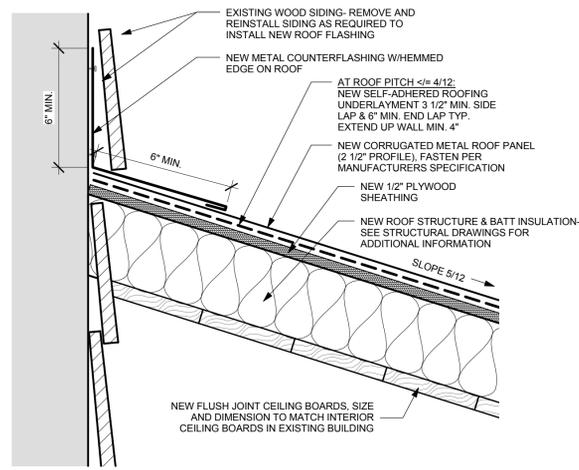
**4 RIDGE DETAIL- EXISTING BUILDING**  
A501 SCALE: 3" = 1'-0"



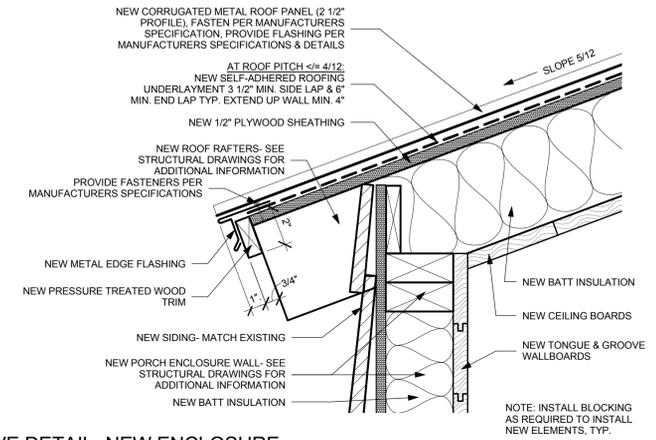
**2 EAVE DETAIL- NEW PORCH**  
A501 SCALE: 3" = 1'-0"



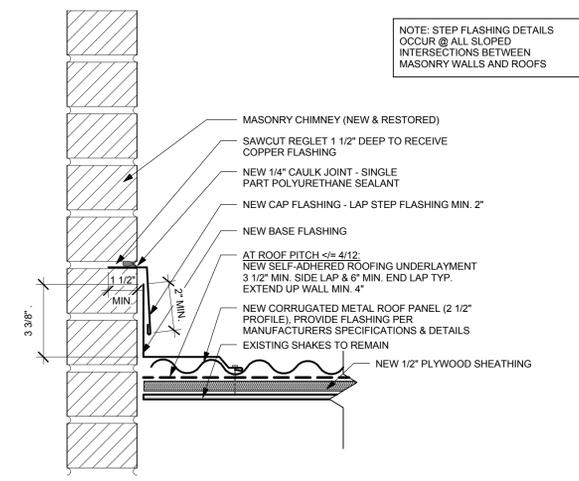
**5 SECTION DETAIL - SIDING TO NEW PORCH ROOF**  
A501 SCALE: 3" = 1'-0"



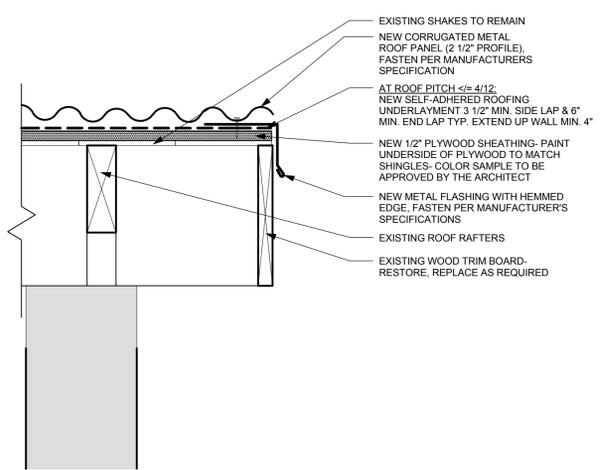
**7 SECTION DETAIL- SIDING TO NEW ENCLOSURE ROOF**  
A501 SCALE: 3" = 1'-0"



**3 EAVE DETAIL- NEW ENCLOSURE**  
A501 SCALE: 3" = 1'-0"



**6 SECTION DETAIL- STEP FLASHING @ CHIMNEY**  
A501 SCALE: 3" = 1'-0"



**8 EAVE DETAIL (E & W)- EXISTING BUILDING**  
A501 SCALE: 3" = 1'-0"



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

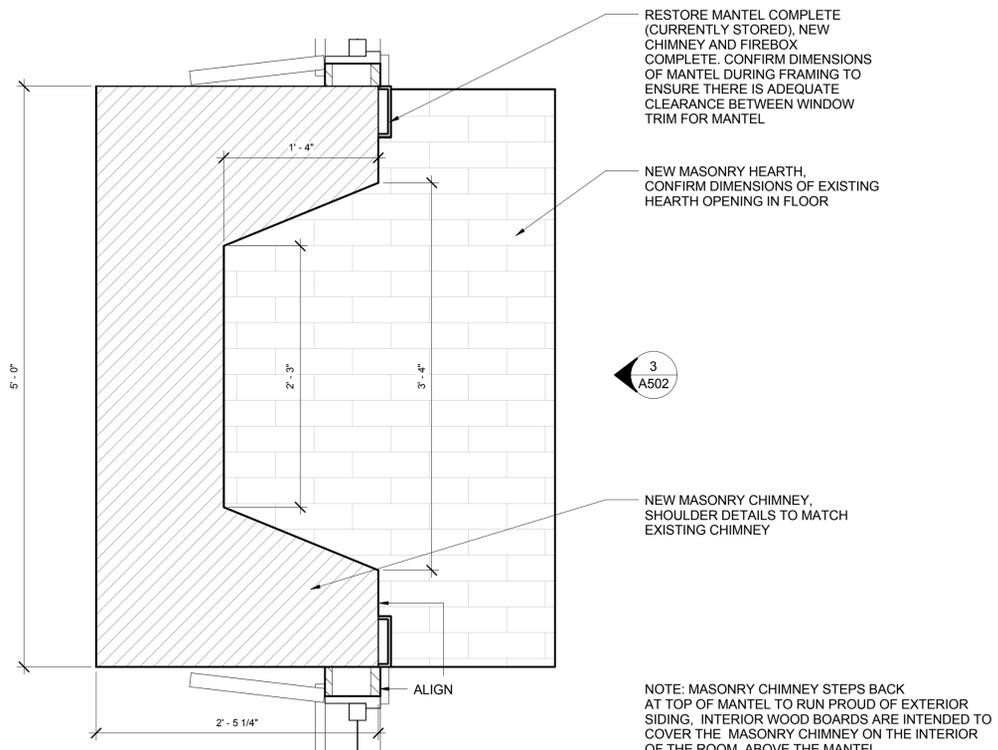
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PROJ. NO. OYSTER  
DATE: FACTORY PARK  
10.28.15  
DRAWN BY: BLP

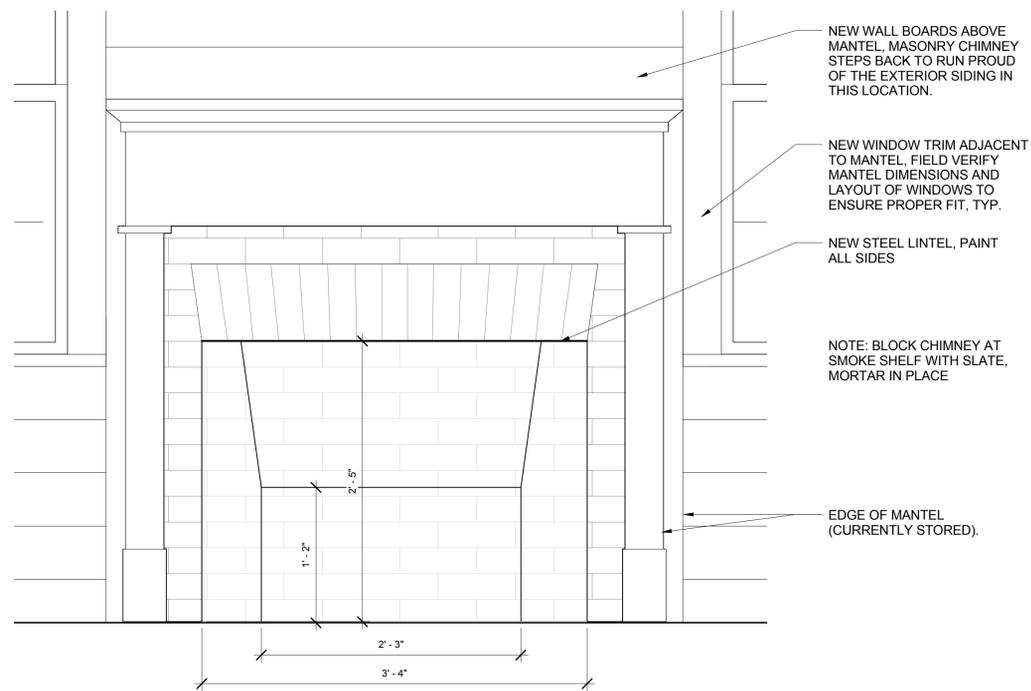
REVISIONS		
NO.	DATE	NOTES

LARGE SCALE DETAILS- ROOF

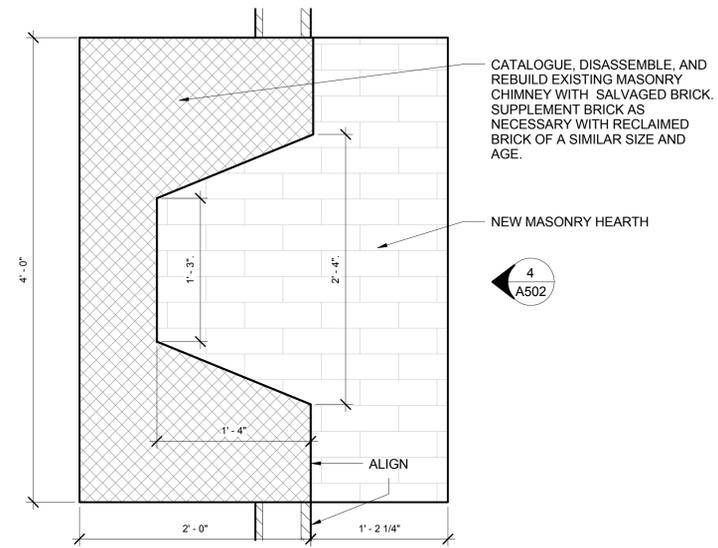
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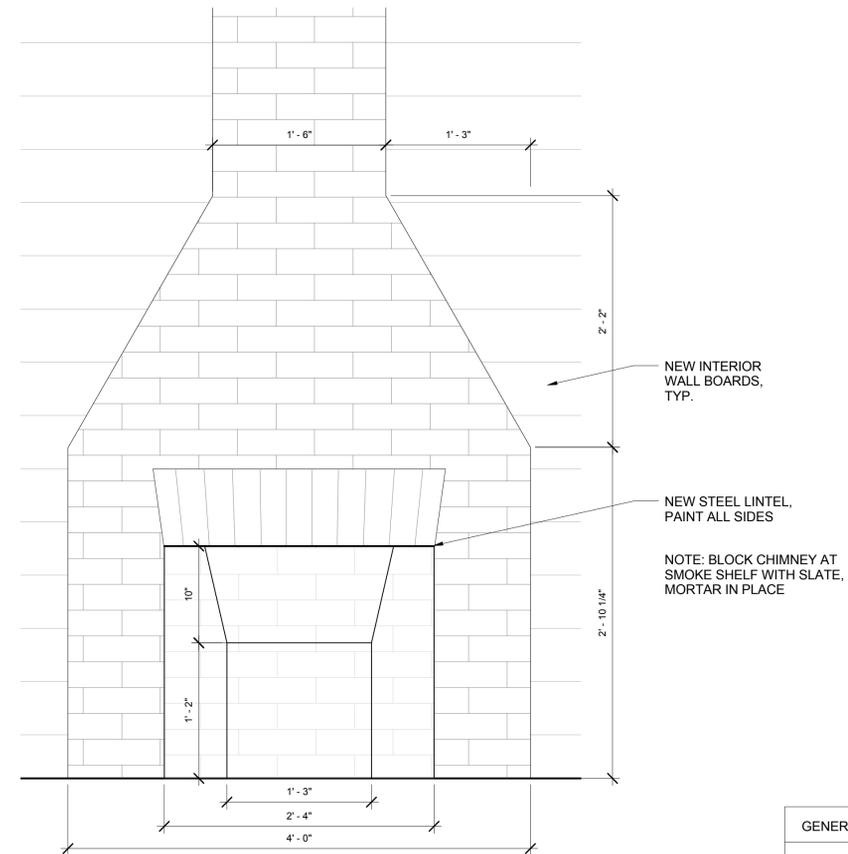
1 PLAN DETAIL- FIREPLACE ROOM 103  
SCALE: 1 1/2" = 1'-0"



3 ENLARGED ELEVATION- FIREPLACE ROOM 103  
SCALE: 1 1/2" = 1'-0"



2 PLAN DETAIL- FIREPLACE ROOM 104 PORCH ADDITION  
SCALE: 1 1/2" = 1'-0"



4 ENLARGED ELEVATION- FIREPLACE ROOM 104 PORCH ADDITION  
SCALE: 1 1/2" = 1'-0"

GENERAL FIREPLACE NOTES

1. FIELD VERIFY ALL DIMENSIONS
2. FIREPLACES ARE CONSTRUCTED TO MATCH HISTORIC CONFIGURATION. FIREPLACES ARE NOT INTENDED TO BE USED.
3. BLOCK CHIMNEYS AT SMOKE SHELF WITH SLATE, MORTAR IN PLACE.
4. INSTALL SLATE CAP AND DAMPER AT TOP OF CHIMNEYS.



MEADORS INC.

