



TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION

ELECTRONIC MEETING

Wednesday, September 2, 2020 6:00p.m.

This meeting can be viewed on the Town of Bluffton's Facebook page
<https://www.facebook.com/TownBlufftonSC/>

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

V. ADOPTION OF AGENDA

VI. ADOPTION OF MINUTES – August 5, 2020

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

A. Certificate of Appropriateness: A request by Pearce Scott Architects, on behalf of the owner, Joe Zagari, for approval of a Certificate of Appropriateness to allow the of a new 2-story mixed use structure of approximately 2,370 SF located at 5752 Guilford Place, Lot 4 in the Stock Farm Development, in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-03-20-014106)(Staff – Katie Peterson)

B. Certificate of Appropriateness: A request by Front Light Building, on behalf of the owner, Randy Brown, for approval of a Certificate of Appropriateness to allow the of a new 1.5-story single-family residential structure of approximately 2.368 SF and a 1-story Carriage House structure of approximately 286 SF located at 9 Guerrard Avenue in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-07-20-014398)(Staff – Katie Peterson)

X. DISCUSSION

XI. ADJOURNMENT

NEXT MEETING DATE– Wednesday, October 7, 2020

*Public Comments may be submitted electronically via the Town’s website at (<https://bit.ly/TOBPublicComment>) or by emailing your comments to the Growth Management Coordinator at dmclain@townofbluffton.com. Comments will be accepted up to 2 hours prior to the scheduled meeting start time. All comments will be read aloud for the record and will be provided to the Historic Preservation Committee.

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities.

EXECUTIVE SESSION - The public body may vote to go into executive session for any item identified for action on the agenda.

Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION
Electronic Meeting

Wednesday, August 5, 2020, Minutes

Present: Bruce Trimbur - Chair; Will Guenther – Vice Chair; Courtney McNeil;
Elaine Gallagher Adams; Jesse Solomon; Michael Lovecchio

Staff: Heather Colin- Director of Growth Management; Kevin Icard, Community
Development Manager; Katie Peterson, Senior Planner; Darby McLain,
Growth Management Coordinator; Richardson LaBruce; Town Attorney

I. CALL TO ORDER

Chairman Trimbur called the meeting to order at 6:01 p.m.

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 P.M. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 P.M. may be continued to the next regular meeting or an additional meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to the Commission, Town Staff, and other members of the meeting. State your name and address when speaking for the record. **UNLESS OTHERWISE AMENDED BY THE HISTORIC PRESERVATION COMMISSION, COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

V. ADOPTION OF THE AGENDA

Vice Chair Guenther made a motion, at the request of Court Atkins Group, to amend the agenda so that Item C under New Business is moved to the end of New Business.

Commissioner Solomon seconded the motion. All were in favor and the motion passed.

Commissioner Adams made a motion to adopt the amended Wednesday, August 5, 2020 Historic Preservation Commission Meeting Agenda. Commissioner McNeil seconded the motion, all were in favor and the motion passed.

VI. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA

Seventeen public comments were submitted for New Business Items C, D, and E. Public comments were read into the record by Town Staff Peterson and McClain and are incorporated into these minutes.

VII. ADOPTION OF MINUTES – July 1, 2020

Vice Chair Guenther made a motion to approve the adoption of the July 1, 2020 minutes, Commissioner Adams seconded the motion. All were in favor and the motion passed.

VIII. OLD BUSINESS

- A. Certificate of Appropriateness Amendment:** A request by Ansley Manuel, for review of an Amendment to a Certificate of Appropriateness located at 16 Church Street in the Old Town Bluffton Historic District, and zoned Neighborhood Center-HD. (COFA-04-18-011938) (Staff – Katie Peterson)

Katie Peterson presented an amendment to the application to include:

1. Addition of additional 4 feet of unconditioned storage to the rear of the half story; and,
2. Addition of 6 and a half feet in width to the dormer on the front elevation.

Commissioners discussed the proposed amendment, including the increased number of windows in the dormer and indicated to staff that the changes did not substantially alter the design approved by the HPC and the amendment could be approved.

IX. NEW BUSINESS

- A. Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owner, Ashley Feaster, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story Carriage House of approximately 1,150 SF located at 21 Wharf Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-05-20-014242)(Staff – Katie Peterson)

Katie Peterson presented the information to the Commission, which is incorporated into these minutes.

Commissioner Adams made a motion to approve the construction of a new 2-story Carriage House of approximately 1,150 SF located at 21 Wharf Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-05-20-014242) with the following conditions to be reviewed for compliance by staff:

1. Per UDO Section 5.15.6.I.3.c., the sliding door in the Grayco window and door sheets must be revised to be casement or French in operation; and,
2. Per Section 9.3.D.4., the relocated shed must be no closer than 3 feet to the property line.

Vice Chair Guenther seconded the motion. All were in favor and the motion passed.

- B. Certificate of Appropriateness:** A request by Keith and Mary Koobs, for approval of a Certificate of Appropriateness to allow the construction of a new 1-story single-family residential structure of approximately 1,415 SF located at 29 Lawton Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-06-20-014321)(Staff – Katie Peterson)

Katie Peterson presented the information to the Commission, which is incorporated into these minutes.

Commissioner Adams stated the shutters are inconsistent with staff recommendations. She also stated the width of the shutters around the doors are not wide enough to cover the doors.

Vice Chair Guenther made a motion to approve the construction of a new 1-story single-family residential structure of approximately 1,415 SF located at 29 Lawton Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-06-20-014321) with the following conditions to be reviewed for compliance with staff:

1. The use of a decorative circular window is an appropriate substitute window shape for those listed in the UDO as it matches the window approved on the existing Carriage House and will further relate the two structures;
2. Per Sections 5.15.6.M. and 5.15.5.F. of the UDO, shutters should be removed or added to all windows that can accept them, and if added must match the size of the opening for which they are proposed;
3. Per Section 5.15.6.M. of the UDO, additional information on the configuration of the shutters and shutter dog profile must be provided to ensure they meet the requirements found in the UDO;
4. Per Section 5.15.6.N. of the UDO, a water table detail showing the material size must be provided to ensure it is a 2x stock; and,
5. Per UDO Section 5.3.3.G. of the UDO, additional information must be provided on the canopy coverage for the lot to ensure it meets 75% canopy coverage.

Commissioner Adams seconded the motion. All were in favor and the motion passed.

- C. Certificate of Appropriateness:** A request by Court Atkins Group, on behalf of the Owner, Cunningham, LLC, for approval of a Certificate of Appropriateness to allow the construction of a new mixed-use building of approximately 7,850 SF located at the northeastern corner of Bridge Street and Calhoun Street, Building 2 in the 71 Calhoun Street development, in the Old Town Bluffton Historic District and zoned Neighborhood Center – HD.(COFA-12-19-013784)(Staff – Heather Colin)

Heather Colin presented the information to the Commission, which is incorporated into these minutes.

The commissioners and staff discussed the proposed building type, allowable square footage, definition of a story, proposed property lines for the site.

The Applicant requested clarification on the allowable building types in the district, how maximum height is determined within the district, and discussed the buildings which were included and not included in the table of nearby structures in the district shown in the presentation. He then spoke to each of the review criteria.

Commissioner Adams discussed the mass of the structure. She requested the tallest ridgeline of the proposed structure be reduced to be no taller than the adjacent building commonly known as Moonlit Lullaby, and the rest of the ridgelines be reduced proportionally. She discussed the columns and the protection of the Oak Tree. The Applicant confirmed the tree would be protected following the guidance from discussions with an arborist, proposed less prominent columns and the ridge height.

Commissioner Solomon agreed with Commissioner Adams on the columns, ridge height and spoke on the tree preservation with the compact car spaces.

