

Structural Assessment and Report
FOR
Oyster Factory Two-Story Building
Bluffton, South Carolina
September 5, 2007

MCJ PROJECT NO 07-055

Prepared for:



Prepared By:



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This report covers tax parcel number 39A-190, also referred to as the Oyster Factory Two-Story Building located in Bluffton, SC. The building is roughly 200 years old, and we understand that it is a registered historic structure. We also understand that the Town of Bluffton has acquired this building, and they have requested a structural assessment of the building. The purpose of this report is to cover the methodology, describe the structure and its condition, and provide recommendations. The basis for this report includes a field observation and assumptions based on engineering judgment.

A site visit and structural observation of the Oyster Factory Two-Story Building was completed on August 29, 2007. We performed a non-destructive and non-exhaustive evaluation of the building for structural issues. During the site visit, we took photographs and some rough measurements which can be viewed in the appendix.

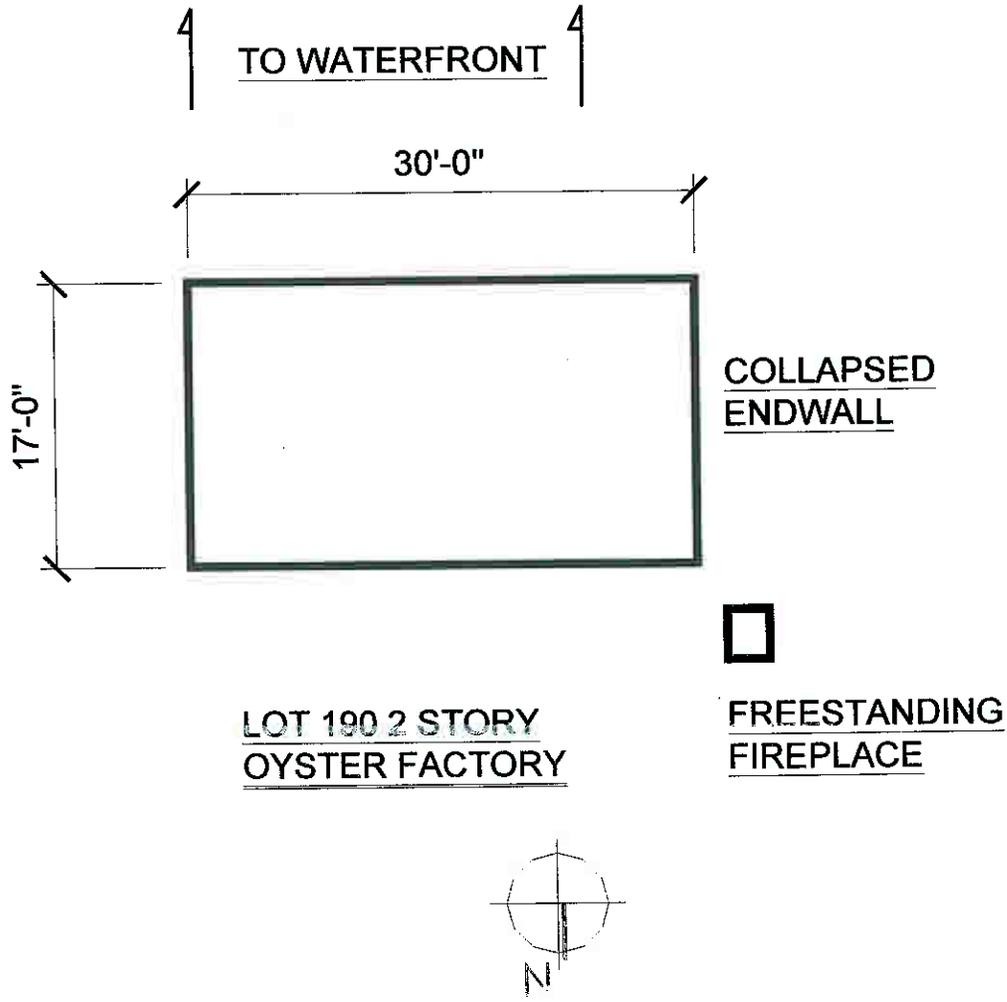
The Oyster Factory Two-Story Building has a footprint of 17'x30' with a total square footage of 1,020 sf. A review of the topography reveals that the existing grade at the site is at approximately 21.0' compared to the flood height of 14.0', hence meeting the requirements of the Federal Emergency Mitigation Agency (FEMA). The framing for the building is wood, with 2x4 stud walls, wood siding, and 2x6 rafters. The roof is a metal roof over 1x slats. The building rests on a crawl-space foundation. The foundation appears to consist of wood framing that is damaged by rot or termites. The foundation has failed, which has also caused the superstructure to fail. The failure of the building precluded access to much of the building, especially the foundation.