2811 AZALEA DRIVE CHARLESTON, SC 29403-7233 853-8585



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

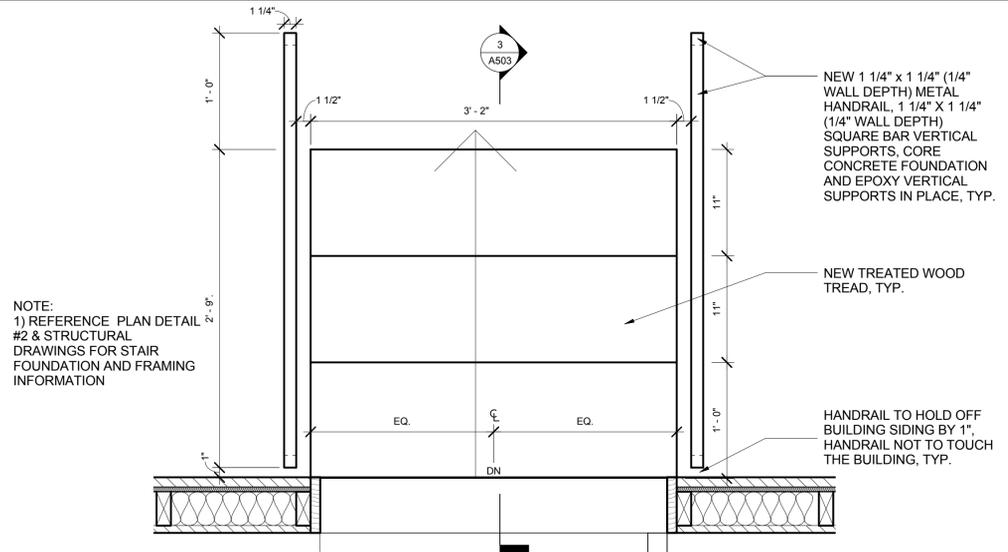
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PROJ. NO. OYSTER FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: BLP

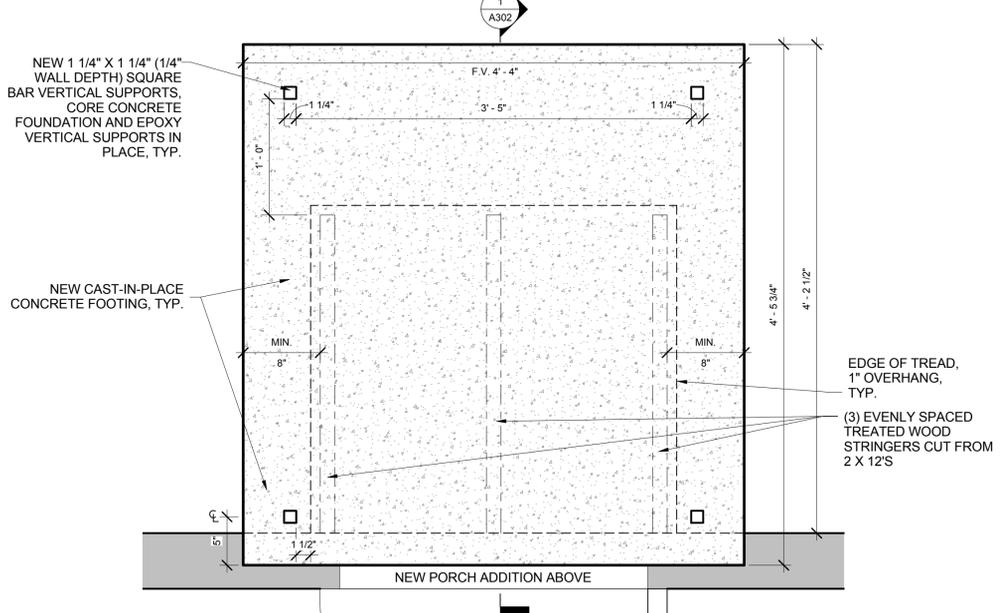
REVISIONS		
NO.	DATE	NOTES

ELEVATION & PLAN DETAILS- FIREPLACE

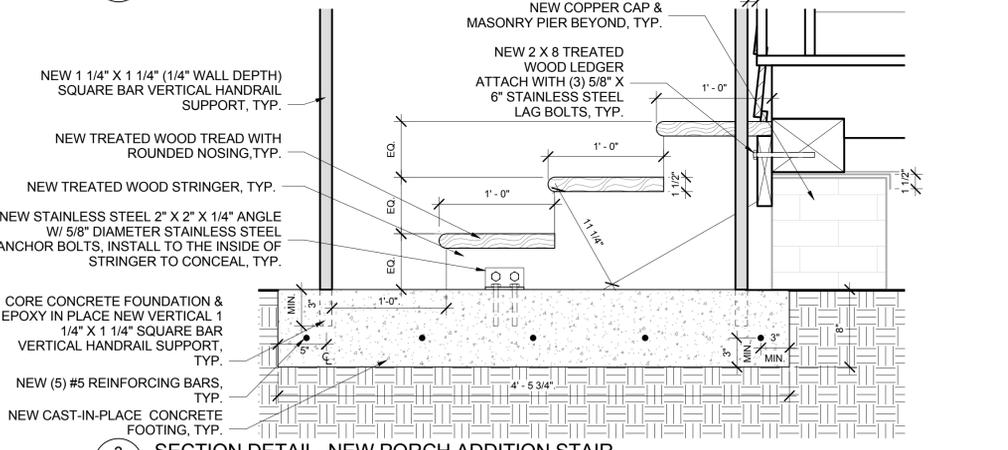
A502



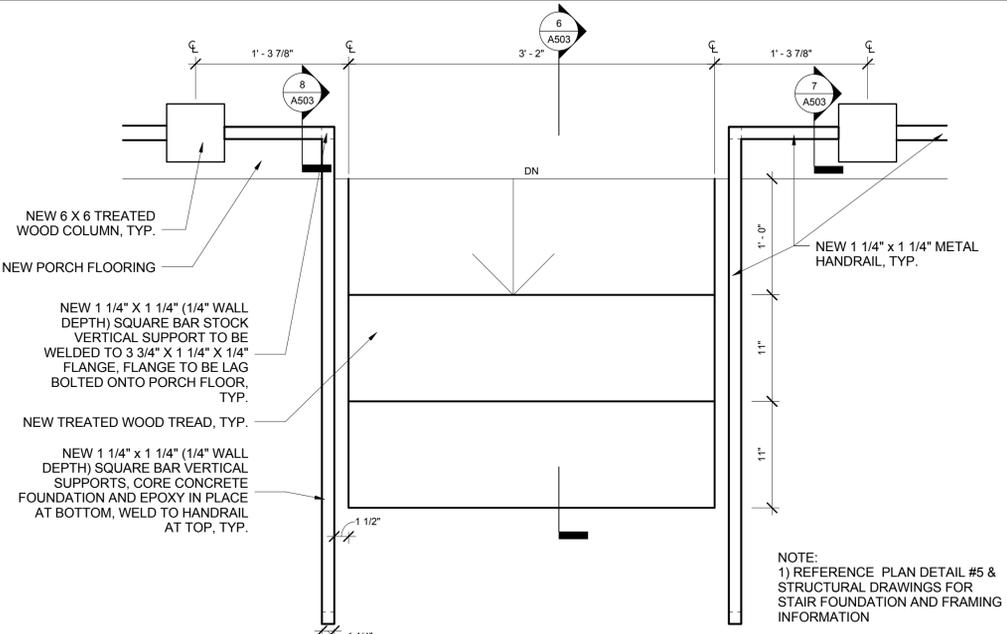
**1 PLAN DETAIL- PORCH ADDITION STAIR**  
SCALE: 1 1/2" = 1'-0"



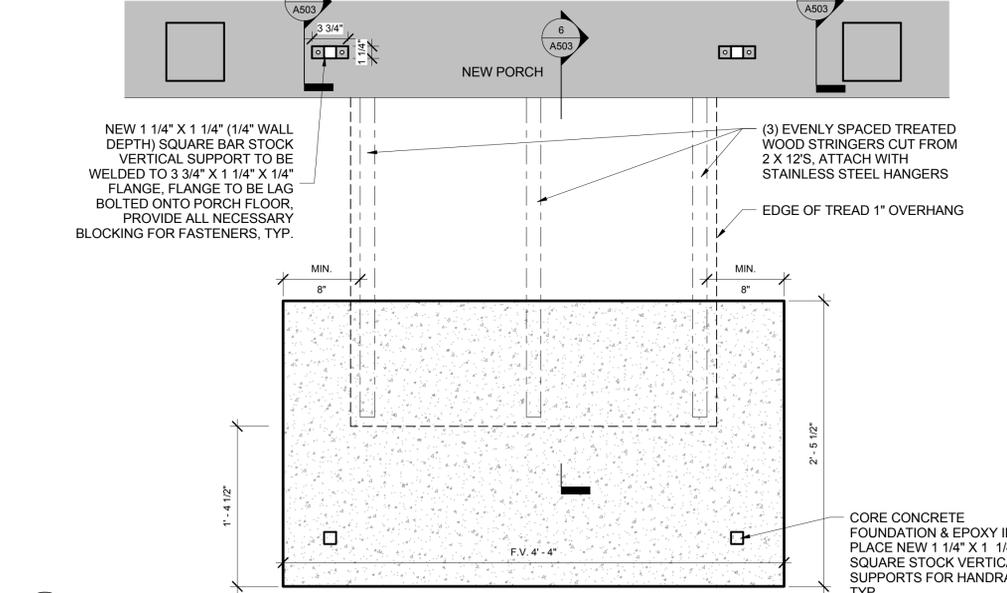
**2 PLAN DETAIL- PORCH ADDITION STAIR FRAMING**  
SCALE: 1 1/2" = 1'-0"



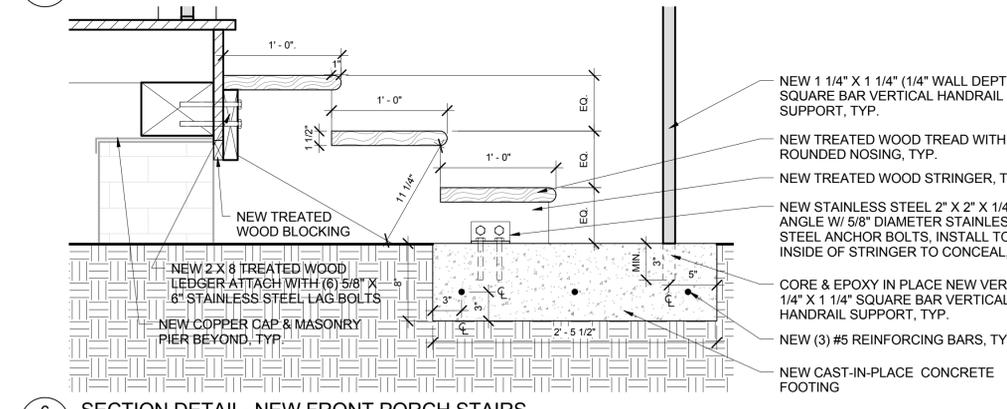
**3 SECTION DETAIL- NEW PORCH ADDITION STAIR**  
SCALE: 1 1/2" = 1'-0"



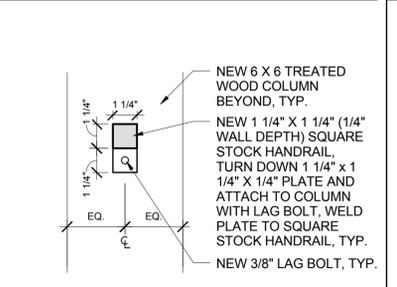
**4 PLAN DETAIL- NEW FRONT PORCH STAIR**  
SCALE: 1 1/2" = 1'-0"



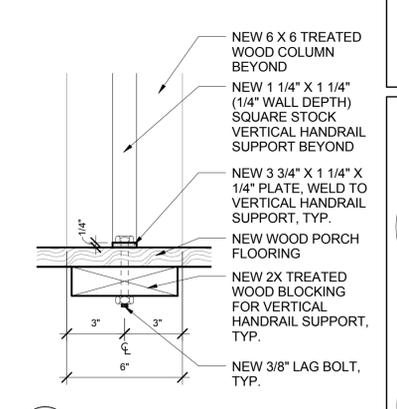
**5 PLAN DETAIL- NEW FRONT PORCH STAIR FRAMING**  
SCALE: 1 1/2" = 1'-0"



**6 SECTION DETAIL- NEW FRONT PORCH STAIRS**  
SCALE: 1 1/2" = 1'-0"



**7 HANDRAIL DETAIL @ COLUMN**  
SCALE: 3" = 1'-0"



**8 HANDRAIL DETAIL @ FLOOR**  
SCALE: 3" = 1'-0"

PRINTED ON: 10/20/2015 10:42 AM FILE LOCATION: Z:\AutoCAD\Bids\Guest\Preparation\Bids\0916\_Walton\Reid\Garvin House Structural Drawings\BID DOCUMENTS\A503.dwg

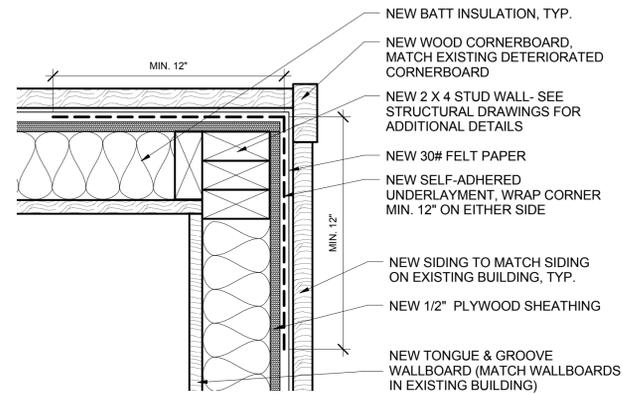


**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

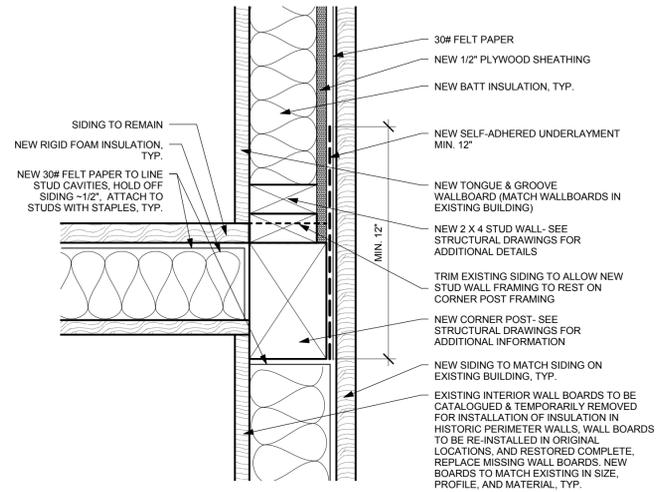
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PROJ. NO.	OYSTER	
DATE:	FACTORY PARK	
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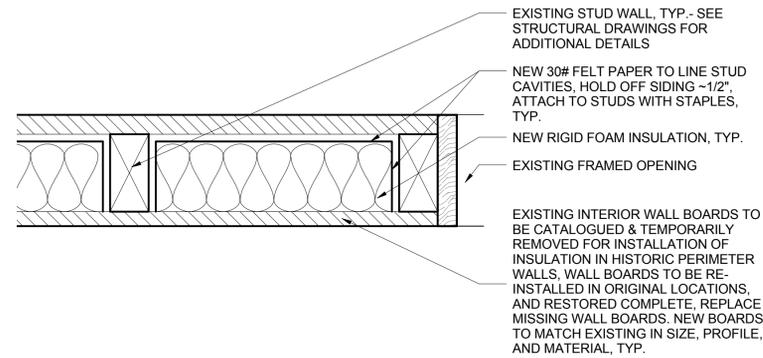
**SECTION & PLAN**  
DETAILS-  
EXTERIOR  
STAIRS  
**A503**



**1** PLAN DETAIL- PORCH ADDITION WALL CORNER  
A504 SCALE: 3" = 1'-0"

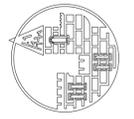


**2** PLAN DETAIL- INTERSECTION OF PORCH ADDITION & EXISTING BUILDING WALLS  
A504 SCALE: 3" = 1'-0"



**3** PLAN DETAIL- HISTORIC WALL  
A504 SCALE: 3" = 1'-0"

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**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

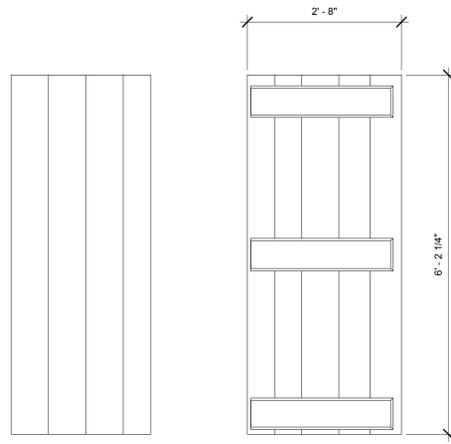
PROJ. NO. OYSTER  
DATE: FACTORY PARK  
10.28.15  
DRAWN BY: Author

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NO.	DATE	NOTES

LARGE SCALE  
DETAILS- WALLS

**A504**

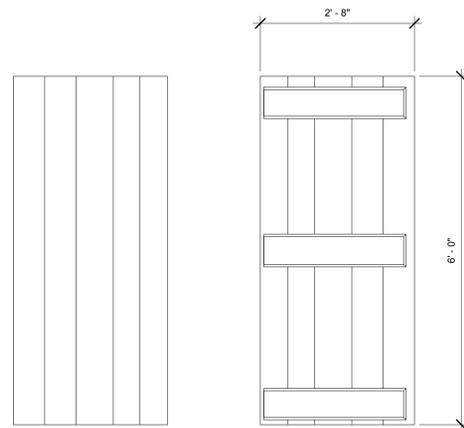
DOOR SCHEDULE												
Mark	Int./Ext.	Level	Width	Height	Door	Door Type	Existing Hardware Notes	Handle Style	New Lock Function/Notes	Finish	Model Number	Description
A	Ext.	FIRST FLOOR F.F.	2' - 8"	7' - 0"	New	Type 1	New	pull	1- New hand forged hasp and staple, 1- new hook and eye, 1- New hand forged pull, 2- New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron		Door has transom above the door, 2'8 x 7'0 is the opening size including the transom. Door dimensions ~ 2'8 x 6'-2 1/4"
B	Int.	FIRST FLOOR F.F.	2' - 4"	6' - 0"	Existing	Type 3	Existing rim lock, hasp, strap hinges, & key hole cover	porcelain knob	Existing hasp to remain, Salvage and restore existing rim lock, 2- New hand forged tapered strap hinges (match existing)	cast iron		
E	Int.	FIRST FLOOR F.F.	2' - 8"	6' - 5 3/4"	Existing (Casement Opening)	N/A	N/A	N/A	N/A	N/A	N/A	N/A
F	Ext.	FIRST FLOOR F.F.	3' - 0"	6' - 0"	New	Type 2	New	pull	1- New hand forged hasp and staple, 1- new hook and eye, 1- New hand forged pull, 2- New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron		
G	Int.	SECOND FLOOR F.F.	2' - 6 3/4"	6' - 0"	Existing	Type 4	Existing Hinges, Hasp & Hand Pull Missing	pull	Existing hardware to remain	cast iron		
H	Int.	SECOND FLOOR F.F.	2' - 5"	5' - 6 1/2"	Stored	Type 5	Existing Hasp, Hinges & Staple Missing	none	Existing hasp to remain, 2- New hand forged tapered strap hinges (match existing hinge on Door G), 1- New hand forged staple	cast iron		



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR F IS MISSING. DETAILS & PROFILES FOUND ON EXISTING DOOR TYPES 4 & 5 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW DOORS FOR DOOR TYPE 1. ADJUST TO FIT OPENING.