Commissioner McNeil requested additional information on the window transparency coverage. The Applicant responded to the percentage of windows, and Commissioner Adams and Guenther stated it should be reviewed as the Main Street Building.

There was further discussion on the square footage, mass and scaling of the structures by the commissioners and the Applicant.

Commissioner Adams made a motion to postpone a final decision on Building 2 until the next meeting (September 2) to allow the Applicant time to address comments as set forth in the staff report including to revise plans to show a building height that is within two feet of the height of the building located across Bridge Street (Moonlight Lullaby), to simplify

the column details, to address root preservation of the oak tree, and the following comments as provided by staff:

1. Per Section 3.10. of the UDO, any and all DRC comments must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.
2. Per Section 3.11 of the UDO, a Subdivision Application must be submitted, reviewed, approved and recorded prior to the issuance of a Certificate of Appropriateness.
3. Per Section 3.19 of the UDO, a Site Feature – HD permit is required for any proposed signage at this location.
4. Per Section 5.15.5.F.3. of the UDO, the shutter on the north elevation must be changed to have the same style as every other shutter on the building.
5. Per Section 5.15.6.G.3. of the UDO, additional information must be provided about the siding material on the first floor of the southwestern corner to ensure it is in compliance with the UDO's wall material standards.
6. Per Section 5.15.6.K. of the UDO, additional information must be submitted for review, or a separate Site Feature-HD permit applied for prior to the seating area's approval.
7. The HPC noted that a deviation from the height requirement in Section 5.15.6.K. of the UDO, shall be granted for the service yard near the chimney to the lowest possible height necessary to screen all utilities.
8. A deviation be granted from the requirement of 75% of the wall area being transparent in accordance with Sections 5.15.8.A. and 5.156.L. to provide for a more residential appearance of the first floor along Bridge Street.
9. Per Section 5.15.5.F.2.d General Standards, Building Form Massing and Scale, long unarticulated masses shall be avoided. As an example, simple offsets of the primary façade can articulate the overall building massing and help reduce the perception of mass and scale. This may also be met by reducing the overall height, footprint and size of the building, which may result in an additional building.
10. Per Section 4.2.11.B Neighborhood Center Historic District, the continued reuse of historic structures will help to create a complete mixed-use environment and careful infill development that will respect the existing buildings with regards to building placement, massing and scale. The NCE-HD district is a place where the greatest range of traditional building types are expected and encouraged. Based on non-compliance with the criteria listed above, the mass and scale of the building must be reduced to be

compatible with the surrounding built environment and neighboring buildings to maintain the character and integrity of the district. This could be met by simply reducing the overall height, footprint and size of the buildings, which may result in additional buildings.

11. Per Section 5.14.3. Architectural Design Guidelines The design of all applicable structures including habitable structures, walls, fences, light fixtures and accessory and appurtenant structures shall be unobtrusive and of a design, material and color that blend harmoniously with the natural surroundings, and the scale of neighboring architecture, complying with the intent of this Section. Innovative, high quality design and development is strongly encouraged to enhance property values and long-term economic assets. The architectural details should be respectful of the neighboring properties and compliment the district as appropriate based on the review criteria listed above.

Vice Chair Guenther seconded the motion. All were in favor and the motion passed.

- D. Certificate of Appropriateness:** A request by Court Atkins Group, on behalf of the Owner, Cunningham, LLC, for approval of a Certificate of Appropriateness to allow the construction of a new mixed-use building of approximately 7,620 SF located on Bridge Street, Building 3 in the 71 Calhoun Street development, in the Old Town Bluffton Historic District and zoned Neighborhood Center – HD. (COFA-12-19-0138785)(Staff –Heather Colin)

Heather Colin presented the information to the Commission, which is incorporated into these minutes.

The Applicant discussed the relocation of the mural, the submittal of the structure as an Additional Building Type, which would affect the setbacks.

Commissioner Adams agreed the building should be reviewed as an Additional Building Type in order better reflect the residential scale of the structure on Bride Street. She discussed the mass and scale of the structure and requested the ridge height be reduced proportionally to Building 2 and requested additional articulation on the North elevation as it will be visible from the parking area

The Applicant discussed the color scheme and noted undulation in the North could be added in order to add depth and break up the long, unarticulated façade's appearance. He also discussed the height of the structure.

There was further discussion between the commissioners and the Applicant on the height of the structure and the height of each story.

Commissioner McNeil made a motion to postpone a final decision on building number three until the next meeting of the HPC so the applicant can meet the staff conditions 1-5 and 8 of the staff report. Address scale

and mass that reflects the more residential nature of Bridge Street through reduction in height of building number three with the height to be reduced in comparable form to the reduction of building number two and to provide articulation on the North façade to reduce the mass and appearance of flatness. For reference staff conditions 1-5 and 8 are as follows:

1. Per Section 3.10. of the UDO, any and all DRC comments must be satisfied, and the Final Development Plan approved prior to the issuance of this Certificate of Appropriateness.
2. Per Section 3.11 of the UDO, a Subdivision Application must be submitted, reviewed, approved and recorded prior to the issuance of this Certificate of Appropriateness.
3. Per Section 3.19 of the UDO, a Site Feature – HD permit is required for any proposed signage at this location.
4. Per Section 5.15.5.B. of the UDO, the western property line must be relocated to be no closer than 8 feet from the nearest building wall and the northern (rear) property line must be relocated to be no closer than 25 feet from the nearest building wall.
5. The Applicant requests consideration of a deviation from the requirement of 75% of the wall area being transparent in accordance with Sections 5.15.8.A. and 5.156.L. to provide for a more residential appearance of the first floor along Calhoun and Green Streets.
8. Per Section 5.14.3. Architectural Design Guidelines The design of all applicable structures including habitable structures, walls, fences, light fixtures and accessory and appurtenant structures shall be unobtrusive and of a design, material and color that blend harmoniously with the natural surroundings, and the scale of neighboring architecture, complying with the intent of this Section. Innovative, high quality design and development is strongly encouraged to enhance property values and long-term economic assets. The architectural details should be respectful of the neighboring properties and compliment the district as appropriate based on the review criteria listed above.

Commissioner Solomon seconded the motion. All were in favor and the motion passed.

It was noted that the time had passed 9:30 PM by Town Attorney, Richardson LaBruce.

Commissioner Lovecchio made a motion to continue hearing new agenda items past 9:30 p.m. Commissioner Adams seconded the motion. All were in favor and the motion passed.

- E. Certificate of Appropriateness:** A request by Court Atkins Group, on behalf of the Owner, Cunningham, LLC, for approval of a Certificate of

Appropriateness to allow the construction of a new mixed-use building of approximately 7,500 SF located at the southeastern corner of Green Street and Calhoun Street, Building 1 in the 71 Calhoun Street development, in the Old Town Bluffton Historic District and zoned Neighborhood Center – HD. (COFA-10-19-013647)(Staff – Heather Colin)

The Applicant discussed the changes which had been made the structure since the workshop on the item at the Special Meeting of the HPC on June 10, 2020.

Commissioner Adams discussed the columns, reducing the height of all ridgelines proportionally to the other two buildings, the increase of glazing on the first floor as it should be reviewed as a Main Street Building Type. Commissioner Guenther and Chair Trimbur agreed with Commissioner Adams comments. The Applicant spoke to the setback increase, which resulted in the reduction of square footage and will allow for more plantings at the front of the property. Commissioner Adams noted that the signs proposed should have character. Commissioner Solomon requested information about access to the Loft apartment. The Applicant noted access would be internal.

There was further discussion on proposed building type. It was determined to be a Main Street Building Type, with reduced glazing along Green Street in order to maintain the residential character of Green Street.