Overall, the building is in poor condition. The entire building is out of plumb in two directions by at least 12". Much of the framing and siding materials for the building are in some progressed stage of deterioration. Access to the building is limited, and should remain as such. It is unlikely or impossible that the structural frame or foundation of this building can be utilized. It is possible that some of the materials may be salvaged based on a case-by-case analysis. A fireplace and chimney constructed of clay bricks are located on the site a few feet from the house. The chimney was out of plumb a few inches. Aside from this issue, the fireplace and chimney appeared to have some potential for renovation or reuse.

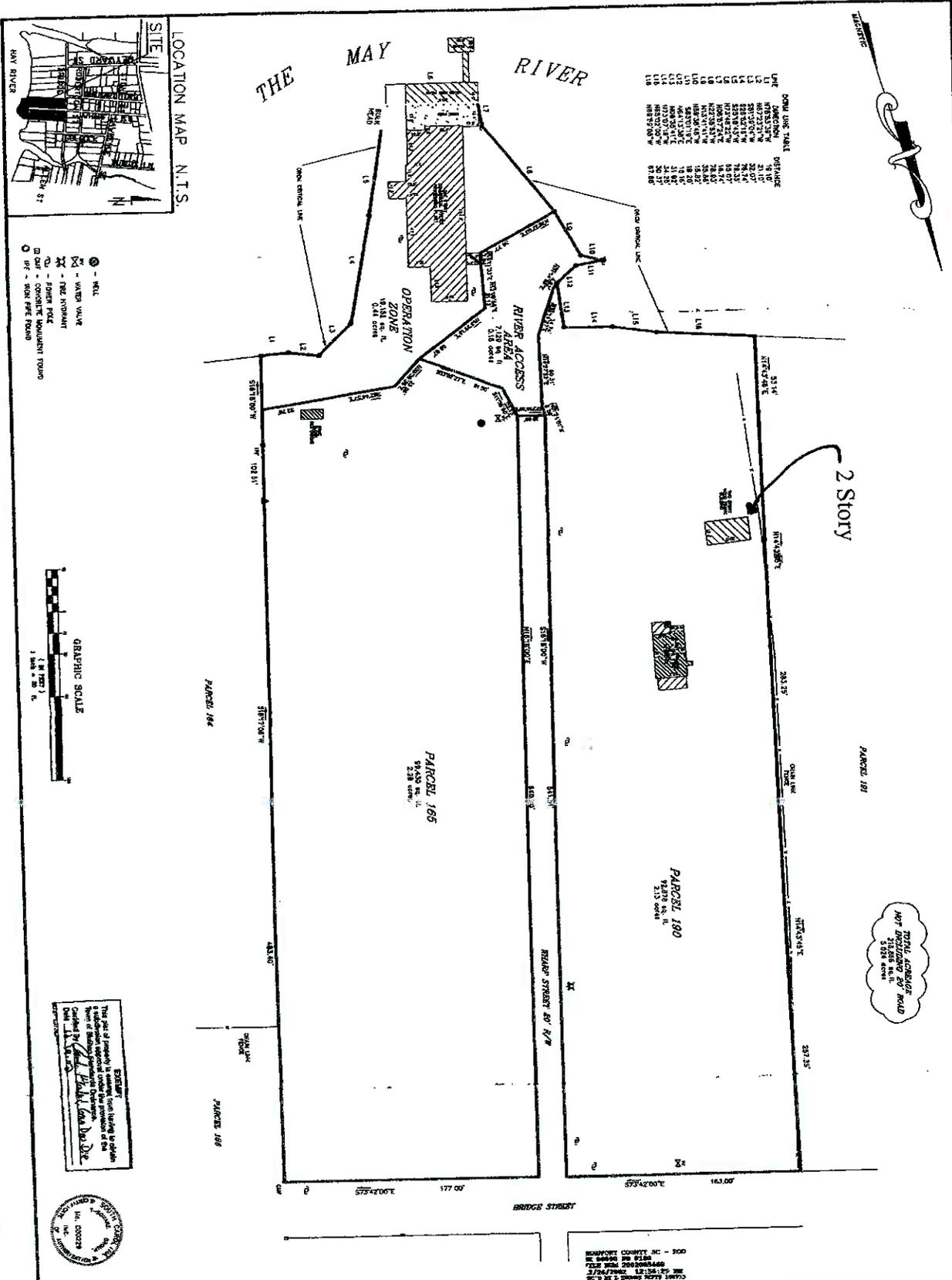
We understand that the historic value of this building should be preserved, but this goal can only truly be achieved if the building is properly restored from foundation up. If left to its current course, and no action is taken, the building will continue to deteriorate, leaving none of the building's intrinsic value. Alternatively, if the restoration is improperly performed, the safety of the occupants and the integrity of the building will be undermined. Hence, the recommended method to preserve this building is to re-frame the building, with salvageable materials being utilized as desired. This re-framing is accomplished by first removing the building and contents from the site. During this process, diligent care will be required to remove, salvage, and catalogue existing framing, siding, and trim materials for reuse. Provided such a re-construction effort is undertaken, engineered drawings and specifications will be required. During the design and re-construction phase, it will be necessary to coordinate the structural engineering requirements with the historic preservation requirements.