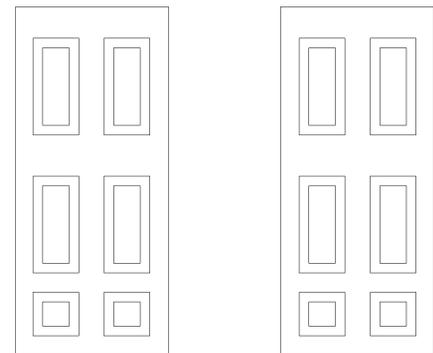
1 DOOR TYPE 1  
SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR F IS MISSING. DETAILS & PROFILES FOUND ON EXISTING DOOR TYPES 4 & 5 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW DOORS FOR DOOR TYPE 2. ADJUST TO FIT OPENING.

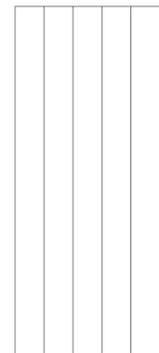
2 DOOR TYPE 2  
SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR B IS EXISTING.

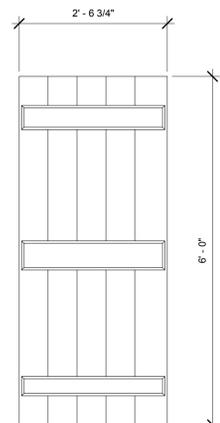
3 DOOR TYPE 3  
SCALE: 3/4" = 1'-0"



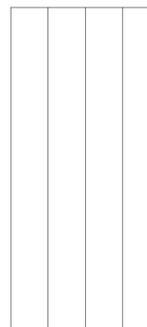
EXTERIOR

FOR REFERENCE ONLY. DOOR G IS EXISTING.

4 DOOR TYPE 4  
SCALE: 3/4" = 1'-0"



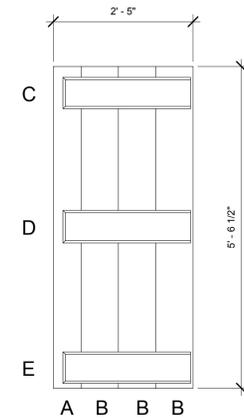
INTERIOR



EXTERIOR

FOR REFERENCE ONLY. DOOR H IS EXISTING (STORED).

5 DOOR TYPE 5  
SCALE: 3/4" = 1'-0"



INTERIOR

WOOD KEY (INCHES)  
A- 5.75 X .75  
B- 7.75 X .75  
C- 8.5 X .75 X 26.5  
D- 6.75 X .75 X 26.75  
E- 6.5 X .75 X 26.25

### GENERAL DOOR SCHEDULE NOTES

- FIELD VERIFY ALL DIMENSIONS.
- PAINT EXTERIOR DOORS COMPLETE INCLUDING BUT NOT LIMITED TO THE DOORS, JAMBS, AND TRIM.
- RESTORE ALL EXISTING DOORS COMPLETE INCLUDING BUT NOT LIMITED TO JAMBS, CASING, TRIM, TRANSOM, AND DOORS.
- DOORS THAT ARE MISSING ELEMENTS OF DOOR, TRIM, TRANSOM, OR JAMB SHOULD HAVE NEW ELEMENTS INSTALLED THAT MATCH HISTORIC ELEMENTS IN MATERIAL AND PROFILE UNLESS OTHERWISE NOTED.
- FIELD VERIFY THAT ALL SALVAGED DOORS FIT EXISTING & NEW JAMBS. ADJUST DOORS AND JAMBS TO ENSURE A FULLY FUNCTIONAL DOOR. VERIFY WITH THE ARCHITECT BEFORE ALTERING HISTORIC FABRIC.
- ALL EXISTING HARDWARE SCHEDULED TO BE REMOVED SHOULD BE CATALOGUED, SALVAGED AND RETURNED TO THE OWNER.
- ALL EXTERIOR DOORS TO HAVE WOOD THRESHOLDS AND ALL TRANSITIONS BETWEEN ROOMS UNLESS OTHERWISE NOTED. THRESHOLD MATERIAL TO MATCH EXISTING FLOORS.
- ALL HISTORIC HARDWARE SCHEDULED TO REMAIN SHOULD BE BEAD BLASTED AND PAINTED WITH A CLEAR LACQUER FINISH.



MEADORS INC.

2811 AZALEA DRIVE CHARLESTON, SC 29405-1205



GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

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PROJ. NO. OYSTER  
DATE: FACTORY PARK  
DRAWN BY: BLP

REVISIONS

NO.	DATE	NOTES

DOOR SCHEDULE AND TYPES

A601

EXISTING DOORS- EXISTING CONDITION



EXTERIOR

EXISTING HASP TO REMAIN  
RESTORE RIM LOCK  
REFASTEN KEY HOLE COVER



INTERIOR

REMOVE NAIL, TYP.  
REMOVE HOOK  
EXISTING HASP TO REMAIN  
RESTORE RIM LOCK  
REMOVE EXISTING DOOR HINGES, INSTALL NEW DOOR HINGES, TYP.

2 DOOR TYPE 3- EXISTING CONDITION  
A602 SCALE: N.T.S.



EXTERIOR

HAND PULL LATCH MISSING- NEW LATCH TO BE INSTALLED AT A LATER DATE- NOT IN SCOPE OF WORK



INTERIOR

HINGES FOR DOORS SPECIFYING NEW HARDWARE TO MATCH EXISTING TAPERED STRAP HINGE ON DOOR G  
DOOR HINGES TO REMAIN, TYP.

3 DOOR TYPE 4- EXISTING CONDITION  
A602 SCALE: N.T.S.



INTERIOR

HASP TO REMAIN  
INSTALL NEW HINGES, TYP.

1 DOOR TYPE 5- EXISTING CONDITION  
A602 SCALE: N.T.S.



MEADORS INC.  
2817 AZALEA DRIVE CHARLESTON, SC 29405-4885  
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GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

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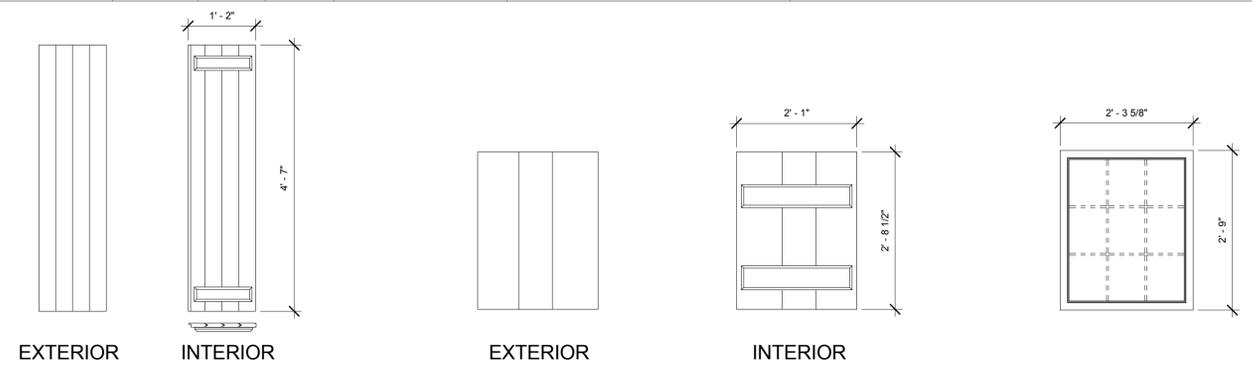
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DATE: FACTORY PARK 10.28.15  
DRAWN BY: JMT

REVISIONS		
NO.	DATE	NOTES

DOORS- EXISTING CONDITIONS

A602

WINDOW SCHEDULE									
Mark	Facade	Level	Width	Height	Scope of Work	Hardware Required	Hardware Model	Shutters	Comments
1	North Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
2	North Elevation	First Floor	2' - 9"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
3	East Elevation	Second Floor	2' - 5 1/2"	2' - 10 1/2"	Restore Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
4	East Elevation	Second Floor	2' - 5 1/2"	2' - 10 1/2"	Restore Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
5	East Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	Salvage Existing Hardware for templating, New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	Restore Existing Shutter Leaf- 1, Build 1 New Shutter Leaf (use existing shutter as template- Type 1)	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
6	East Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	Salvage Existing Hardware for templating, New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	Restore Existing Pair- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
7	East Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
8	South Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
9	South Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
10	West Elevation	Second Floor	2' - 2"	2' - 10 1/2"	Replicate Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
11	West Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
12	West Elevation	First Floor	2' - 2"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
13	South Elevation (Interior)	First Floor	2' - 5"	2' - 2"	Restore Complete	N/A	N/A	N/A	Assume opening needs new jamb, and sill (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)



FOR REFERENCE ONLY. SHUTTER TYPE 1 IS EXISTING (STORED & EXTANT ON BUILDING). F.V. ALL MEASUREMENTS.

FOR REFERENCE ONLY. SHUTTER TYPE 2 IS EXISTING (STORED). F.V. ALL MEASUREMENTS.

FOR REFERENCE ONLY. SASH FRAME IS EXISTING (STORED, ORIGINALLY FROM 2ND FLOOR WINDOW). NOTE MUNTINS AND GLASS ARE MISSING. F.V. ALL MEASUREMENTS.

**1 SHUTTER TYPE 1**  
A603 SCALE: 3/4" = 1'-0"

**2 SHUTTER TYPE 2**  
A603 SCALE: 3/4" = 1'-0"

**3 SASH**  
A603 SCALE: 3/4" = 1'-0"



**4 SHUTTER TYPE 1- EXISTING CONDITION**  
A603 SCALE: N.T.S.

FOR REFERENCE ONLY. SHUTTER TYPE 1 IS EXISTING (1 PAIR @ WINDOW 6 & 1 STORED SINGLE SHUTTER LEAF ARE STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SHUTTER TYPE 1 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SHUTTERS FOR SHUTTER TYPE 1. ADJUST TO FIT OPENING.



**5 SHUTTER TYPE 2- EXISTING CONDITION**  
A603 SCALE: N.T.S.

FOR REFERENCE ONLY. SHUTTER TYPE 2 IS EXISTING (1 PAIR OF STORED SHUTTERS ARE STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SHUTTER TYPE 2 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SHUTTERS FOR SHUTTER TYPE 2. ADJUST TO FIT OPENING.



**6 HISTORIC SASH- EXISTING CONDITION**  
A603 SCALE: N.T.S.

FOR REFERENCE ONLY. SASH EXISTING (1 STORED SASH FROM THE SECOND STORY IS STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SASH SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SASH FOR ALL WINDOWS. ADJUST TO FIT OPENING AND STYLE OF WINDOW (SINGLE SASH, DOUBLE SASH).



**EXTERIOR INTERIOR**

**GENERAL WINDOW NOTES**

- NEW WINDOWS TO MATCH EXISTING HISTORIC WINDOWS. WINDOWS ARE NOT DP RATED. WINDOWS HAVE CLEAR SINGLE PANE GLASS WITH A WINDOW SOLAR HEAT GAIN COEFFICIENT (SHGC) OF .81.
- ALL WINDOWS TO HAVE PROTECTION FROM WIND BORN DEBRIS PER IBIS 1609.2. CONTRACTOR TO PROVIDE PRECUT PLYWOOD WINDOW COVERS FOR ALL WINDOWS. ALL WINDOWS TO HAVE PRESET PLYFASTNERS. COLOR OF FASTENER TO BE SELECTED BY THE ARCHITECT.
- FIELD VERIFY ALL DIMENSIONS.
- SEE ALL SPECIFICATIONS FOR WINDOW REPAIR. SECTION: WINDOW RESTORATION 086100.
- CONTRACTOR TO VERIFY HARDWARE COUNT.
- PAINT WINDOWS COMPLETE INCLUDING BUT NOT LIMITED TO THE JAMBS, SASH, TRIM, AND SILL.
- RESTORE/REPLICATE ALL EXISTING WINDOWS COMPLETE INCLUDING BUT NOT JAMBS, SASH, TRIM, AND SILL. ALL WINDOWS SHOULD HAVE A COMPLETE ASSEMBLY. ALL WINDOWS TO HAVE NEW SASH LOCK PIN. BLIND DRILL AT CORNER OF UPPER SASH. PENETRATE LOWER SASH HALF DEPTH. INCLUDE PIN HOLE LOCATION IN WINDOW SHOP DRAWINGS. PINS TO BE DOUBLE HEADED FORM NAIL CUT TO APPROPRIATE LENGTH.
- WINDOWS THAT ARE MISSING ELEMENTS OF JAMBS, SASH, TRIM, OR SILLS, SHOULD HAVE NEW ELEMENTS INSTALLED THAT MATCH HISTORIC ELEMENTS IN MATERIAL AND PROFILE UNLESS OTHERWISE NOTED. WINDOW # 6 HAS THE MOST INTACT JAMB, TRIM, AND SHUTTERS. SELECT ELEMENTS OF OTHER WINDOWS ARE AVAILABLE FOR TEMPLATING. ALL EXISTING MATERIALS SHOULD BE SALVAGED FOR REUSE WHERE POSSIBLE.
- FIELD VERIFY THAT ALL SALVAGED SHUTTERS FIT EXISTING & NEW WINDOW OPENINGS, ADJUST SHUTTERS AND JAMBS TO ENSURE A FULLY FUNCTIONAL SHUTTER. VERIFY WITH THE ARCHITECT BEFORE ALTERING HISTORIC FABRIC.
- ALL EXISTING HARDWARE SCHEDULED TO BE REMOVED SHOULD BE CATALOGUED, SALVAGED AND RETURNED TO THE OWNER.
- ALL SECOND FLOOR WINDOWS MUST HAVE TEMPERED GLASS PANES.