Commissioner Adams made a motion to postpone a final decision on Building 1 until the next meeting (September 2) to allow the Applicant time to address comments as set forth in the staff report and specifically to increase building transparency (windows) to the minimum requirement of 75% on the Calhoun Street elevation, and to reduce the mass and scale of the building to make it more proportional with Buildings 2 and 3 by reducing the height of the structure. The comments as found in the staff report are as follows:

1. Per Section 3.10. of the UDO, any and all DRC comments must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.
2. Per Section 3.11 of the UDO, a Subdivision Application must be submitted, reviewed, approved and recorded prior to the issuance of a Certificate of Appropriateness.
3. Per Section 3.19 of the UDO, a Site Feature – HD permit is required for any proposed signage at this location.
4. Per Section 5.15.5.B. of the UDO, the southern property line must be relocated to be no closer than 8 feet from the nearest building wall.
5. The Applicant requests consideration of a deviation from the requirement of 75% of the wall area being transparent in

accordance with Sections 5.15.8.A. and 5.156.L. to provide for a more residential appearance of the first floor along Calhoun and Green Street.

6. Per Section 5.15.5.F.2.d General Standards, Building Form Massing and Scale, long unarticulated masses shall be avoided. As an example, simple offsets of the primary façade can articulate the overall building massing and help reduce the perception of mass and scale. This may also be met by reducing the overall height, footprint and size of the building, which may result in an additional building.
7. Per Section 4.2.11.B Neighborhood Center Historic District, the continued reuse of historic structures will help to create a complete mixed-use environment and careful infill development that will respect the existing buildings with regards to building placement, massing and scale. The NCE-HD district is a place where the greatest range of traditional building types are expected and encouraged. Based on non-compliance with the criteria listed above, the mass and scale of the building must be reduced to be compatible with the surrounding built environment and neighboring buildings to maintain the character and integrity of the district. This could be met by simply reducing the overall height, footprint and size of the buildings, which may result in additional buildings.
8. Per Section 5.14.3. Architectural Design Guidelines The design of all applicable structures including habitable structures, walls, fences, light fixtures and accessory and appurtenant structures shall be unobtrusive and of a design, material and color that blend harmoniously with the natural surroundings, and the scale of neighboring architecture, complying with the intent of this Section. Innovative, high quality design and development is strongly encouraged to enhance property values and long-term economic assets. The architectural details should be respectful of the neighboring properties and compliment the district as appropriate based on the review criteria listed above.

Commissioner Guenther seconded the motion. All were in favor and the motion passed.

The Applicant requested additional time to submit revised drawings as the submittal deadline for the September meeting of the HPC is August 5, and this meeting took place the same date. Staff noted they would work with the Applicant on timelines.

X. DISCUSSION

No discussion.

XI. ADJOURNMENT

Commissioner Lovecchio made a motion to adjourn the August 5, 2020 Historic Preservation Commission meeting, Commissioner Adams seconded the motion and the meeting was adjourned at 10:22pm.

DRAFT

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	September 2, 2020
PROJECT:	5752 Guilford Place, Lot 4– New Construction: Mixed-Use Commercial
APPLICANT:	Pearce Scott Architects
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Pearce Scott Architects on behalf of Joe Zagari, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-20-014294.** A Certificate of Appropriateness to construct a new mixed-use commercial building of approximately 2,372 SF located at 5752 Guilford Place (Lot 4) in the Stock Farm Development in the Old Town Bluffton Historic District and zoned Neighborhood General – HD.

INTRODUCTION: The Applicant is proposing the construction of a mixed-use commercial structure of approximately 2,372 SF located in the Old Town Bluffton Historic District. While the structure has characteristics of a Live-Work Sideyard, it is being proposed within the Neighborhood General-HD zoning district and thus must be reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. Additionally, it is located within the Stock Farm Development Plan and must meet the spatial and placement requirements of the Stock Farm Development Plan.

The 2-story structure has a forward-facing gable with a two-story, full-length, porch under a shed roof on the left side and a full-length addition on the right side under a shed roof. The primary entrance is at the porch of the structure, with storefront windows along the primary façade. The proposed building reflects the vernacular characteristics of Bluffton by integrating a variety of typical architectural forms and features such as both gable and shed roofs and two-story porches. Additional materials that are in keeping with the vernacular of Bluffton are metal roofs, horizontal lap siding, vertical board and batten siding, corner board trim, and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 29, 2020 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new mixed-use structure in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request is in conformance with those standards.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed mixed-use structure will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with the applicable provisions provided in Article 5:
- 1) Section 5.15.6.C.2. Special Building Elements & Appurtenances. Building fronts for commercial and mixed-use structures shall have at least one of the following: Arcade, Colonnade, Marquee, Porch, or awning. As proposed, the structure does not have one of these elements, however, it is designed as a traditional Sideyard style building, which requires a porch along the side elevation. The applicant is requesting a determination on the appropriateness of the side porch as a substitute for those elements listed above.
 - 2) Section 5.15.6.H.2.d. Columns, Arches, Piers, Railings, Balustrades. Railings and balusters shall be wood (termite resistant), painted or natural wrought iron. As proposed, the railings and balusters are powder coated aluminum handrails with 5/8" diameter metal rods. The railings and balusters must be revised to be wood or wrought iron to meet this requirement.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new mixed-use commercial structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete, however, in accordance with Article 3 of the Unified Development Ordinance, the following applications will need to be complete prior to approval of this Certificate of Appropriateness -HD.

There are a number of trees over 8" in diameter that are being proposed for removal. A Town of Bluffton tree removal permit must be attained, and a grading plan provided prior to any site clearing. Additionally, a grading plan must be provided to ensure land disturbance will not negatively affect the remaining trees on site and canopy calculations must be provided to ensure the site will have 75% canopy coverage.

It should also be noted that a Site Feature – HD permit is required for any proposed signage at this location.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 3.22.2. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 8" in DBH.
2. Per Section 3.2.1.C. of the UDO, a grading plan showing the proposed fill is required.
3. Per Section 5.3.3.G. of the UDO, additional information is required to ensure the proposed landscaping will provide 75 percent lot coverage with tree canopy measured as the mature canopy, not including rooftops.