Conclusion and Executive Summary

The Oyster Factory Two-Story Building is dilapidated, in poor condition, and is unsafe for occupancy or access to the site. It is unlikely or impossible that this building can be restored except possibly through reuse of materials. The historic value of this building should be preserved, but a restoration of this building utilizing existing materials can only be completed by first installing a new foundation and frame. During this process, diligent care will be required to remove, salvage, and catalogue existing framing, siding, and trim materials for reuse. Provided such a re-construction effort is undertaken, engineered drawings and/or specifications will be required.



FLOOR PLAN SCHEMATIC



COMPUTED LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N 89° 55' 30" W	21.10
L2	N 89° 55' 30" W	22.07
L3	N 89° 55' 30" W	78.54
L4	N 89° 55' 30" W	78.54
L5	N 89° 55' 30" W	78.54
L6	N 89° 55' 30" W	78.54
L7	N 89° 55' 30" W	78.54
L8	N 89° 55' 30" W	78.54
L9	N 89° 55' 30" W	78.54
L10	N 89° 55' 30" W	78.54
L11	N 89° 55' 30" W	78.54
L12	N 89° 55' 30" W	78.54
L13	N 89° 55' 30" W	78.54
L14	N 89° 55' 30" W	78.54
L15	N 89° 55' 30" W	78.54
L16	N 89° 55' 30" W	78.54
L17	N 89° 55' 30" W	78.54
L18	N 89° 55' 30" W	78.54

- - WELL
- ⊗ - WATER VALVE
- ⊗ - FIRE HYDRANT
- ⊗ - POWER POLE
- ⊗ - CONCRETE FOUNDATION FOUND
- ⊗ - 1/2" - 20# PIPE FOUND



This plat is prepared from the original survey records of the Surveyor General of South Carolina. The Surveyor General is not responsible for the accuracy of the original survey records.