**GARVIN HOUSE**  
OYSTER FACTORY PARK  
Bluffton, SC 29910

**BID DOCUMENTS**

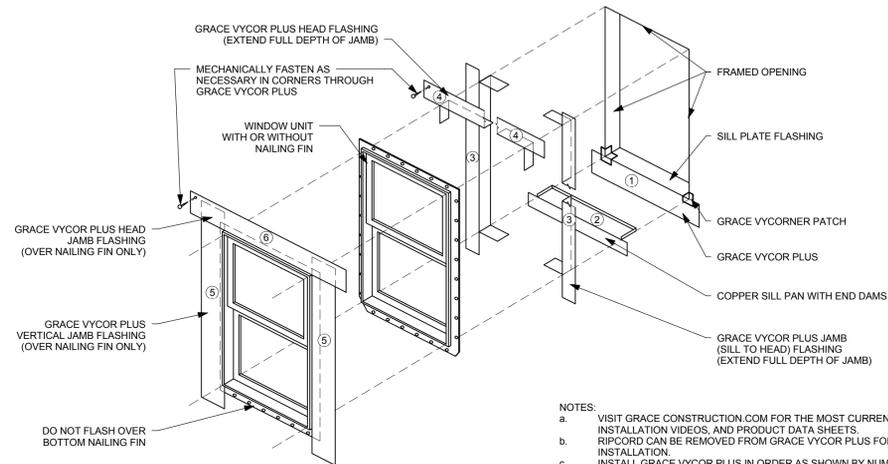
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DATE: FACTORY PARK  
DRAWN BY: 10.28.15  
Author

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NO.	DATE	NOTES

**WINDOW SCHEDULE AND TYPES**

**A603**

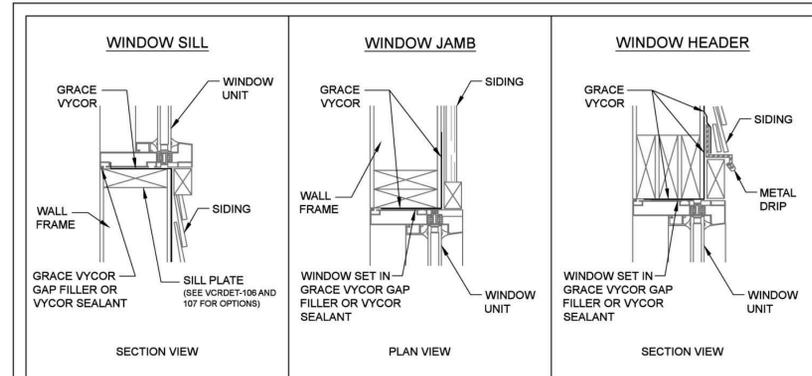
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- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEOS, AND PRODUCT DATA SHEETS.
  - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
  - INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN.
  - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS.
  - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

**GRACE VYCOR® PLUS SELF-ADHERED FLASHING  
SEVERE EXPOSURE**

**1** GRACE WINDOW FLASHING DETAIL- FOR ALL NEW WINDOWS  
SCALE: N.T.S.



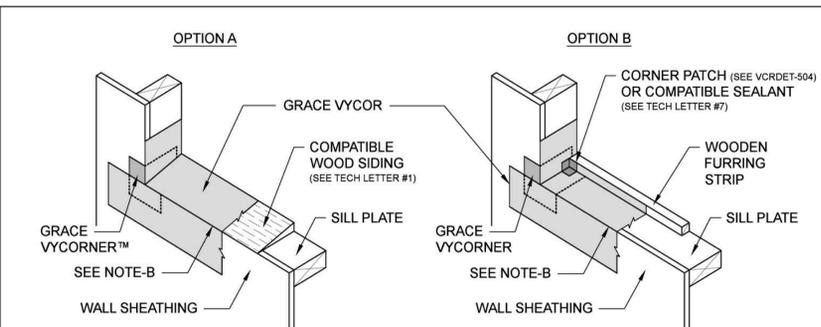
- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
  - REMOVE RIPCORD® FROM GRACE VYCOR FOR EASE OF INSTALLATION
  - IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
  - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
  - INSTALL AND SECURE WINDOW PER MANUFACTURER'S RECOMMENDATION
  - FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERMA-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
  - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

**GRACE Construction Products**  
www.graceconstruction.com  
toll free 866-333-3726

**WINDOW WITHOUT NAILING FLANGE  
WOOD AND STEEL FRAME CONSTRUCTION  
GRACE VYCOR® SELF-ADHERED FLASHING**

Drawing: VCRDET-109  
Scale: Not to scale  
Effective Date: 01/31/07  
Supersedes: 09/01/05

**2** GRACE WINDOW W/O NAILING FLANGE  
SCALE: N.T.S.



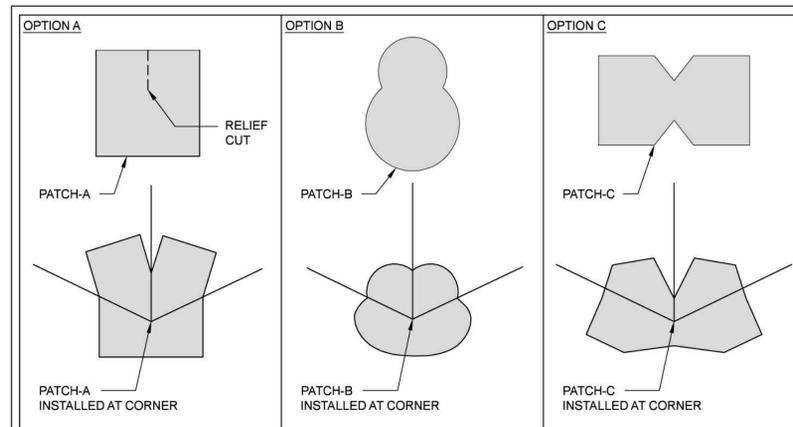
- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
  - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR FOR EASE OF INSTALLATION AND FUTURE TIE-INS
  - IF APPLICABLE, REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE
  - INSTALL SILL FLASHING AS SHOWN ABOVE
  - INSTALL GRACE VYCOR AROUND REMAINING WINDOW UNIT PER GRACE WINDOW DETAILS (VCRDET-100 TO 111)
  - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
  - A BACK DAM CAN BE ACCOMPLISHED USING A WOODEN FURRING STRIP, AS ILLUSTRATED ABOVE, OR BY FOLDING THE GRACE VYCOR ADHESIVE LAYER ONTO ITSELF
  - OPTION C: INSTALL WOODEN FURRING STRIP ON TOP OF WOODEN SIDING PRIOR TO GRACE VYCOR
  - FOR SILL PAN DEPTHS GREATER THAN 6 INCHES, A SLOPED SILL IS REQUIRED IN ACCORDANCE WITH ASTM E 2112
  - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

**GRACE Construction Products**  
www.graceconstruction.com  
toll free 866-333-3726

**WINDOW SILL PAN OPTIONS  
GRACE VYCOR® SELF-ADHERED FLASHING**

Drawing: VCRDET-106  
Scale: Not to scale  
Effective Date: 01/31/07  
Supersedes: 09/01/06

**3** GRACE WINDOW SILL PAN OPTIONS  
SCALE: N.T.S.



- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
  - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR FOR EASE OF INSTALLATION
  - REMOVE RELEASE PAPER AT TIME OF INSTALLATION OF CORNER PATCH
  - NOMINAL PATCH SIZE IS 3" x 3"
  - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

**GRACE Construction Products**  
www.graceconstruction.com  
toll free 866-333-3726

**CORNER DETAILING PATCH OPTIONS  
GRACE VYCOR® SELF-ADHERED FLASHING**

Drawing: VCRDET-504  
Scale: Not to scale  
Effective Date: 01/31/07  
Supersedes: 09/01/05

**4** GRACE CORNER DETAILING PATCH OPTIONS  
SCALE: N.T.S.



**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**GARVIN HOUSE  
OYSTER FACTORY PARK**  
Bluffton, SC 29910

**BID DOCUMENTS**

PROJ. NO. OYSTER  
DATE: FACTORY PARK  
10.28.15  
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

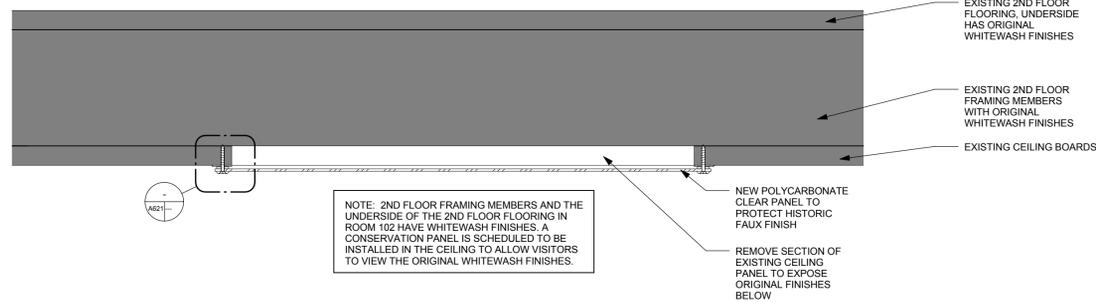
**WINDOW DETAILS- PORCH  
ADDITION  
WINDOWS**  
**A604**

FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	NORTH WALL- MATERIAL/ PERCENT NEW	EAST WALL- MATERIAL/ PERCENT NEW	SOUTH WALL- MATERIAL/ PERCENT NEW	WEST WALL- MATERIAL/ PERCENT NEW	CEILING FINISH	FLOOR AREA	COMMENTS
101	STAIRHALL	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB (STORED)	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB	RESTORE EXISTING	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
102	ROOM 102	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	CATALOGUE, REMOVE, RESTORE TGB	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB (STORED)	RESTORE EXISTING	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
103	ROOM 103	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB	CATALOGUE, REMOVE, RESTORE TGB	RESTORE TGB	RESTORE EXISTING	156 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
104	REAR ENCLOSURE	WD, NEW	NEW TGB, MATCH EXISTING IN ROOMS 102/103	NEW TGB, MATCH EXISTING IN ROOMS 102/103	RESTORE WOOD SIDING	NEW TGB, MATCH EXISTING IN ROOMS 102/103	NEW WD BOARDS, MATCH EXISTING IN ROOMS 102/103	138 SF	NEW CONSTRUCTION
105	FRONT PORCH	WD, NEW	RESTORE SIDING	N/A	N/A	N/A	OPEN TO STRUCTURE	94 SF	NEW CONSTRUCTION
201	STAIRHALL	WD, RESTORE	N/A	RESTORE PB	N/A	RESTORE PB	N/A	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
202	CHAMBER 1, ROOM 202	WD, RESTORE	N/A	N/A	N/A	RESTORE PB	N/A	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
203	CHAMBER 2, ROOM 203	WD, RESTORE	N/A	RESTORE PB	N/A	N/A	N/A	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED

FINISHES SCHEDULE ABBREVIATIONS	
EX	EXISTING
N/A	NOT APPLICABLE
TGB	TONGUE & GROOVE/BUTTED BOARDS
PB	PANEL BOARDS
WD	WOOD
MAS	MASONRY

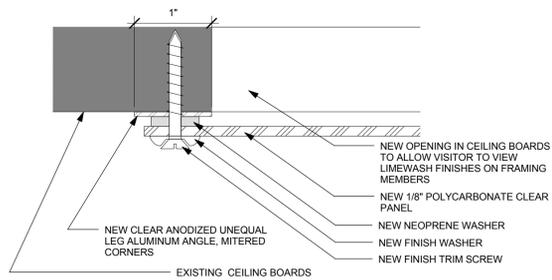
  

FINISH SCHEDULE - WALL DESIGNATION:	
WEST WALL	NORTH WALL
WEST WALL	EAST WALL
WEST WALL	SOUTH WALL

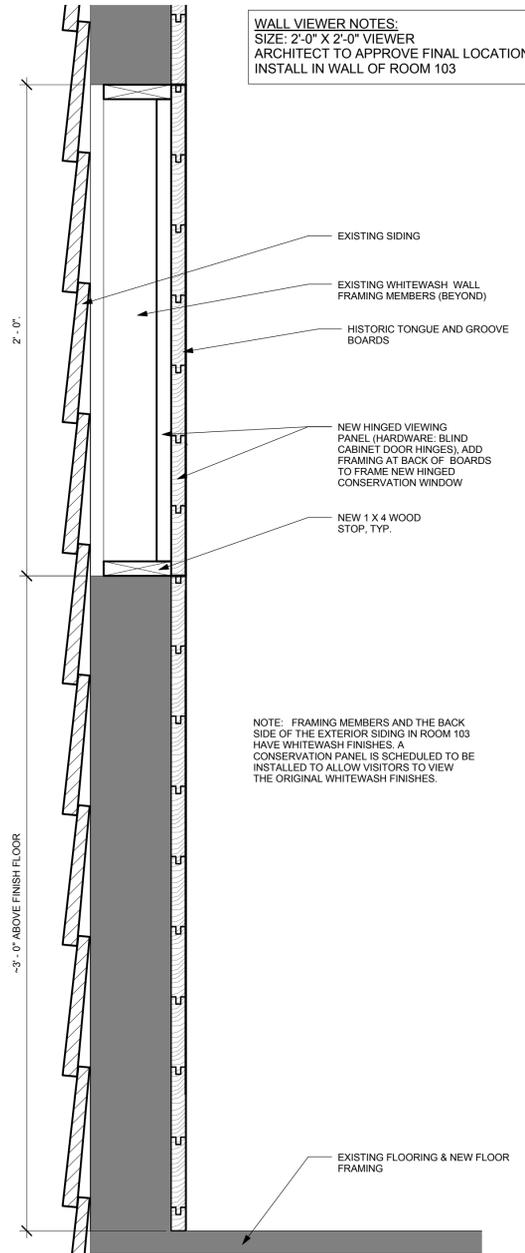


1 CONSERVATION WINDOW @ CEILING- SECTION DETAIL  
SCALE: 3" = 1'-0"

CEILING VIEWER NOTES:  
SIZE: 2'-0" X 2'-0" VIEWER  
ARCHITECT TO APPROVE FINAL LOCATION  
INSTALL IN CEILING OF ROOM 102



2 CONSERVATION WINDOW @ CEILING - PROTECTIVE COVER SIDE  
SCALE: 12" = 1'-0"



3 CONSERVATION WINDOW @ WALL - SECTION DETAIL  
SCALE: 3" = 1'-0"

### GENERAL FINISH SCHEDULE NOTES

- FIELD VERIFY ALL DIMENSIONS
- PROVIDE BLOCKING AS NECESSARY TO INSTALL & RESTORE WALL, CEILING, AND FLOOR FINISHES
- REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON FINISHES.
- FINISH SCHEDULE STATES INTENDED WALL FINISH FOR EACH OF THE FOUR WALLS IN EACH ROOM (SEE WALL DESIGNATION DIAGRAM).
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- ALL INTERIOR PAINT TO REMAIN INTACT. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE PAINT DURING THE COURSE OF WORK.
- EXISTING INTERIOR WALL AND CEILING BOARDS TO BE CATALOGUED & TEMPORARILY REMOVED FOR INSTALLATION OF INSULATION IN HISTORIC PERIMETER WALLS AND CEILINGS. WALL BOARDS TO BE RE-INSTALLED IN ORIGINAL LOCATIONS, AND RESTORED COMPLETE. REPLACE MISSING WALL BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- INSULATE PERIMETER WALLS IN ROOMS 101, 102, 103, AND 104. PANEL BOARD WALLS AT STAIRHALL ARE NOT TO BE INSULATED.
- INSULATE CEILINGS IN ROOMS 101, 102, 103, AND 104.



MEADORS INC.