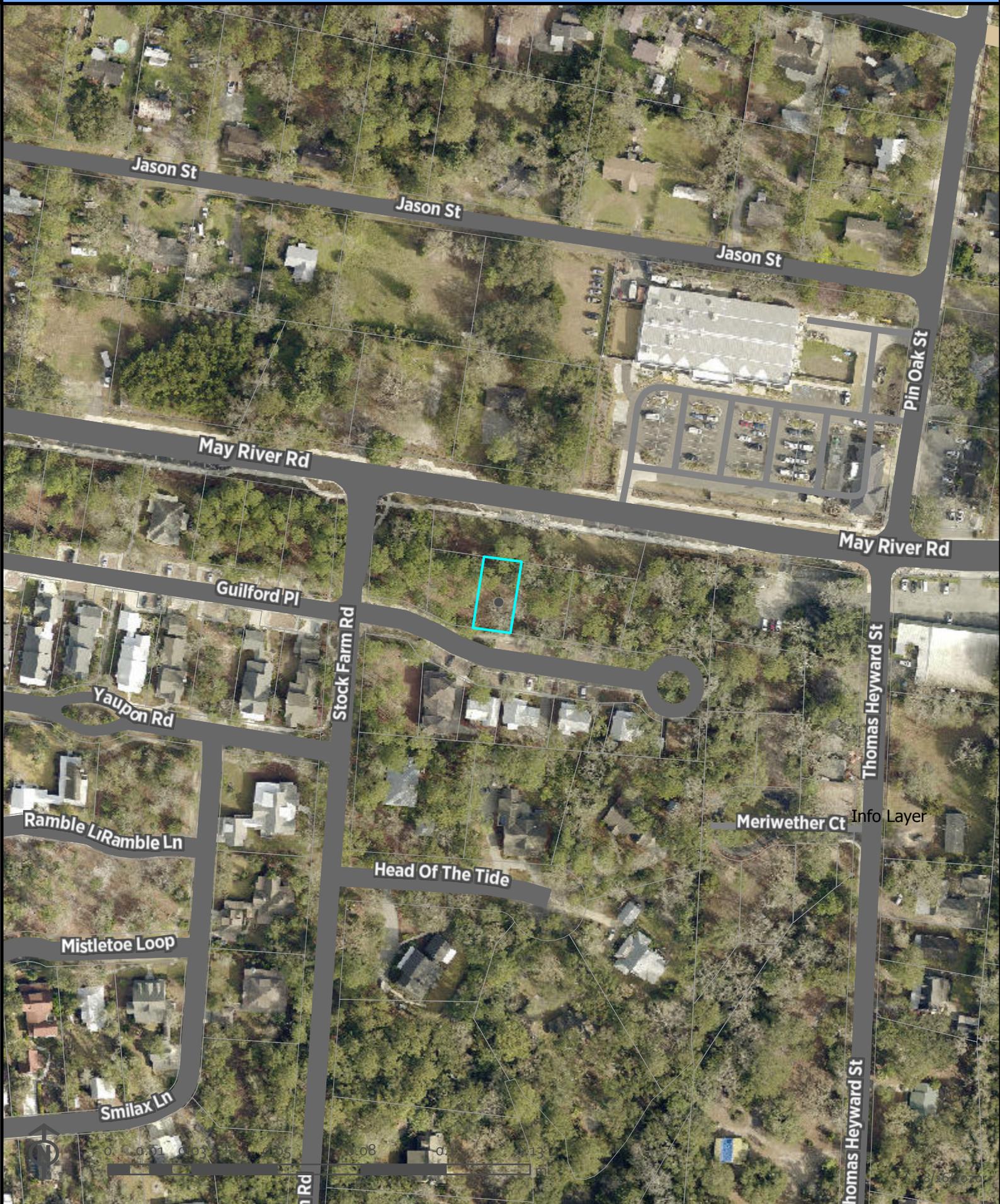
4. Per Section 3.19 of the UDO, a Site Feature – HD permit is required for any proposed signage at this location.
5. Per Section 5.15.6.H.2.d. of the UDO, a determination must be made on the appropriateness of the use of powder coated aluminum handrails with 5/8" diameter metal rods as a substitute for those materials listed in the UDO.
6. Per UDO Section 5.15.6.C.2. a determination must be made on the appropriateness of the proposal without an arcade, colonnade, marquee, porch or awning along the primary frontage.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Comments
6. HARB Letter of Approval

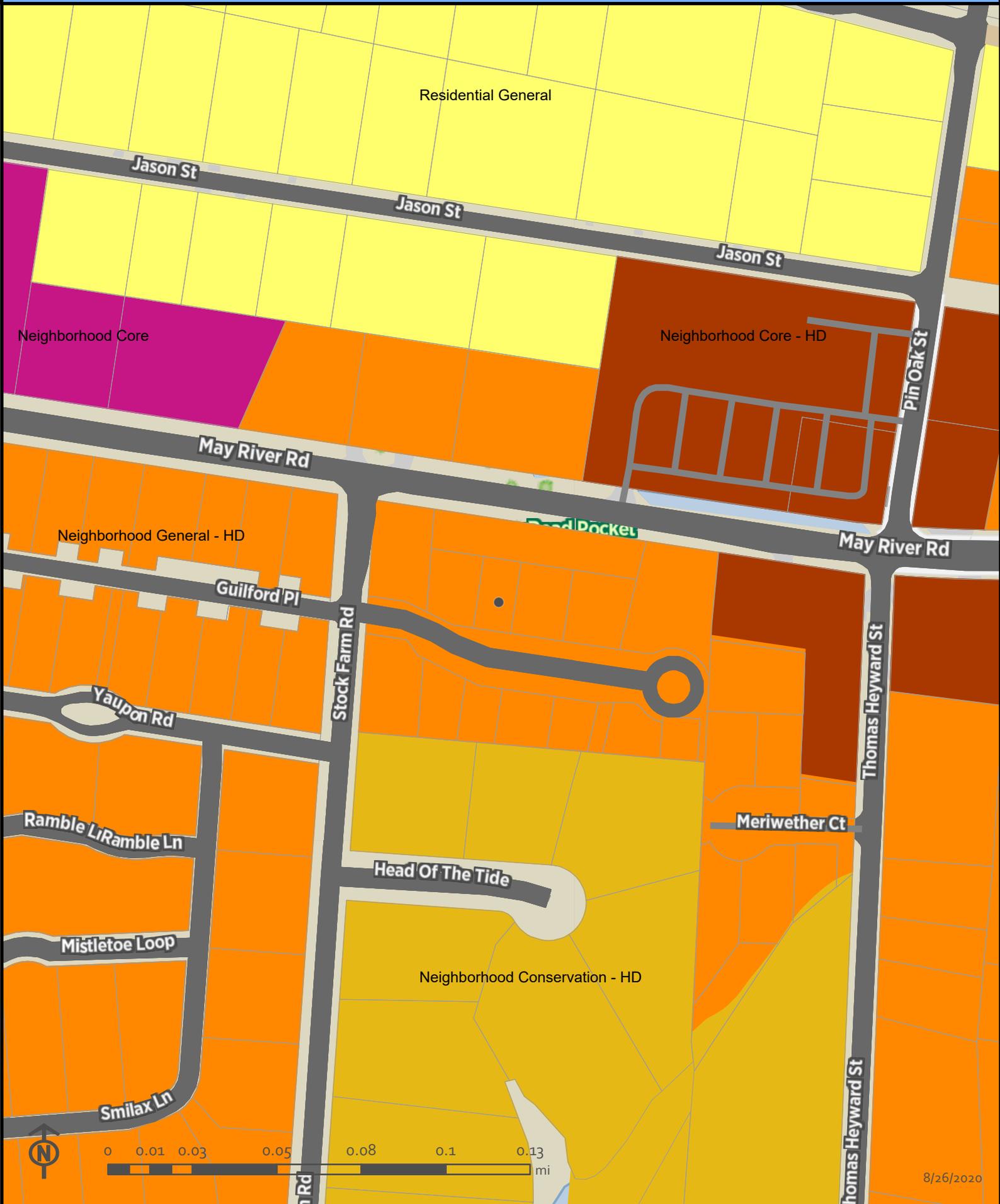


5752 Guilford Place - Location Map





5752 Guilford Place - Zoning Map





August 5, 2020

Lot 4 Stock Farm Narrative

On behalf of the owner, we would like to propose a 2 story Commercial building on Lot 4 Stock Farm. The building heated square footage is 2,372 sf. The structure will be an Additional Building type similar to a two story Charleston Sideyard.