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BLUFFTON COUNTY, SC - 600
 10/03/02 09:46:24 AM EDT
 FILED WITH 2002080460
 2/56/2002 11:58:17 AM
 SC TO BE 2-DIMENSIONAL SURVEY
 2002080460 PAGE 10 OF 10

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

BLUFFTON OYSTER FACTORY

A BOUNDARY SURVEY TO SHOW LOCATION OF LEASED AREA,
 PARCELS 190 & 189, MAP 39A, DIST. 610,
 TOWN OF BLUFFTON, BLUFFTON COUNTY, SOUTH CAROLINA

NOTE: This Plat Approves To Lie In A Federal Flood Plain Zone C & All Minimum Required Elevations 104.71, 105.07

SEARCH RECORDS AND RECORDS ARE SUBJECT TO EXAMINATION BY A COMPLETE TITLE SEARCH

REFERENCE PLAT:
 OCEAN BOOK 171 PG. 73
 PLAT BOOK 34 PG. 106

DATE: OCTOBER 3, 2002

J. SQUARE GROUP, INC.
 PROFESSIONAL LAND SURVEYOR
 25 Bank St.
 Bluffton, SC 29910
 Phone: 803-321-3200 Fax: 803-321-3200
 Job No. 97-178-LEASE

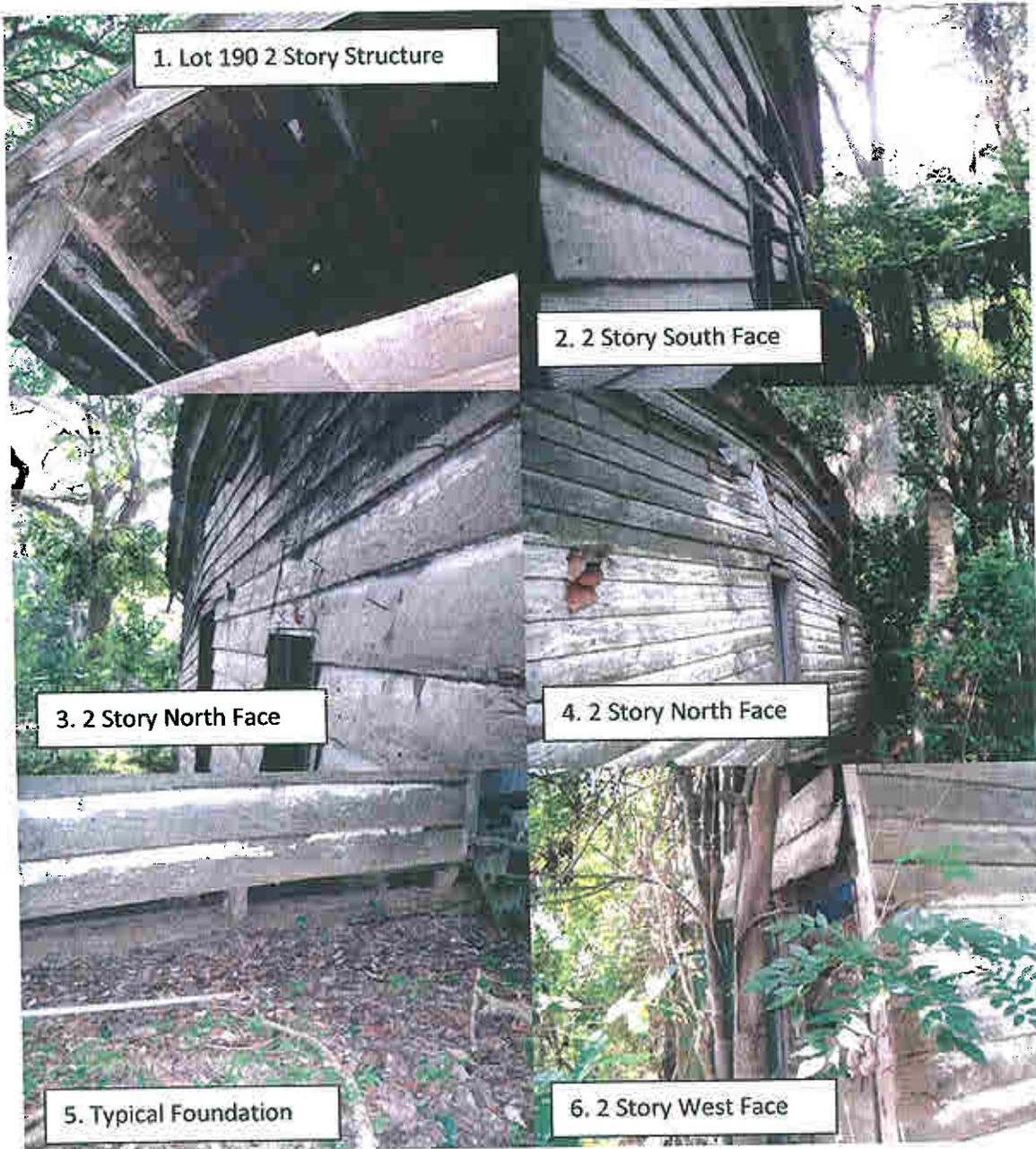
I HEREBY STATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY INFORMATION AND DATA ON WHICH THIS PLAT IS BASED IS ACCURATE AND CORRECT FOR THE PURPOSES OF THE PLAT. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR A CLAIM OF SURVEY OR OTHER INFORMATION ON THIS PLAT.