2817 AZALEA DRIVE CHARLESTON, SC 29405



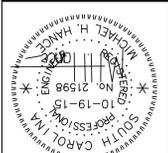
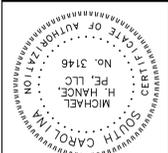
GARVIN HOUSE  
OYSTER FACTORY PARK  
Bluffton, SC 29910

### BID DOCUMENTS

PROJ. NO. OYSTER  
FACTORY PARK  
DATE: 10.28.15  
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS  
**A621**

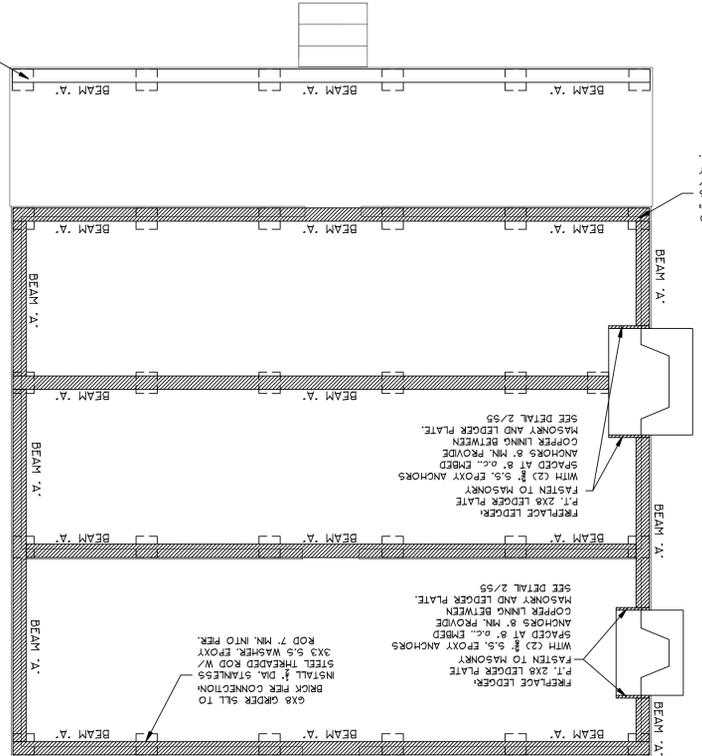


description	date	chkd	appr	rev

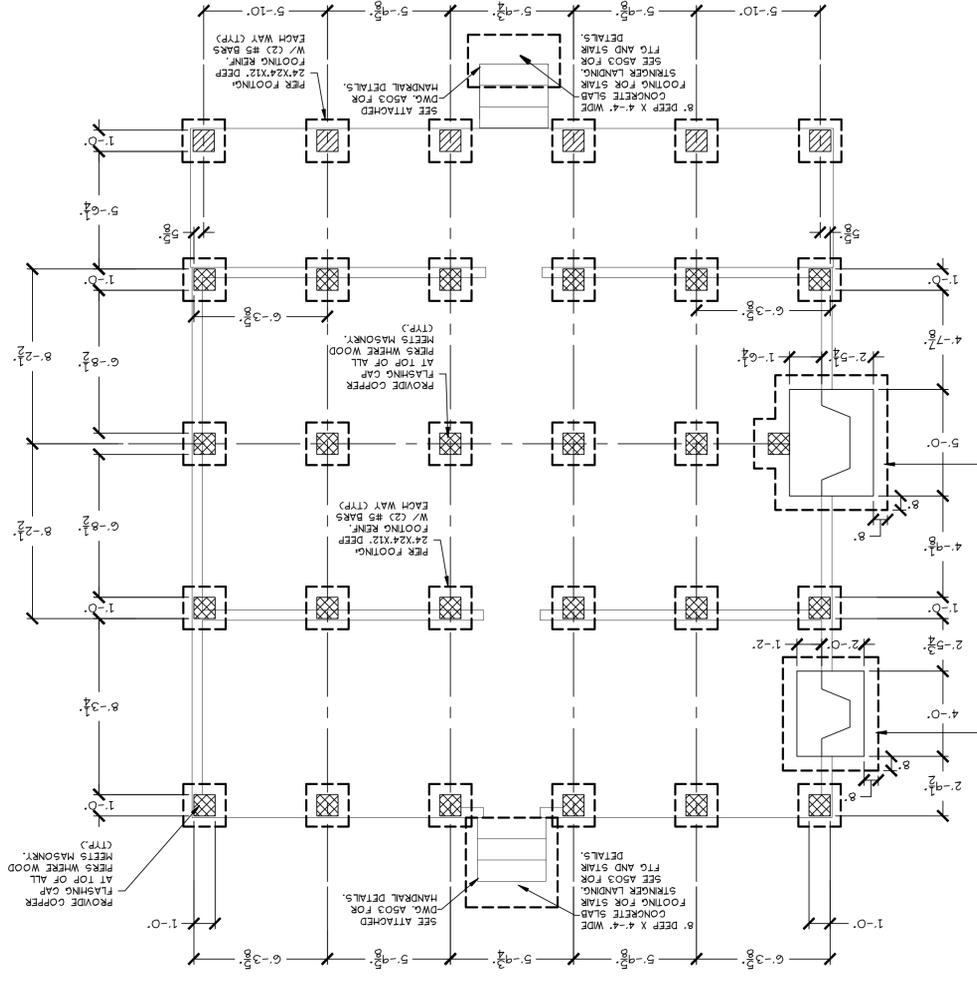
BUILDING DESIGN CRITERIA

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
  - 2012 INTERNATIONAL BUILDING CODE
  - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-10)
- THE FOLLOWING MINIMUM DESIGN LOADS APPLY TO THIS PROJECT:
  - A. 1st FLOOR LIVE LOAD = 40 PSF
  - B. ROOF LIVE LOAD = 20 PSF
  - C. GROUND SNOW LOAD  $P_g$  = 5 PSF
  - D. WIND LOADS PER 2012 BC
  - E. ULTIMATE DESIGN WIND SPEED,  $V_{ult}$  = 138 MPH
  - F. NORMAL DESIGN WIND SPEED,  $V_{nd}$  = 107 MPH
  - G. WIND IMPORTANCE FACTOR,  $I_w$  = 1.00
  - H. WIND EXPOSURE CATEGORY, C
  - I. SEISMIC LOADS PER 2012 BC
  - J. SEISMIC IMPORTANCE FACTOR = 1.00
  - K. SEISMIC USE GROUP II
  - L. SITE CLASS D (ASSUMED)
  - M. SEISMIC DESIGN CATEGORY D

2 GIRDER SILL PLAN  
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



VERIFY REPLACE FOUNDATION DIMENSIONS W/ ARCHITECTURAL. PROVIDE 12 DEEP FOOTING AND REINFORCED WITH #5 BARS AT 9" O.C. EACH WAY. 12" MIN. BELOW GRADE.

VERIFY REPLACE FOUNDATION DIMENSIONS W/ ARCHITECTURAL. PROVIDE 12 DEEP FOOTING AND REINFORCED WITH #5 BARS AT 9" O.C. EACH WAY. 12" MIN. BELOW GRADE.











**NOTES:**

- PROVIDE ALL MATERIALS AND LABOR FOR COMPLETE AND PROPERLY FUNCTIONING MECHANICAL SYSTEMS. WARRANTY ALL WORK AND ALL MATERIALS, EQUIPMENT AND DEVICES FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE.
- WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
  - A: INTERNATIONAL MECHANICAL CODE
  - B: SMACNA
  - C: ASHRAE
  - D: ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS.
- ALL MATERIALS, EQUIPMENT AND DEVICES SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
- COORDINATE LOCATION OF MECHANICAL WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURE'S WRITTEN, PRINTED INSTRUCTIONS AND RECOMMENDATIONS.
- PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
- WHERE PIPES PENETRATE WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH SPRAY FOAM MATERIAL TO SEAL OPENINGS FROM RODENTS AND PESTS.
- ALL REFRIGERANT PIPING SHALL BE INSULATED WITH 1" AEROCEL INSULATION.
- ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1/2" AEROCEL INSULATION.
- ALL EXPOSED PIPING SHALL BE PAINTABLE, WITH THE COLOR SELECTED BY THE ARCHITECT.

**LEGEND**

- ☒ SUPPLY
- ☒ RETURN
- ☒ EXHAUST
- MANUAL VOLUME DAMPER (VD)
- Ⓣ THERMOSTAT
- A/### AIR DEVICE MARK/CFM
- RG RETURN AIR GRILL
- REFRIG. REFRIGERANT
- CD CONDENSATE DRAIN
- HP HEAT PUMP
- AHU AIR HANDLING UNIT
- O.A. OUTSIDE AIR
- ⇌ TURNING VANE
- OBD OPPOSED BLADE DAMPER
- Ⓢ SMOKE DETECTOR
- Ⓜ MOTORIZED DAMPER ACTUATOR
- AFF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE

**MULTI-SPLIT SYSTEM HEAT PUMP SCHEDULE**

MARK		AHU-1A	AHU-1B	AHU-1C
INDOOR UNIT	FAN			
	SUPPLY AIR - CFM	400	400	300
	OUTSIDE AIR - CFM	-	-	-
	EXT. S.P. - IN. W.G.	-	-	-
	BLOWER MOTOR - KW	-	-	-
	ELECTRICAL - V/ø/Hz	208/1/60	208/1/60	208/1/60
APPROXIMATE WEIGHT - LB.	26.0	26.0	26.0	
COOLING	TOTAL CAPACITY - MBTUH	11.13	11.13	8.83
	SENSIBLE CAPACITY - MBTUH	7.19	7.19	6.02
	ENT. AIR TEMP. - °F dB/wB	80/67	80/67	80/67
HEATING	HIGH TEMP. HEATING - MBTUH AT ARI	13.5	13.5	10.5
	AUXILIARY HEATER-KW/STEPS *	-	-	-
MARK		HP-1		
AMBIENT AIR TEMP. - °F db		95		
COMPRESSORS - NO.		1		
ELECTRICAL - V/ø/Hz		208/1/60		
APPROXIMATE WEIGHT - LB.		310		
MINIMUM CIRCUIT AMPACITY		27		
PROT. RTG. RECMD. (AMPS)		30		
SYSTEM SEER/EER AT ARI		-/11.5	-/11.5	-/11.5
SYSTEM COP - HIGH TEMP. HEATING AT ARI		2.8	2.8	2.8
MANUFACTURER (SEE NOTE 5)		DAIKIN AC	DAIKIN AC	DAIKIN AC
INDOOR UNIT MODEL NO.		FXAQ12PVJU	FXAQ12PVJU	FXAQ09PVJU
HEAT PUMP MODEL NO.		RXYMQ36PVJU		
NOTES		1,2,3,4	1,2,3,4	1,2,3,4
<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>EXTERNAL STATIC PRESSURE IS FOR DUCTWORK SYSTEM ONLY. FILTERS, COILS AND CASING LOSSES ARE INTERNAL.</li> <li>THE INSTALLER SHALL BE CERTIFIED BY THE EQUIPMENT MANUFACTURER, AND SHALL PROVIDE REFRIGERANT PIPING, THAT SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.</li> <li>PROVIDE WITH THE STANDARD FILTER TYPE.</li> <li>PROVIDE A WIRED REMOTE, SIMPLIFIED, PROGRAMMABLE THERMOSTAT.</li> <li>PROVIDE DAIKIN AC OR APPROVED EQUAL BY MITSUBISHI ELECTRIC, OR LG.</li> </ol> <p>* KW RATING AT THE SPECIFIED VOLTAGE.</p>				



**Live Oak Consultants, LLC**  
 Engineers, Project Managers & Planners



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 North Charleston, SC 29419  
 MAIN: (843) 525-9428  
 FAX: (800) 915-0341  
 www.LiveOakConsultants.com  
 Email: info@LiveOakConsultants.com




6/02/15

CLIENT:

**MEADORS INC.**

REV.	DATE	REV. BY	REVISION INFORMATION	
			ISSUED FOR CONSTRUCTION	GENERAL REVISIONS
0	05/19/15	RKL		
1	06.02.15	RKL		

DRAWING TITLE:

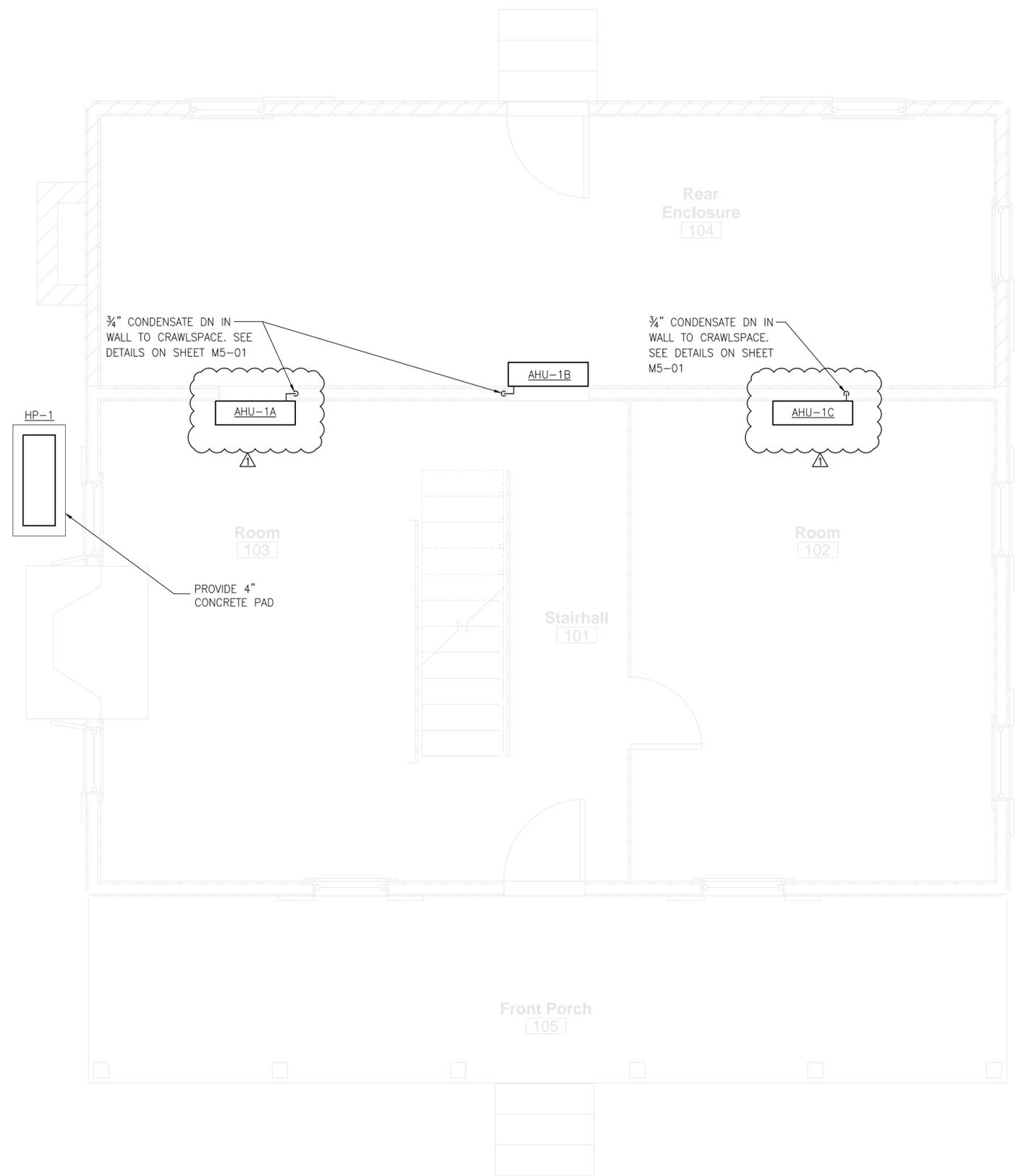
**BLUFFTON, SC 29910  
 GARVIN HOUSE**

**MECHANICAL  
 NOTES, LEGEND  
 AND SCHEDULE**

PRINCIPAL: G ULMER  
 DESIGNED BY: R LEHNHOFF  
 DRAWN BY: R LEHNHOFF  
 APPROVED BY: G ULMER  
 SCALE: AS SHOWN  
 PROJECT NUMBER: 20150021  
 CAD FILE: M0-01