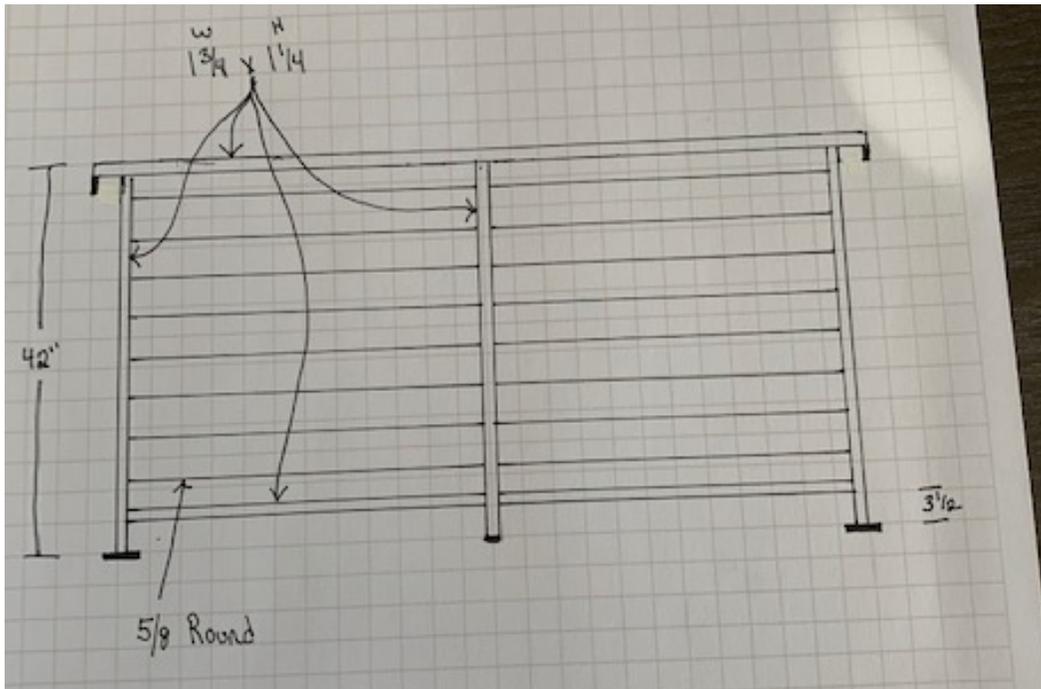
The walls will be horizontal hardie siding and board and batten. The roof will be 5 V Crimp metal. All details and materials will follow the UDO requirements.

As per the HPRC conceptual meeting comments, we have lowered the plate height of the board and batten portion of the building. We are also including a cut sheet of the Side Entry door and picture of the handrails.

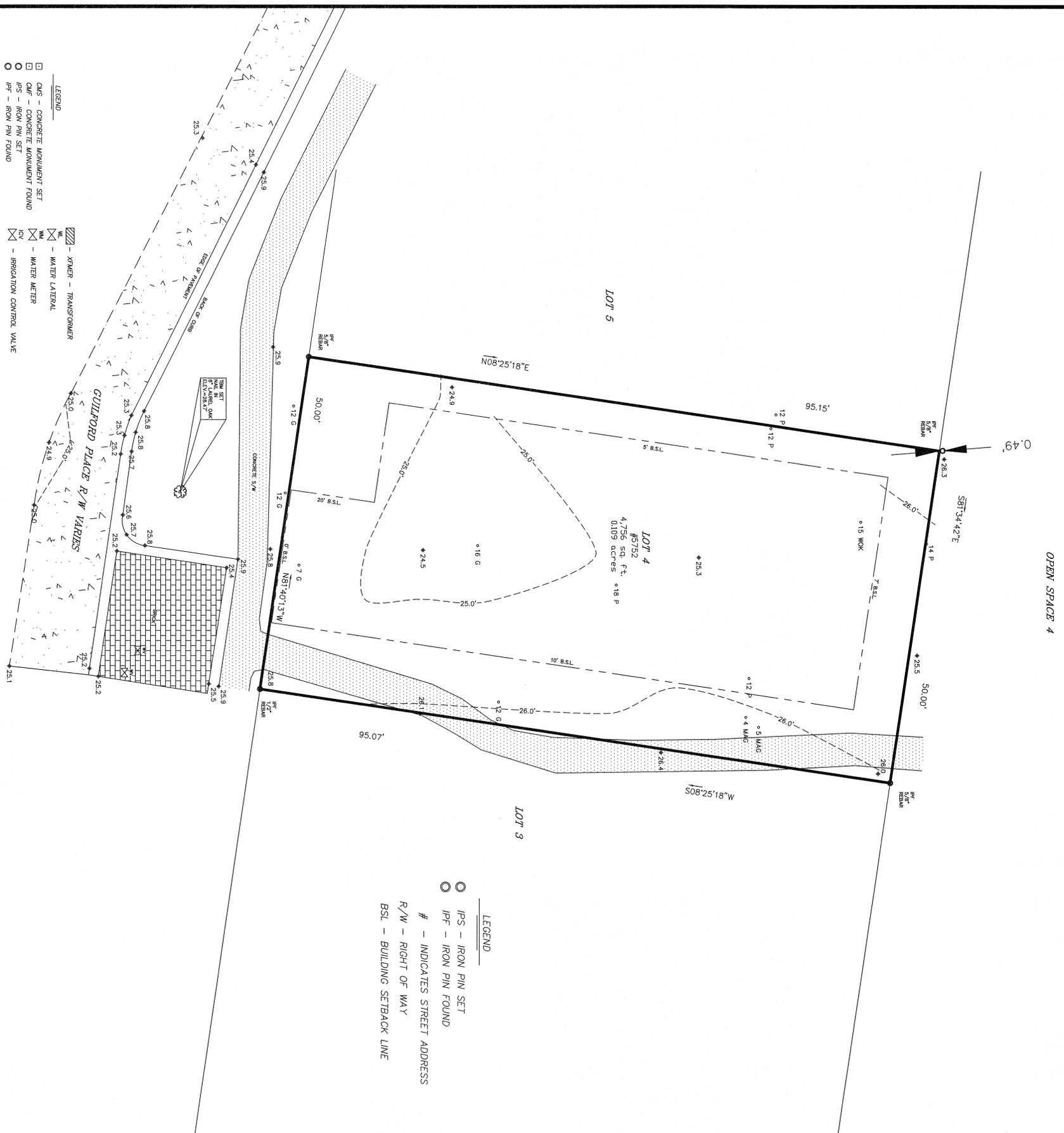
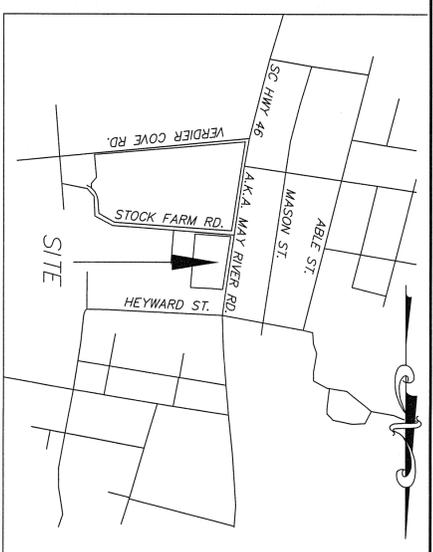
Thank you for your consideration,

Amanda Jackson Denmark
Project Manager

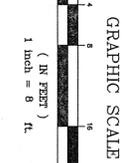
Metal Handrail Example







- LEGEND**
- ☐ CAS - CONCRETE MONUMENT SET
 - ☐ CAF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ☉ - TELEPHONE FEDERAL/COMMUNICATION
 - ☉ - SENIOR LATERAL
 - ☉ - SANITARY SINKER MANHOLE
 - ☉ - ELECTRIC BOX
 - ☉ - SPOT ELEVATION SHOTS
 - 12" - CONTOUR LINES
 - ☉ - FIBEROPTICS MANHOLE
 - ☉ - POWER POLE
 - ☉ - OVER HEAD POWER LINE
 - ☉ - GUY LINE
 - ☉ - LIGHT POLE
 - ☉ - STORM DRAIN MANHOLE
 - ☉ - FIBEROPTICS MANHOLE
 - ☉ - TRANSFORMER
 - ☉ - WATER LATERAL
 - ☉ - WATER METER
 - ☉ - WATER CONTROL VALVE
 - ☉ - FIRE HYDRANT
 - ☉ - GRATE INLET
 - ☉ - IRRIGATION CONTROL VALVE
 - ☉ - IRRIGATION CONTROL VALVE



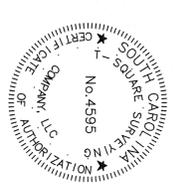
- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - POCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

DRAWN BY: W.M.S.