ALSO TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY INFORMATION AND DATA ON WHICH THIS PLAT IS BASED IS ACCURATE AND CORRECT FOR THE PURPOSES OF THE PLAT.

JOHN W. BARNHART, PLS # 1922

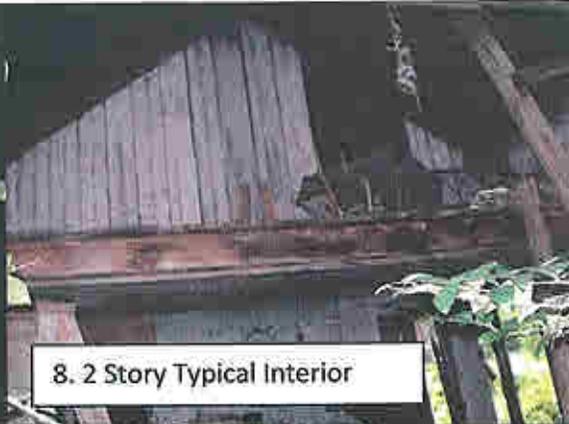


LOT 190 TWO STORY OYSTER FACTORY

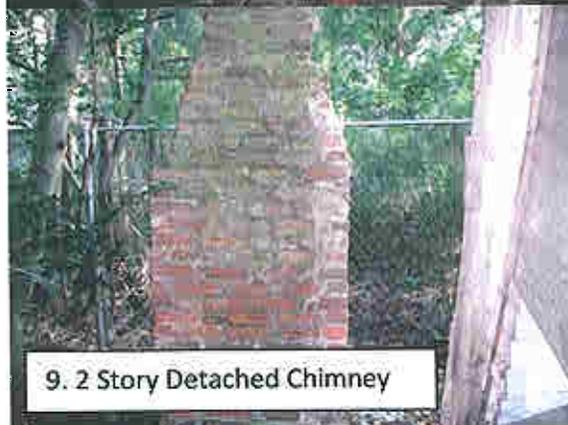




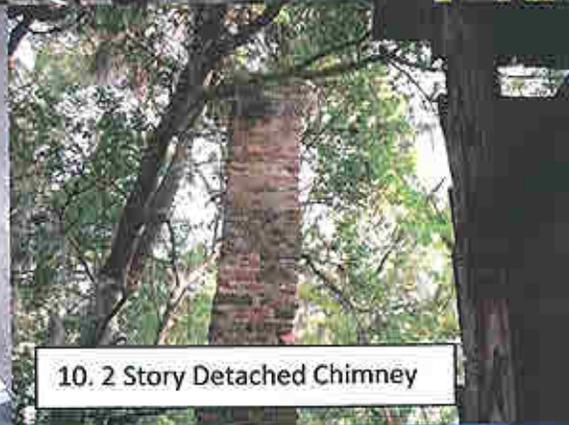
7. 2 Story Typical Interior



8. 2 Story Typical Interior



9. 2 Story Detached Chimney



10. 2 Story Detached Chimney



11. 2 Story Typical Interior



12. 2 Story Kitchen Interior



13. 2 Story Central Stair