DRAWING NUMBER:

**M0-01**



**FIRST FLOOR MECHANICAL PLAN**  
 SCALE: 1/2"=1'-0"

**GENERAL NOTES:**

1. SPECIAL CARE SHALL BE TAKEN TO PROTECT ALL HISTORIC MATERIALS DURING THE INSTALLATION OF THE MECHANICAL SYSTEMS. ANY DAMAGE CAUSED BY THE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE REPAIRED TO MATCH THE ADJACENT AREAS AND MATERIALS. ANY REPAIRS MADE SHALL BE DONE IN STRICT ACCORDANCE WITH THE METHODS ESTABLISHED BY THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

**L O C**  
 Live Oak Consultants, LLC  
 Engineers, Project Managers & Planners

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 FAX: (800) 915-0341  
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SOUTH CAROLINA  
 LIVE OAK CONSULTANTS, LLC  
 LICENSE NO. 3886  
 STATE OF SOUTH CAROLINA

SOUTH CAROLINA  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 18377  
 J. R. ULMER  
 6/02/15

CLIENT:  
**MEADORS INC.**

REV.	DATE	REV. BY	REVISION INFORMATION
0	05/19/15	RKL	ISSUED FOR CONSTRUCTION
1	06.02.15	RKL	GENERAL REVISIONS

DRAWING TITLE:  
**BLUFFTON, SC 29910  
 GARVIN HOUSE**

**FIRST FLOOR  
 MECHANICAL  
 PLAN**

PRINCIPAL: G ULMER  
 DESIGNED BY: G SIMONSEN  
 DRAWN BY: G SIMONSEN  
 APPROVED BY: G ULMER  
 SCALE: AS SHOWN  
 PROJECT NUMBER: 20150021  
 CAD FILE: M1-01

DRAWING NUMBER:  
**M1-01**

**GENERAL NOTES:**

1. SPECIAL CARE SHALL BE TAKEN TO PROTECT ALL HISTORIC MATERIALS DURING THE INSTALLATION OF THE MECHANICAL SYSTEMS. ANY DAMAGE CAUSED BY THE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE REPAIRED TO MATCH THE ADJACENT AREAS AND MATERIALS. ANY REPAIRS MADE SHALL BE DONE IN STRICT ACCORDANCE WITH THE METHODS ESTABLISHED BY THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

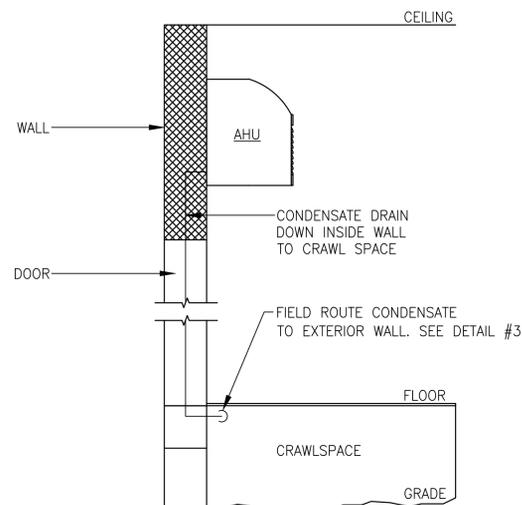
**L O O**  
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SOUTH CAROLINA  
 LIVE OAK CONSULTANTS LLC  
 NO. 3886  
 STATE OF AUTHORIZATION

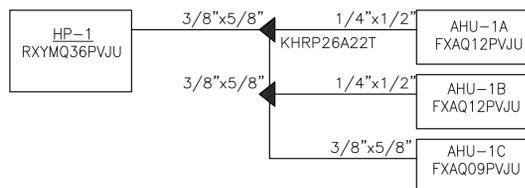
SOUTH CAROLINA  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 18377  
 WILFRED R. ULMER  
 6/02/15



NOTE: REMOVE ORIGINAL FINISH MATERIAL AS NEEDED TO INSTALL MECHANICAL EQUIPMENT. REINSTALL ORIGINAL FINISH MATERIAL AFTER MECHANICAL EQUIPMENT INSTALLATION. COORDINATE WITH ARCHITECT.

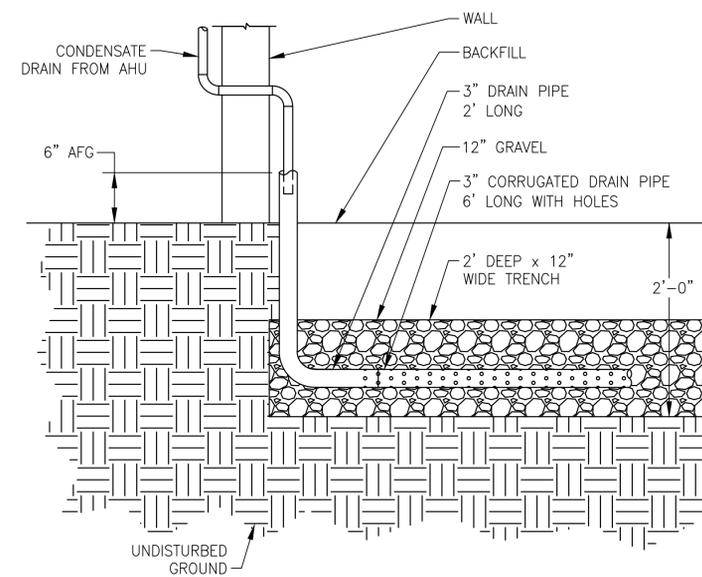
TYPICAL MINI-SPLIT AIR HANDLING UNIT (AHU) INSTALLATION

1  
M5-01 N.T.S.



REFRIGERANT PIPING DETAIL

2  
M5-01 N.T.S.



CONDENSATE DRAIN FIELD DETAIL

3  
M502 N.T.S.

CLIENT:

REV.	DATE	REV. BY	REVISION INFORMATION
0	05/19/15	RKL	ISSUED FOR CONSTRUCTION
1	06.02.15	RKL	GENERAL REVISIONS

DRAWING TITLE:  
**BLUFFTON, SC 29910  
 GARVIN HOUSE**

**MECHANICAL  
 DETAILS**

PRINCIPAL: G ULMER  
 DESIGNED BY: R LEHNHOFF  
 DRAWN BY: R LEHNHOFF  
 APPROVED BY: G ULMER  
 SCALE: AS SHOWN  
 PROJECT NUMBER: 20150021  
 CAD FILE: M5-01

DRAWING NUMBER:  
**M5-01**

**ELECTRICAL GENERAL NOTES**

- POWER DISTRIBUTION:** IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO AS-BUILT EXISTING POWER PANELS AND MARK-UP (TYPE WRITTEN) PANEL SCHEDULES TO REFLECT MODIFICATIONS MADE AS PART OF THIS PROJECT. FOR NEW PANELS: PROVIDE TYPE WRITTEN PANEL SCHEDULES REFLECTING AS-BUILT CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE CODES AND WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- PROVIDE ADDITIONAL SUPPORT FOR SWITCHES, STARTERS, FIXTURES, RACEWAYS AND OTHER ELECTRICAL EQUIPMENT WHEREVER THE BUILDING STRUCTURE IS NOT SUITABLE FOR DIRECT MOUNTING.
- DO NOT INSTALL MATERIALS OTHER THAN SPECIFIED EXCEPT FOR ALTERNATES ACCEPTED BY OWNER.
- FIRESTOP, DRAFT STOP AND/OR PROTECT THE ANNULAR SPACE AROUND ALL PIPE, TUBE, CONDUIT, WIRE, CABLE, VENT AND DUCT PENETRATION THROUGH WALLS, PARTITIONS, FLOORS, CEILINGS AND ROOFS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND UL LISTING REQUIREMENTS. ALL OPENINGS SHALL BE SEALED TO MATCH FIRE OR SMOKE RATING OF WALL PENETRATIONS.
- VERIFY CEILING SUSPENSION SYSTEMS IN THE VARIOUS AREAS AND PROVIDE THE PROPER MOUNTING ACCESSORIES, TRIMS, ETC., TO SUIT THE PARTICULAR AREA.
- SYMBOLS IN THE LEGENDS ARE APPLICABLE GENERALLY. FOR EXACT REQUIREMENTS REFER TO THE SCHEDULES, LAYOUTS, DETAILS AND TO THE SPECIFICATIONS SINCE THE APPEARANCE OF A PARTICULAR SYMBOL IN THE LEGEND DOES NOT NECESSARILY IMPLY THAT THE ITEM IS INCLUDED IN THE CONTRACT.
- EXCEPT WHERE NOTED OTHERWISE, LIMIT LIGHTING AND RECEPTACLE BRANCH CIRCUIT HOMERUNS TO 7 CONDUCTORS. 3 PHASE WIRES, 3 NEUTRAL AND 1 GROUND.
- PROVIDE INDEPENDENT NEUTRALS FOR ALL NEW LIGHTING AND RECEPTACLE CIRCUITS.
- ALL POWER CIRCUITS SHALL CONTAIN AN EQUIPMENT GROUNDING CONDUCTOR (GREEN COLOR INSULATION) ROUTED IN CONDUIT AND SIZED AS INDICATED ON DRAWINGS (MINIMUM SIZE - #12AWG).
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ROUTE CONDUITS CONCEALED IN FINISHED SPACES, UNLESS NOTED OTHERWISE ON PLANS. INSTALL ALL DEVICES RECESSED FLUSH IN WALL, UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE EXPANSION JOINT FITTINGS FOR ALL RACEWAYS CROSSING EXPANSION JOINTS.
- FOR ALL RECEPTACLES: PROVIDE AN EQUIPMENT BONDING JUMPER FROM THE GROUNDING TERMINAL OF THE RECEPTACLE TO THE METAL BOX.
- DO NOT INSTALL DEVICE OUTLET BOXES BACK-TO-BACK IN COMMON WALL. OFFSET 6". ALTERNATE CIRCUITS TO ADJACENT DEVICES IN MULTI-OUTLET RACEWAY.
- LABEL ALL RECEPTACLE FACEPLATES WITH PANEL NAME AND CIRCUIT NUMBER FEEDING THAT RECEPTACLE.
- COORDINATE ALL WORK AND POWER OUTAGES WITH OWNER.
- PROVIDE STRIPING ON THE FLOOR AROUND ELECTRICAL PANELS TO IDENTIFY THE CODE REQUIRED WORKING CLEARANCE.
- PHASE IDENTIFICATION FOR CIRCUITS SHALL BE ACCOMPLISHED BY COLOR CODE AS FOLLOWS:

CIRCUITS RATED (240/120V):  
 PHASE "A" = BLACK  
 PHASE "B" = RED  
 NEUTRAL = WHITE

**LIGHTING FIXTURE SCHEDULE**

SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMPS	BALLASTS	FIXTURE WATTAGE	NOTES
A1	SURFACE MOUNTED LIGHT	SCHOOLHOUSE ELECTRIC	U/1 FINISH ANT. BLACK AKU# 251.0080 SHATTER-PROOF CLEAR BULB	120V	-	-	150W	PROVIDE SUBMITTAL TO ARCHITECT
A2	SURFACE MOUNTED LIGHT	REJUVENATION	THURMAN 3 1/4" CLASSIC FLUSH MOUNT CEILING FIXTURE FINISH BLACK ENAMEL W/CLEAR PEAR SHAPED SHADE	120V	-	-	150W	PROVIDE SUBMITTAL TO ARCHITECT
C	EXTERIOR FLOOD	LITHONIA	OFLR6LC 120P BZM2 DUSK TILL DAWN	120V	-	-	150W	FINISH SELECTED BY ARCHITECT. PROVIDE WITH INTEGRAL MOTION DETECTOR. PROVIDE SUBMITTAL TO ARCHITECT
E	RECESSED CAN	LITHONIA	4" LED RECESSED DOWNLIGHT GIMBAL LED MODULE	120V	-	-	150W	VERIFY SELECTION WITH ARCHITECT. PROVIDE SUBMITTAL TO ARCHITECT
F	LANDSCAPE LIGHTING	HK USA	ZXL16	12V	MR16	-	15W	PROVIDE WITH PATH TREE LIGHTING TREE STRAP, FOCUS TRANSFORMERS MST SERIES CATALOG NUMBER MST-12-300 (300W). INSTALL PER MANUFACTURER'S RECOMMENDATIONS

**ELECTRICAL LEGEND**

- [237] CART INDICATES ROOM NUMBER
- DISCONNECT SWITCH. REFER TO PLANS FOR ADDITIONAL INFORMATION.  
 30A/2P/1 "30A" INDICATES AMPACITY, "2P" INDICATES PHASES, "1" INDICATES NEMA CLASSIFICATION.
- EXIT SIGN WITH BATTERY PACK EMERGENCY LIGHTING UNIT WITH INTEGRAL EMERGENCY LIGHT BAR. LITHONIA CAT. NO. ECBG LED M6; OR APPROVED SUBSTITUTE. CONNECT TO UNSWITCHED ROOM LIGHTING CIRCUIT.  
 'R' UNIT SHALL BE CAPABLE OF POWER TWO REMOTE LAMPS FOR 90 MINUTES
- EMERGENCY LIGHTING UNIT WITH BATTERY PACK AND NUMBER OF HEADS INDICATED. LITHONIA CAT. NO. ELM2LED; OR APPROVED SUBSTITUTE. CONNECT TO EXISTING UNSWITCHED ROOM LIGHTING CIRCUIT. CONNECT TO EXISTING UNSWITCHED ROOM LIGHTING CIRCUIT.
- REMOTE OUTDOOR FIXTURE, (TWIN HEAD) - POWERED FROM EMERGENCY LIGHT AS INDICATED ON PLANS. LITHONIA CAT. NO. ELA LED T WP M12 OR EQUAL.
- DOWNLIGHT FIXTURE. "\*" INDICATES FIXTURE TYPE, REFER TO FIXTURE SCHEDULE FOR MORE INFORMATION.
- TOGGLE TYPE LIGHT SWITCH, 120V/20A. MOUNTED 48" A.F.F. (UNLESS NOTED OTHERWISE).  
 NONE INDICATES SINGLE-POLE, SINGLE-THROW.  
 "3" INDICATES THREE WAY.  
 "4" INDICATES FOUR WAY.  
 "D" INDICATES DIMMER TYPE SWITCH. (1000 WATTS UNLESS NOTED OTHERWISE) COORDINATE SWITCH TYPE WITH FIXTURE TO BE DIMMED.  
 "OS" INDICATES PIR OCCUPANCY SENSOR. LUTRON MAESTRO MS-OPS6M OR APPROVED SUBSTITUTE TO CONTROL UP TO 6A OF LIGHTING LOAD. MATCH OCCUPANCY SENSOR WITH TYPE OF LIGHTING TO BE CONTROLLED.  
 "M" INDICATES TO PROVIDE MOTOR-RATED SWITCH WITH OVERLOADS IF REQUIRED
- 120V/20A DUPLEX RECEPTACLE. MOUNTED 18" A.F.F. (UNLESS NOTED OTHERWISE).  
 "GF" INDICATES GROUND FAULT CIRCUIT INTERRUPTER TYPE.  
 "WP" INDICATES WEATHER PROOF WHILE IN USE COVER WITH WEATHER RESISTANT RECEPTACLE  
 "ER" INDICATES EXISTING RECEPTACLE TO REMAIN
- 120V/20A DUPLEX RECEPTACLE. MOUNTED 42" UP OR 6" ABOVE COUNTER. SAME AS ABOVE
- 120V/20A BRASS DUPLEX RECEPTACLE. MOUNTED IN FLOOR.
- BRANCH CIRCUIT RACEWAY - CONCEALED IN WALL OR CEILING
- P1 POWER PANEL "P1"
- COMBINATION VISIBLE/AUDIBLE SMOKE DETECTOR

**TYPICAL DEVICE MOUNTING HEIGHT**

RECEPTACLES \_\_\_\_\_ 18" AFF  
 LIGHT SWITCHES \_\_\_\_\_ 48" AFF

NOTE: DIMENSIONS ARE TO DEVICE CENTERLINE UNLESS NOTED OTHERWISE.