APPROVED BY: W.U.S.

PARTY CHIEF: W.U.S.

DATE: SEPTEMBER 11, 2019



SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burt Church Road
 Bluffton, S.C. 29910
 tsquare@square.com
 Phone 843-757-8500 Fax 843-757-5798
 JOB No. 17-2721



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON TO BE A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYING IN SOUTH CAROLINA, AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA, AND THAT I AM A MEMBER OF THE NATIONAL BOARD OF SURVEYING AND MAPPING, INC. (NBSM) AND THE NATIONAL ASSOCIATION OF PROFESSIONAL SURVEYORS (NAPS).
WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
JULIE & GIUSEPPE ZAGARI
 A TREE & TOPOGRAPHIC SURVEY OF LOT 64 ANCHOR COVE COURT,
 A PORTION OF PHASE 1, HAMPTON LAKES,
 BLUFFTON TOWNSHIP, BEAUFORT COUNTY, SOUTH CAROLINA,
 DIST 614., MAP 37, PARCEL 358

Notes:
 1. According to FEMA Flood Insurance Rate Map # 45065 0652D, the subject property is in Flood Zone G, Medium Risk Flood Hazard Area.
 2. This Property May Be Subject To Easements, Ejectment, or Other Rights.
 3. This Survey Was Performed Without The Benefit Of A Wetland Determination.
 4. All Building Setback Requirements Should Be Verified With The Proper Reference Agency.
 A SUBDIVISION PLAT BY BOYCE L. YOUNG (RLS1079) OF DISTRICT 11, MAP 37, PARCEL 358, IS RECORDED IN PLAT BOOK 112, PAGE 113, DATED 5/31/2008. HAS REVISION 5/24/2008.



New Mixed Used Building at Stock Farm

Lot 4, 5728 Guilford Place

Final HPC Submittal - 08.05.20

GENERAL NOTES:

1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
7. Contractor to provide a job sign in accordance with the neighborhood/development regulations.
8. The site is to be kept clean at all times for the duration of the project.
9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
10. The design documents are to be used for design intent and in coordination with supplemental engineering documents.
11. All walls are dimensioned to the face of stud or masonry unless noted otherwise.
12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HPC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
JOE ZAGARI
LOT 4, 5752 GUILFORD PLACE
STOCK FARM
BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

COVER SHEET & DWG INDEX

SHEET NO.
CVR
 24X36 PAPER SIZE

DRAWING INDEX			PROJECT TEAM	PROJECT INFORMATION
CVR	COVER SHEET & DRAWING INDEX	A301	ARCHITECT: Pearce Scott Architects H. Pearce Scott, AIA 6 State of Mind, Suite 200 Bluffton, SC 29910 P: 843.837.5700 C: 843.816.6067 E: pearce@pscottarch.com LANDSCAPE ARCHITECT: Witmer Jones Keefer, Ltd. Daniel Keefer 23 Promenade Street, Ste. 201 Bluffton, SC 29910 P: 843.757.7411 C: 843.2905437 E: dan@wkjtd.com	AREA CALCULATIONS: (AJD - 07.13.20) MAIN BUILDING: FIRST FLOOR HEATED 1,186 SECOND FLOOR HEATED 1,186 TOTAL HEATED 2,372 ENTRY PORCH 344 COVERED PORCH 266 610 GROSS UNDER ROOF 2,982
	SURVEY	A401		PROJECT ANALYSIS: (AJD- 07.13.20) FRONT BUILD TO ZONE: 7' REAR SETBACK: 20' RIGHT SETBACK: 5' LEFT SETBACK: 10' DRIVEWAY ACCESS: GUILFORD PLACE FINISH FLR. ELEV.: 6" A.F.G. BUILDING HGT.: +/- 32'-6" MAX. MAIN BUILDING HEATED SF: 2,400 ACTUAL HEATED SF: 2,372 HISTORIC DISTRICT: NEIGHBORHOOD GENERAL BUILDING TYPE: ADDITIONAL BUILDING TYPE
LXX	LANDSCAPE PLAN	A501		
	DETAILS	A502		
S/A100	ARCHITECTURAL FOUNDATION PLAN			
A001	SITE PLAN	A601		
A101	FIRST FLOOR PLAN			
A102	SECOND FLOOR PLAN			
A103	ROOF PLAN			
A201	EXTERIOR ELEVATIONS			
A202	EXTERIOR ELEVATIONS			

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

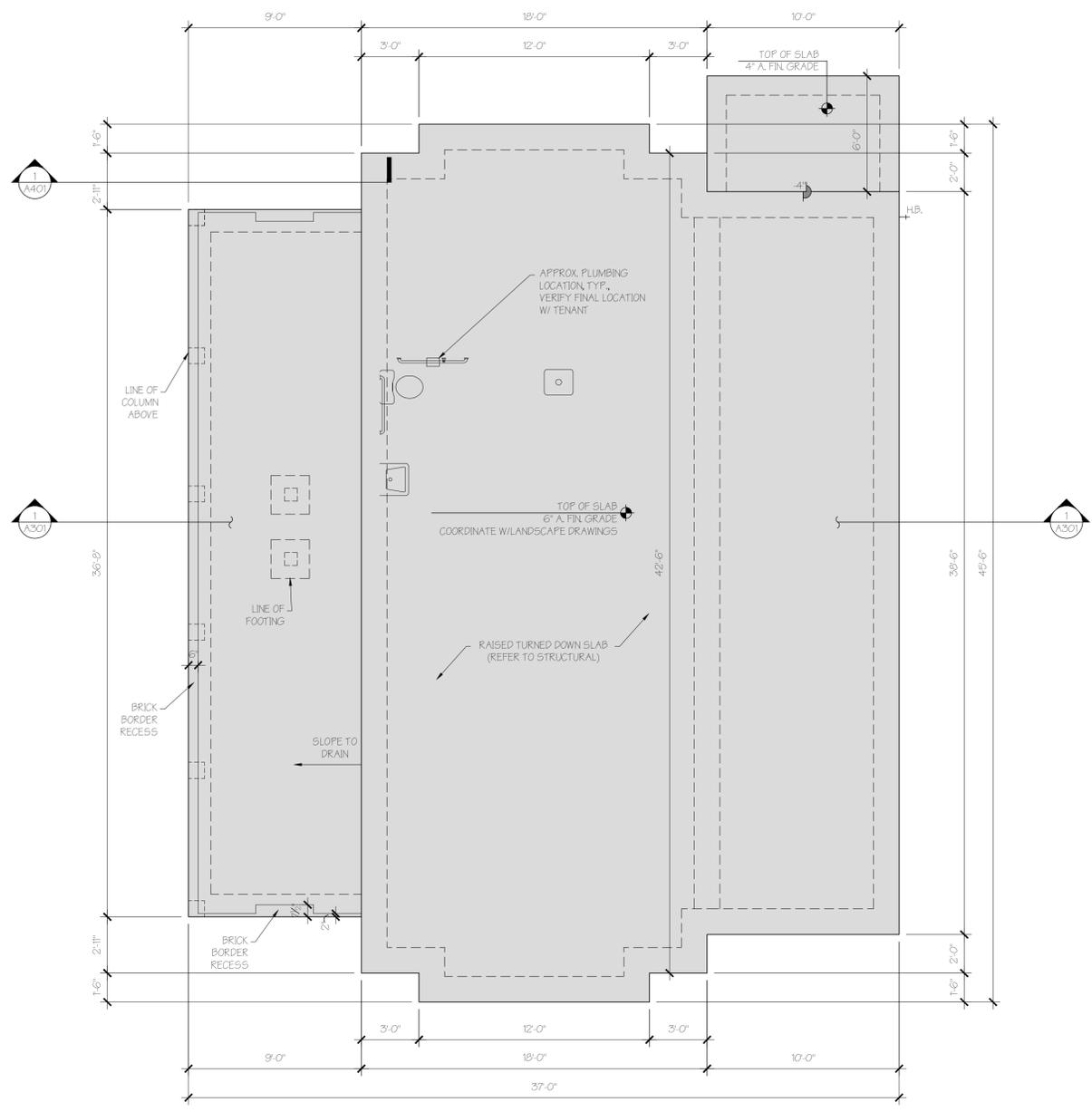
NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