**ELECTRICAL ABBREVIATIONS**

- A AMPERES
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AHU AIR HANDLING UNIT
- AIR AMPS INTERRUPTING RATING
- ATS AUTOMATIC TRANSFER SWITCH
- AWG AMERICAN WIRE GAUGE
- BOF BOTTOM OF FIXTURE
- BOS BOTTOM OF STEEL
- C CONDUIT
- CAT CATALOG
- CB CIRCUIT BREAKER
- CKT CIRCUIT
- CT CURRENT TRANSFORMER
- CWA CONSTANT WATTAGE AUTOTRANSFORMER
- DTT DOUBLE TWIN TUBE
- DWG(S) DRAWING(S)
- EB ELECTRONIC BALLAST
- EC EMPTY CONDUIT
- ECB ENCLOSED CIRCUIT BREAKER
- EF EXHAUST FAN
- EFF ENERGY EFFICIENT
- EJ EXPANSION JOINT
- EM EMERGENCY
- EMT ELECTRICAL METALLIC TUBING
- EQUIP EQUIPMENT
- EWC ELECTRIC WATER COOLER
- EWH ELECTRIC WATER HEATER
- EXIST EXISTING
- ER EXISTING TO REMAIN
- EXP EXPLOSION PROOF
- FAAP FIRE ALARM ANNUNCIATOR PANEL
- FACP FIRE ALARM CONTROL PANEL
- FBO FURNISHED BY OTHERS
- FCU FAN COIL UNIT
- FMS FACILITY MANAGEMENT SYSTEM
- FVNR FULL VOLTAGE NON-REVERSING
- FWE FURNISHED WITH EQUIPMENT
- GF/GF GROUND FAULT CIRCUIT INTERRUPTER
- G/GND GROUND
- HP HORSEPOWER
- HPF HIGH POWER FACTOR
- HACR HEATING/AIR CONDITIONING RATED
- INCAN INCANDESCENT
- JB JUNCTION BOX
- KW KILOWATTS
- LTG LIGHTING
- MAG MAGNETIC
- MCB MAIN CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MCCB MOLDED CASE CIRCUIT BREAKER
- MCS MOLDED CASE SWITCH
- MLO MAIN LUGS ONLY
- MT MOUNT
- MTD MOUNTED
- MTG MOUNTING
- N NEUTRAL
- NEC NATIONAL ELECTRICAL CODE
- NF NON-FUSED
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- NWR NO WORK REQUIRED
- OF OWNER FURNISHED
- OFCI OWNER FURNISHED, CONTRACTOR INSTALLED
- OFOI OWNER FURNISHED, OWNER INSTALLED
- PB PUSH BUTTON
- PMT PAD MOUNTED TRANSFORMER
- PNL(S) PANEL(S)
- RECEPT RECEPTACLE
- REQD REQUIRED
- RM ROOM
- RGS RIGID GALVANIZED STEEL CONDUIT
- SMR SURFACE MOUNTED RACEWAY
- ST SHUNT TRIP
- RTU ROOF TOP UNIT
- STP SHIELDED TWISTED PAIR
- SPST SINGLE-POLE, SINGLE-THROW
- TBB TELEPHONE BACKBOARD
- TEL TELEPHONE
- TOC TOP OF CONCRETE
- TOF TOP OF FIXTURE
- TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
- TYP TYPICAL
- UH UNIT HEATER
- UNO UNLESS NOTED OTHERWISE
- UG UNDERGROUND
- UP UNDERGROUND POWER
- UT UNDERGROUND TELEPHONE
- UTP UNSHIELDED TWISTED PAIR
- V VOLTS
- VA VOLT-AMPERES
- VFD VARIABLE FREQUENCY DRIVE
- W WATTS
- WP WEATHERPROOF
- XFMR TRANSFORMER
- 2S1W 2 SPEED, 1 WINDING

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**MEADORS INC.**

CLIENT:

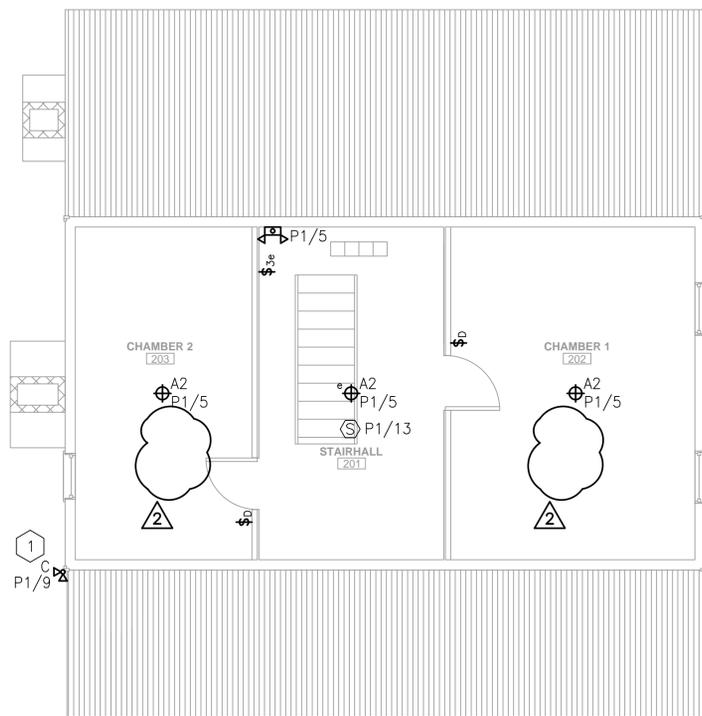
REV.	DATE	REV. BY	REVISION INFORMATION	
			ISSUED FOR CONSTRUCTION	GENERAL REVISIONS
0	05/19/15	BWM		
1	06/02/15	BWM		

DRAWING TITLE:  
**BLUFFTON, SC 29910  
 GARVIN HOUSE**

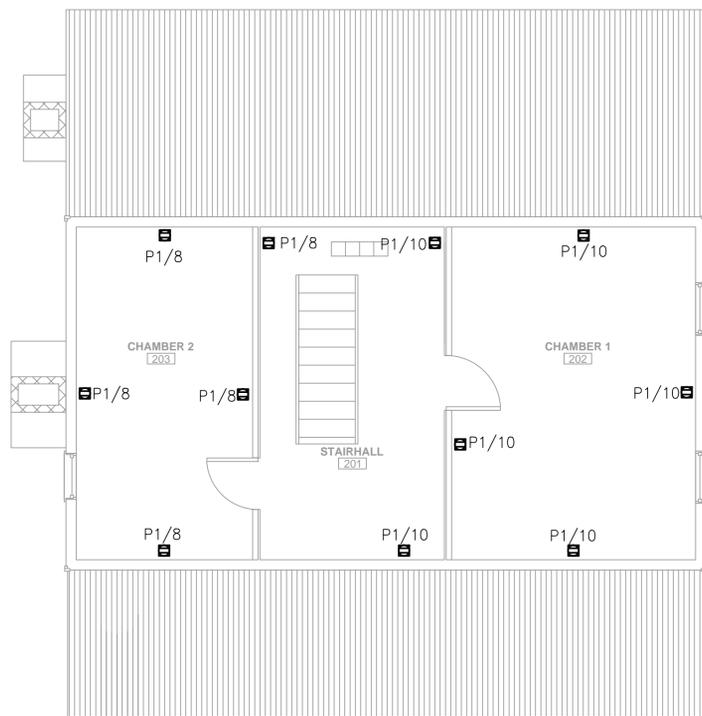
**ELECTRICAL  
 NOTES, LEGEND  
 AND SCHEDULE**

PRINCIPAL: G ULMER  
 DESIGNED BY: B MARTIN  
 DRAWN BY: B MARTIN  
 APPROVED BY: R OWENS  
 SCALE: AS SHOWN  
 PROJECT NUMBER: 20150021  
 CAD FILE: E0-01

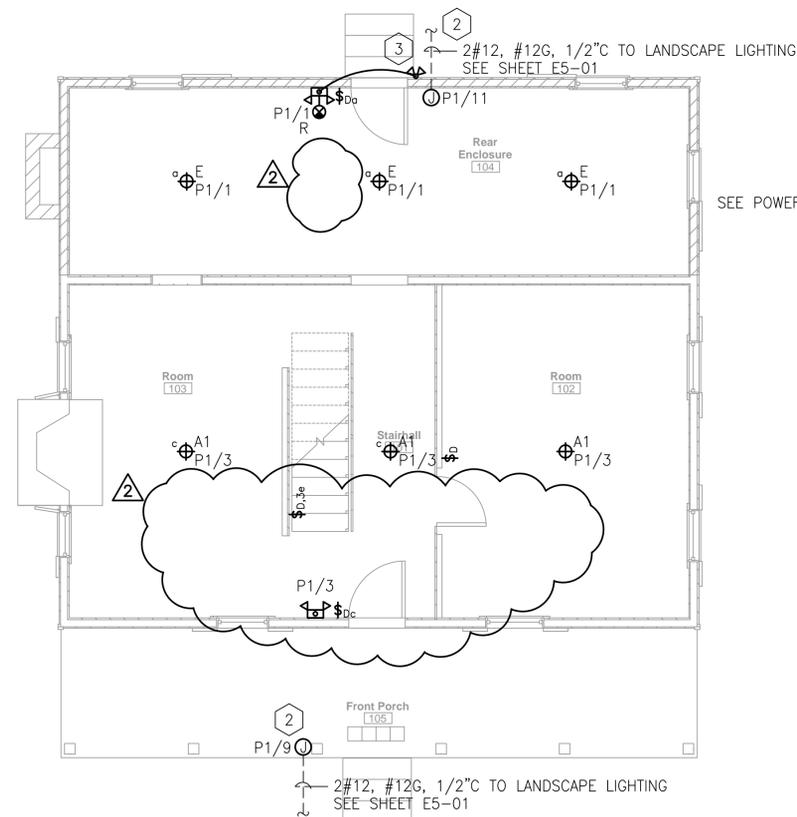
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**E0-01**



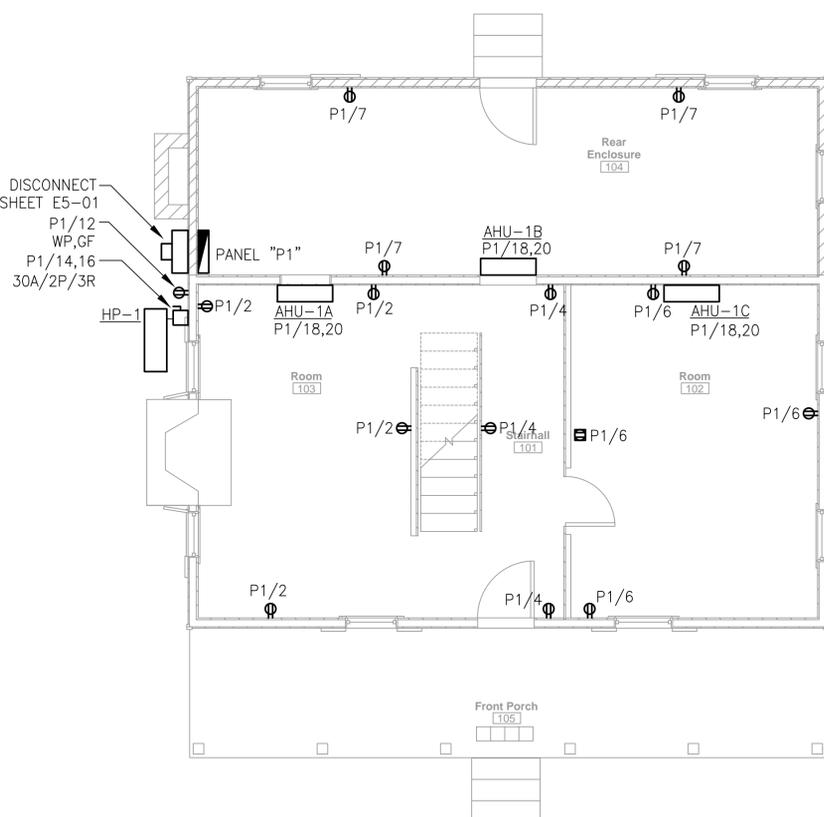
**SECOND FLOOR LIGHTING PLAN**  
SCALE: 1/4"=1'-0"



**SECOND FLOOR POWER PLAN**  
SCALE: 1/4"=1'-0"



**FIRST FLOOR LIGHTING PLAN**  
SCALE: 1/4"=1'-0"



**FIRST FLOOR POWER PLAN**  
SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

1. ALL LIGHTING AND RECEPTACLE LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
2. COORDINATE ALL SWITCH MOUNTING REQUIREMENTS AND FINISHES WITH OWNER AND ARCHITECT.
3. ALL EXPOSED CONDUIT SHALL BE PAINTED. COORDINATE COLOR WITH ARCHITECT.

**KEYED NOTES:**

- 1 ROUTE CIRCUIT THROUGH TIME-CLOCK. PROVIDE MOTION SENSOR AT FIXTURE.
- 2 LOCATE JUNCTION BOX UNDER BUILDING AND EXTEND CONDUIT TO LANDSCAPE LIGHTING LOCATED IN TREE. ROUTE CIRCUIT THROUGH TIME-CLOCK. PROVIDE WITH MOTION SENSOR, COORDINATE LOCATION WITH OWNER. COORDINATE FINAL LOCATION OF FIXTURE AND CONDUIT RUN WITH OWNER AND ARCHITECT. SEE SHEET E5-01 FOR ADDITIONAL REQUIREMENTS.
- 3 COORDINATE FINAL LOCATION OF REMOTE EXTERIOR EMERGENCY LIGHTING UNIT WITH ARCHITECT.

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SOUTH CAROLINA  
LIVE OAK CONSULTANTS, LLC  
NO. 3886  
DATE OF AUTHORIZATION  
9/30/15

Richard L. Owens  
Professional Engineer  
No. 16944  
9/30/15

CLIENT:  
**MEADORS INC.**

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0	05/19/15	BWM	ISSUED FOR CONSTRUCTION
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2	09/30/15	BWM	GENERAL REVISIONS

DRAWING TITLE:  
**BLUFFTON, SC 29910  
GARVIN HOUSE**

**FIRST FLOOR  
ELECTRICAL PLANS**

PRINCIPAL: G ULMER  
DESIGNED BY: B MARTIN  
DRAWN BY: B MARTIN  
APPROVED BY: R OWENS  
SCALE: AS SHOWN  
PROJECT NUMBER: 20150021  
CAD FILE: E1-01

DRAWING NUMBER:  
**E1-01**

**ARBORIST NOTES FOR USING TREES TO SUPPORT LIGHTS:**

INSTALLING LIGHTING IN TREES CAN BE ACCOMPLISHED PROVIDED AN UNDERSTANDING OF HOW TREES GROW IS RESPECTFULLY CONSIDERED DURING THE INSTALLATION PROCESS. TREES GROW SLOWLY, BUT STEADILY OVER TIME AND PERHAPS GROW MORE THAN IS USUALLY CONSIDERED. YOUNG TREES GROW MORE QUICKLY THAN OLDER TREES. TREES GROW TALL FROM SMALL BUDS ON THE TIPS OF BRANCHES AND STEMS; LIMBS GROW LONGER IN SIMILAR FASHION. TREES GROW WIDE (GIRTH OR DBH) IN STEMS, BRANCHES AND STEMS; LIMBS GROW ONLY IN A VERY NARROW PORTION LOCATED UNDER THE BARK KNOWN AS CAMBIUM. TREE ROOTS GROW IN EXACTLY THE SAME MANNER AS ALL OTHER TREES LOCATED UNDER THE BARK KNOWN AS CAMBIUM. TREE ROOTS GROW IN EXACTLY THE SAME MANNER AS ALL OTHER TREE PARTS. FINALLY, TREES DO NOT HEAL WOUNDS, THEY COMPARTMENTALIZE THEM. NO PART OF THE LIGHTING INSTALLATION SHALL IMPEDE ANY NATURAL GROWTH OF THE TREE OR BE DESIGNED OR INSTALLED IN SUCH A WAY AS TO BECOME INGROWN WITHIN CROTCHES, EXISTING WOUNDS OR ANY OTHER PART OF THE TREE. FINALLY, TREES DO NOT HEAL WOUNDS, THEY COMPARTMENTALIZE THEM. NO PART OF THE LIGHTING INSTALLATION SHALL IMPEDE ANY NATURAL GROWTH OF THE TREE OR BE DESIGNED OR INSTALLED IN SUCH A WAY AS TO BECOME INGROWN WITHIN CROTCHES, EXISTING WOUNDS OR ANY OTHER PART OF THE TREE. LIGHTING SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN SUCH A MANNER AS TO NOT CAUSE DISEASE OR DECLINE IN THE TREES WHICH THEY ARE INSTALLED. POORLY DESIGNED, INSTALLED, OR MAINTAINED LIGHTING SYSTEMS CAN CREATE HAZARDOUS CONDITIONS AROUND THE TREES WHICH THE SYSTEMS ARE INSTALLED. WITH THIS INFORMATION IN MIND, I OFFER THE FOLLOWING GUIDELINES ON THE USE OF TREES TO SUPPORT LIGHTING.

SMALL TREES WILL BECOME LARGE TREES WITHIN THE LIFE SPAN OF THE LIGHTING INSTALLATION. CONDUCTOR RUNS APPROACHING TREES SHOULD EMERGE WELL BEFORE THE TRUNK AND NOT CLOSE TO THE PRIMARY SUPPORTIVE ROOTS OF THE TREE AS THEY COULD BECOME INGROWN. SIMILAR CONSIDERATIONS SHOULD BE GIVEN TO LARGE TREES ALTHOUGH THE GROWTH RATE OF THE LARGE TREE WILL BE SLOWER.

EXTREME CAUTION SHOULD BE EXERCISED WHEN APPROACHING A TREE WITH AN ELECTRICAL CONDUIT WITHIN THE TREE'S PROTECTION ZONE. (1"DBH:1" PROTECTION FOR ALL TREES) THE TREE'S ROOTS SHALL NOT BE DAMAGED DURING THIS PROCESS. BEAR IN MIND, TREE ROOTS WILL BE CLOSER TO THE SURFACE THE CLOSER TO THE TRUNK THE APPROACH GETS. IT MAY BE NECESSARY TO TERMINATE AN UNDERGROUND RUN FURTHER FROM THE BASE THAN INTENDED TO ACCOMMODATE TREE ROOTS IN THE AREA OF THE ELECTRICAL CONDUIT. TRENCHING IN THIS AREA SHOULD BE CAREFULLY DONE WITH EITHER AN AIR SPADE (PREFERRED) OR SHOVELS.

CONDUIT USED TO MAKE THE RUN TO THE LIGHT FIXTURE SHOULD CONFORM TO THE GENERAL SHAPE OF THE TRUNK. EXTREME CARE WILL NEED TO BE EXERCISED WHEN SECURING THE CONDUIT TO THE TREE.

CONDUIT SHOULD NOT BE CUT NEXT TO THE TREE TO ELIMINATE THE POTENTIAL OF CUTTING, SCARRING OR OTHERWISE WOUNDING THE TREE.

STRAPS WHICH USE ONLY ONE FASTENER ARE PREFERRED AND SHOULD NOT BE INSTALLED ANY MORE TIGHTLY THAN NECESSARY TO SECURE THE CONDUIT. TREES MOVE UNDER WIND LOAD. A RIDGED INSTALLATION MAY CAUSE DAMAGE TO THE TREE AND THE LIGHTING SYSTEM.

THE FASTENER WILL WOUND THE TREE AND WILL NEED TO BE CAREFULLY SELECTED BECAUSE IT WILL BE SUBJECT TO A CONSIDERABLE AMOUNT OF REOCCURRING MAINTENANCE. FASTENERS WHICH WILL BE ADEQUATE FOR THIS INSTALLATION WILL BE SUFFICIENTLY LONG TO SECURE THE CONDUIT TO THE WOOD OF THE TREE AND NOT THE BARK ONLY. FOR THIN BARKED TREES SHORTER FASTENERS WILL BE SUFFICIENT, THICK BARKED TREES WILL REQUIRE LONGER FASTENERS TO PENETRATE PAST THE BARK. FASTENERS WILL NEED TO BE STRONGER THAN WOULD NORMALLY USED TO SECURE CONDUIT TO WOOD BECAUSE THEY WILL NEED TO BE LOOSENED EACH YEAR AT A MINIMUM. FASTENERS SHOULD BE MADE OF STAINLESS STEEL AND HAVE A HEX HEAD TO ENSURE MAXIMUM TORQUE WILL BE AVAILABLE TO MOVE STUCK FASTENERS DURING MAINTENANCE.

FASTENERS SHOULD BE CLEAN AND FREE OF DIRT OR TOXIC OR CAUSTIC SUBSTANCES BEFORE INSTALLATION.

FASTENERS SHOULD NOT BE LOCATED IN A STRAIGHT LINE AND NO MORE CLOSELY THAN IS NECESSARY. USE THE LEAST AMOUNT OF FASTENERS NECESSARY TO SECURE THE CONDUIT RUN. IF THE CONDUIT RUNS IN A STRAIGHT LINE UP THE TRUNK, ALTERNATE THE STRAPS TO OPPOSING SIDES.

FASTENERS SHOULD BE INSTALLED IN PREDRILLED HOLES MADE WITH A NEW SHARP DRILL SIZED TO NEARLY THE SAME DIAMETER OF THE FASTENER. THE FASTENER SHOULD BE EASY TO THREAD IN AND REMOVE WHEN NEWLY INSTALLED.

FIXTURES HANGING FROM LIMBS SHOULD NOT TRAP MOISTURE OR HOLD WATER NEXT TO THE LIMBS FOR PROLONGED PERIODS OF TIME.

WHEN HANGING FIXTURES FROM LIMBS THE INEVITABLE GIRTH INCREASES MUST BE CONSIDERED. FASTENERS SHOULD BE FLEXIBLE STRAPS WHICH WRAP THE LIMB AND NOT SCREWS ON LARGE MATURE TREES MATURE TREES. STRAPS SHOULD NOT BE SO THIN AS TO CUT INTO THE BARK OF THE TREE AT ANY POINT IN THE LIFE OF THE INSTALLATION.

INITIAL INSTALLATION SHOULD NOT BE SO TIGHT AS TO CONSTRICT THE GROWTH OF THE LIMB, WHICH WILL INITIATE A WOUND RESPONSE AROUND THE STRAP. THESE STRAPS NEED TO BE EASILY MAINTAINED OVER TIME AND WILL NEED TO BE LOOSENED AS THE TREE'S LIMB GROW. THE STRAPS WILL NEED TO BE EASILY SOURCE AS WELL TO PREVENT FUTURE IMPLEMENTATION OF SCREWS TO HOLD THE FIXTURES.

SCREWS ARE NOT A PREFERRED FASTENER FOR MOUNTING LIGHTS TO LIMBS.

SHOULD IT BECOME NECESSARY TO PRUNE ANY LIMB OR BRANCH DURING THE INSTALLATION OF LIGHTING, SUCH ACTIONS SHOULD ONLY BE ACCOMPLISHED BY OR UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

LIGHTING INSTALLATIONS SHOULD BE INSPECTED BIANNUALLY OR AS OFTEN AS NECESSARY TO ENSURE THE HEALTH OF THE TREE. FASTENERS SHOULD BE CHECKED AND LOOSENED AS NEEDED BEFORE THEY CAUSE ANY PROBLEMS FOR THE SUPPORTING TREES.

INSTALLATIONS IN YOUNGER, SMALLER TREES MAY REQUIRE MORE FREQUENT INSPECTIONS. OLDER, MATURE TREES WILL BE LESS TOLERANT TO ANY DAMAGE CAUSED BY THE INSTALLATION OF LIGHTING.

**ELECTRICAL RENOVATION NOTES:**

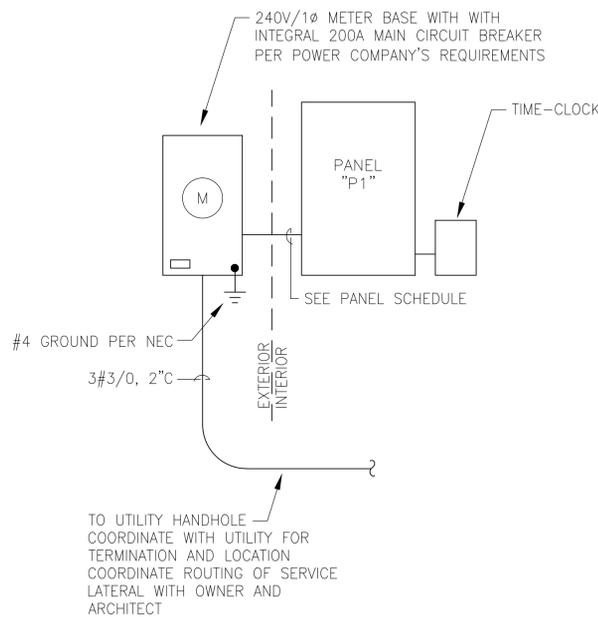
1. THE DRAWINGS ARE REPRESENTATIONAL AND INDICATE THE INTENT OF THE RENOVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO VERIFY EXISTING CONDITIONS AND TO ESTABLISH THE SCOPE OF WORK.
2. THE PLANS SHOW ONLY THOSE DEVICES THAT ARE INCLUDED IN THE RENOVATION WORK.
3. DE-ENERGIZE AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT. REMOVE ALL WIRE AND RACEWAYS ASSOCIATED WITH REMOVED EQUIPMENT.

LOAD NAME	WIRE SIZE	CONDUIT SIZE	BREAKER SIZE	POLES	CIRCUIT NUMBER	DEMAND FACTOR	LOAD TYPE	PHASE A LOAD (VA)	PHASE A LOAD (VA)	PHASE B LOAD (VA)	PHASE B LOAD (VA)	LOAD TYPE	DEMAND FACTOR	CIRCUIT NUMBER	POLES	BREAKER SIZE	CONDUIT SIZE	WIRE SIZE	LOAD NAME	
LIGHTING - ROOM 104	2#12 #12G	1/2"	20	1	1	1.00	C	600	720			C	1.00	2	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 103	
LIGHTING - ROOM 102 & 103	2#12 #12G	1/2"	20	1	3	1.00	C			450	540	C	1.00	4	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 101	
LIGHTING - SECOND FLOOR	2#12 #12G	1/2"	20	1	5	1.00	C	600	720			C	1.00	6	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 102	
RECEPTACLE(S) - REAR ENCLOSURE	2#12 #12G	1/2"	20	1	7	1.00	C			720	900	C	1.00	8	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 203	
LIGHTING - EXTERIOR	2#12 #12G	1/2"	20 *	1	9	1.00	C	500	1080			C	1.00	10	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 202	
LIGHTING - EXTERIOR	2#12 #12G	1/2"	20 *	1	11	1.00	C			500	180	C	1.00	12	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - EXTERIOR	
SMOKE DETECTORS	2#12 #12G	1/2"	20	1	13	1.00	C	300	3240			C	1.00	14						
SPARE			20	1	15	1.00	C				3240	C	1.00	16					HP-1	
SPARE			20	1	17	1.00	C			49		C	1.00	18					AHU-1A,1B&1C	
SPARE			20	1	19	1.00	C				49	C	1.00	20	2	15	1/2"	2#12 #12G		
SPARE			20	1	21	1.00	C					C	1.00	22	1	20			SPARE	
SPARE			20	1	23	1.00	C					C	1.00	24	1	20			SPARE	
SPARE			20	1	25	1.00	C					C	1.00	26	1	20			SPARE	
SPARE			20	1	27	1.00	C					C	1.00	28	1	20			SPARE	
SPARE			20	1	29	1.00	C					C	1.00	30	1	20			SPARE	
CONNECTED LOAD PER PHASE								7809	6579											
TOTAL CONNECTED LOAD VA								14387												
										CONNECTED AMPS AT 240V										59.9
DEMAND LOAD PER PHASE								7809	6579											
TOTAL DEMAND LOAD VA								14387												
										DEMAND AMPS AT 240V										59.9
DIVERSITY								1.0												
										DEMAND AMPS AT 240V										59.9
LOAD TYPE "C" CONTINUOUS LOAD								DEMAND VOLT AMP (VA) CONTINUOUS	14387											
								DEMAND AMPS CONTINUOUS	59.9											
LOAD TYPE "N" NONCONTINUOUS LOAD								DEMAND VOLT AMP (VA) NON-CONTINUOUS	0											
								DEMAND AMPS NON-CONTINUOUS	0.0											
										74.9	DEMAND FEEDER AMPS = [(1.25 X CONTINUOUS) + NON-CONTINUOUS]									

\*ROUTE FIXTURE THROUGH TIME-CLOCK

**TIME CLOCK NOTE:**

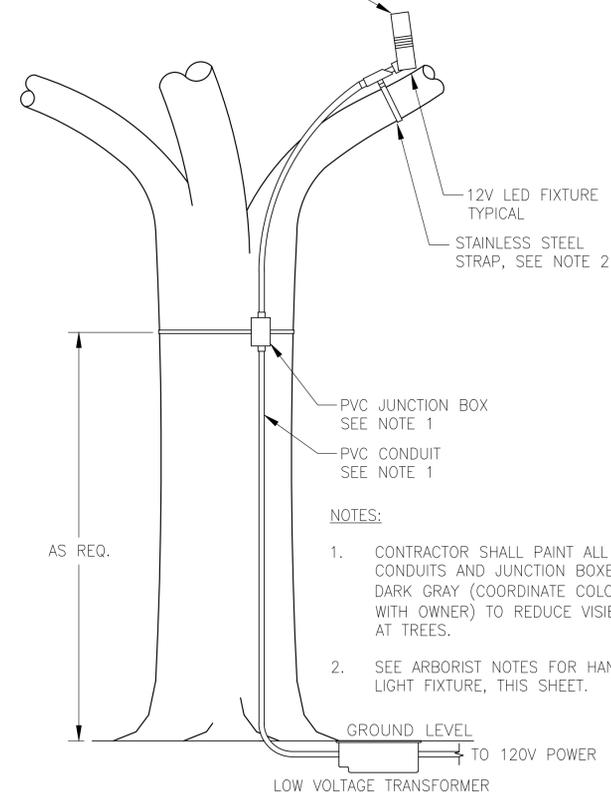
LIGHTING CONTACTOR LOCATED INDOORS. PROVIDE LIGHTING CONTACTOR WITH A MINIMUM OF 3 - 20A POLES FOR OPERATION OF EXTERIOR AND HOUSE LIGHTING CIRCUITS INDICATED ON PLAN. LIGHTING CONTACTOR SHALL HAVE 120V COIL AND BE CONTROLLED BY A PROGRAMMABLE ELECTRONIC ASTRONOMIC TIME CLOCK WITH BATTERY BACK-UP.



POWER RISER DIAGRAM

1  
E5-01  
N.T.S.

COORDINATE CONDUIT RUN, PLACEMENT, AND DIRECTION OF LIGHTS WITH OWNER, TYPICAL



TREE MOUNTED LIGHT

2  
E5-01  
N.T.S.

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SOUTH CAROLINA  
LIVE OAK CONSULTANTS, LLC  
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RICHARD L. OWENS  
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6/2/2015

MEADORS INC.

CLIENT:

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DRAWING TITLE:  
**BLUFFTON, SC 29910  
GARVIN HOUSE**

**ELECTRICAL  
SCHEDULES &  
DETAILS**

PRINCIPAL: G ULMER  
DESIGNED BY: B MARTIN  
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APPROVED BY: R OWENS  
SCALE: AS SHOWN  
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