**ARCH. FOUND.
 PLAN**

SHEET NO.
S-A100
 24X36 PAPER SIZE

- NOTES:**
1. ARCHITECTURAL FOUNDATION FOR EXTERIOR DIMENSIONS & LEVEL CHANGES ONLY. REFER TO STRUCTURAL FOR ALL OTHER INFORMATION.
 2. LEVEL CHANGES INDICATE TOP OF SLAB STEP UPS ONLY--SEE SECTIONS & DETAILS FOR INTENDED FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 3. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 4. REFER TO STRUCTURAL FOUNDATION PLAN FOR CONTROL JOINT LOCATIONS AND FOOTING SIZES AND DETAILS.
 5. CONTRACTOR TO COORDINATE ALL FIRST FLOOR PLUMBING PRIOR TO SLAB FOUR.
 6. VERIFY FLOOR OUTLET LOCATIONS PRIOR TO SLAB FOUR.
 7. ALL HARDSCAPE / PAVING, PADS, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT



1 1/4" = 1'-0"
 ARCHITECTURAL FOUNDATION PLAN

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

SITE PLAN

SHEET NO.
A001
 24X36 PAPER SIZE



- LEGEND**
- IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - R/W - RIGHT OF WAY
 - BSL - BUILDING SETBACK LINE

- ⊠ XFMR - TRANSFORMER
 - ⊠ WL - WATER LATERAL
 - ⊠ WM - WATER METER
 - ⊠ ICV - IRRIGATION CONTROL VALVE
 - ⊠ FH - FIRE HYDRANT
 - ⊠ GI - GRATE INLET
- RETE MONUMENT SET
 RETE MONUMENT FOUND
 PIN SET
 PIN FOUND
 TES STREET ADDRESS
 RARY BENCH MARK
 NG SETBACK LINE

- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOR - LAUREL OAK

1 | 1/8" = 1'-0"
 SITE PLAN

DO NOT SCALE FROM DRAWINGS

AREA CALCULATIONS

MAIN BUILDING:	
FIRST FLOOR HEATED	1,066 SF
SECOND FLOOR HEATED	1,066 SF
TOTAL HEATED	2,132 SF
ENTRY PORCH:	
COVERED PORCH	344 SF
TOTAL UNHEATED	610 SF
GROSS UNDER ROOF	2,802 SF

LEGEND
 HB: HOSE BIB
 C: CENTER LINE

- GENERAL NOTES
- ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED.
 - ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
 - ALL SECOND FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
 - ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

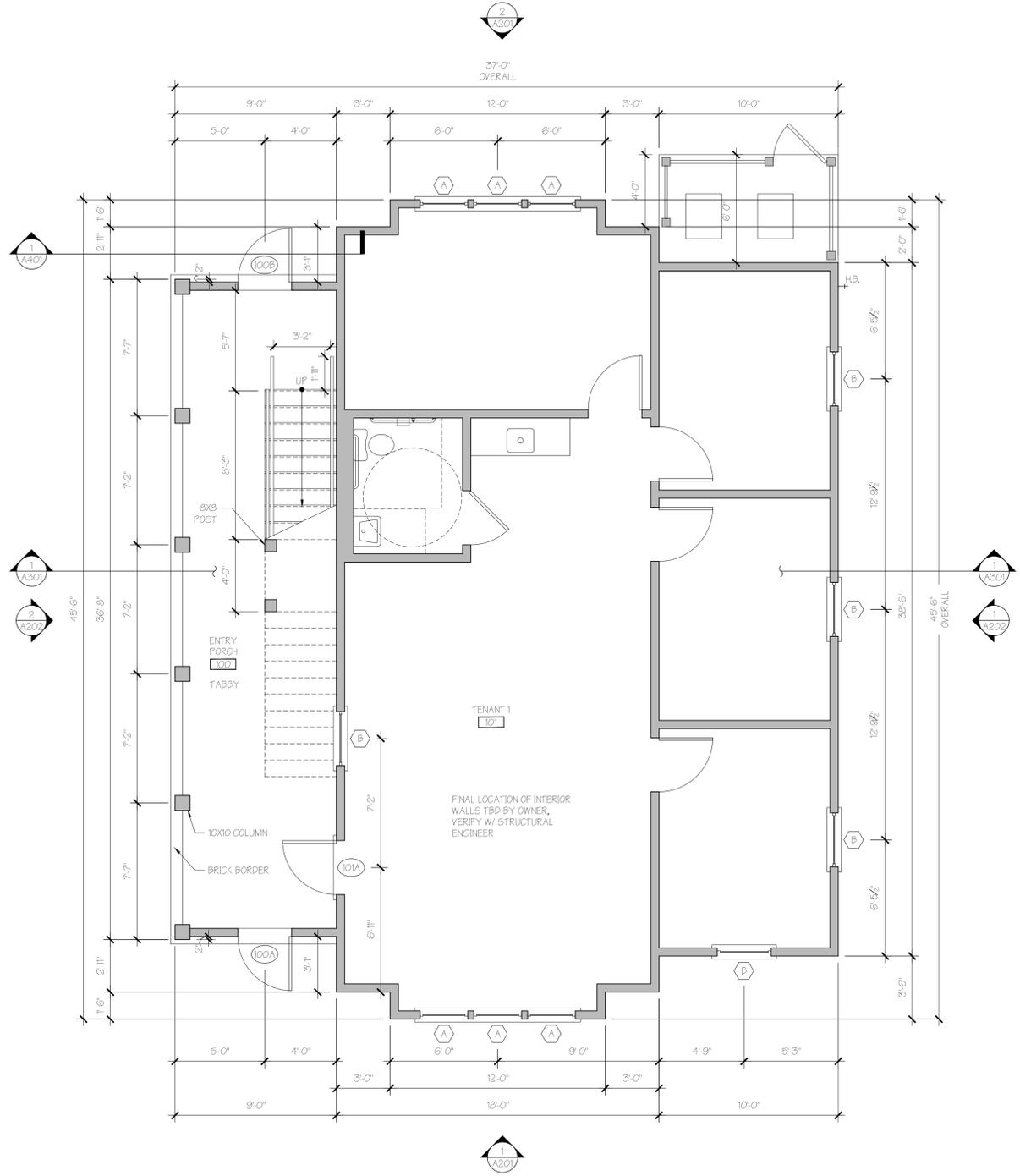
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

FIRST FLOOR PLAN

SHEET NO.
A101
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 FIRST FLOOR PLAN

DO NOT SCALE FROM DRAWINGS

AREA CALCULATIONS

MAIN BUILDING:	
FIRST FLOOR HEATED	1,066 SF
SECOND FLOOR HEATED	1,066 SF
TOTAL HEATED	2,372 SF
ENTRY PORCH:	
COVERED PORCH	344 SF
TOTAL UNHEATED	610 SF
GROSS UNDER ROOF	2,982 SF

LEGEND
 HB: HOSE BIB
 C: CENTER LINE

- GENERAL NOTES
- ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED.
 - ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
 - ALL SECOND FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
 - ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

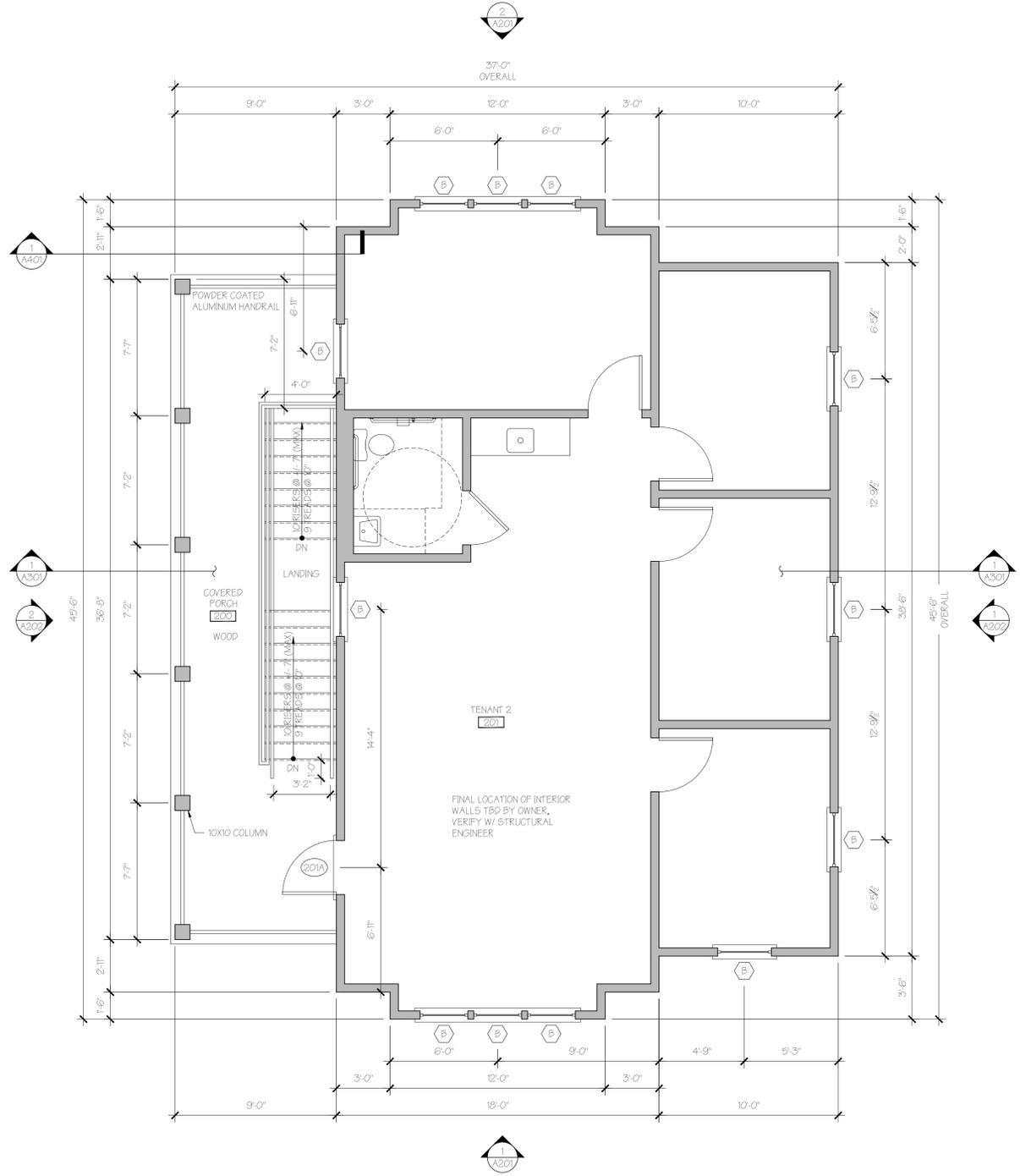
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

SECOND FLOOR PLAN

SHEET NO.
A102
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 SECOND FLOOR PLAN

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**

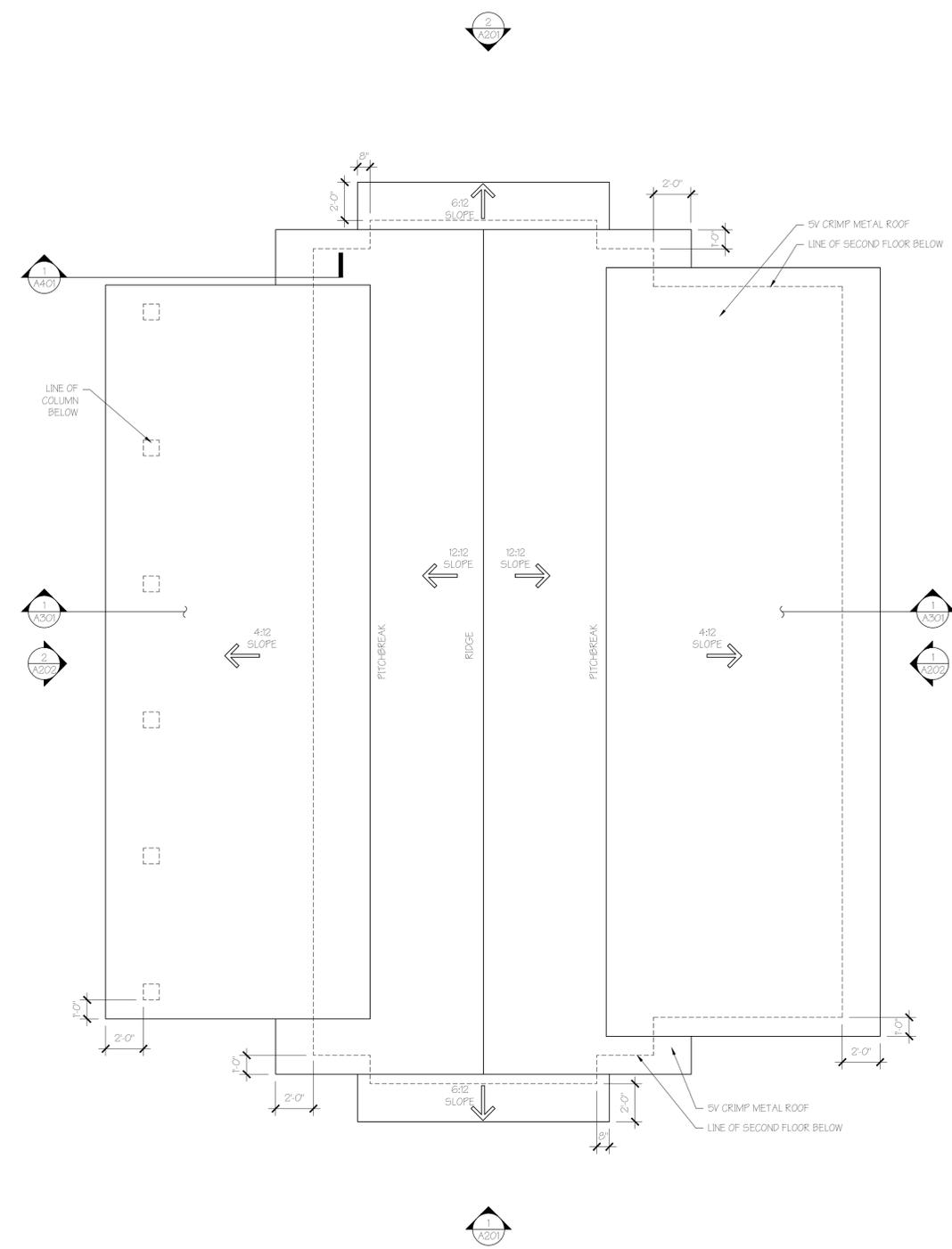
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

ROOF PLAN

SHEET NO.
A103
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 ROOF PLAN

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

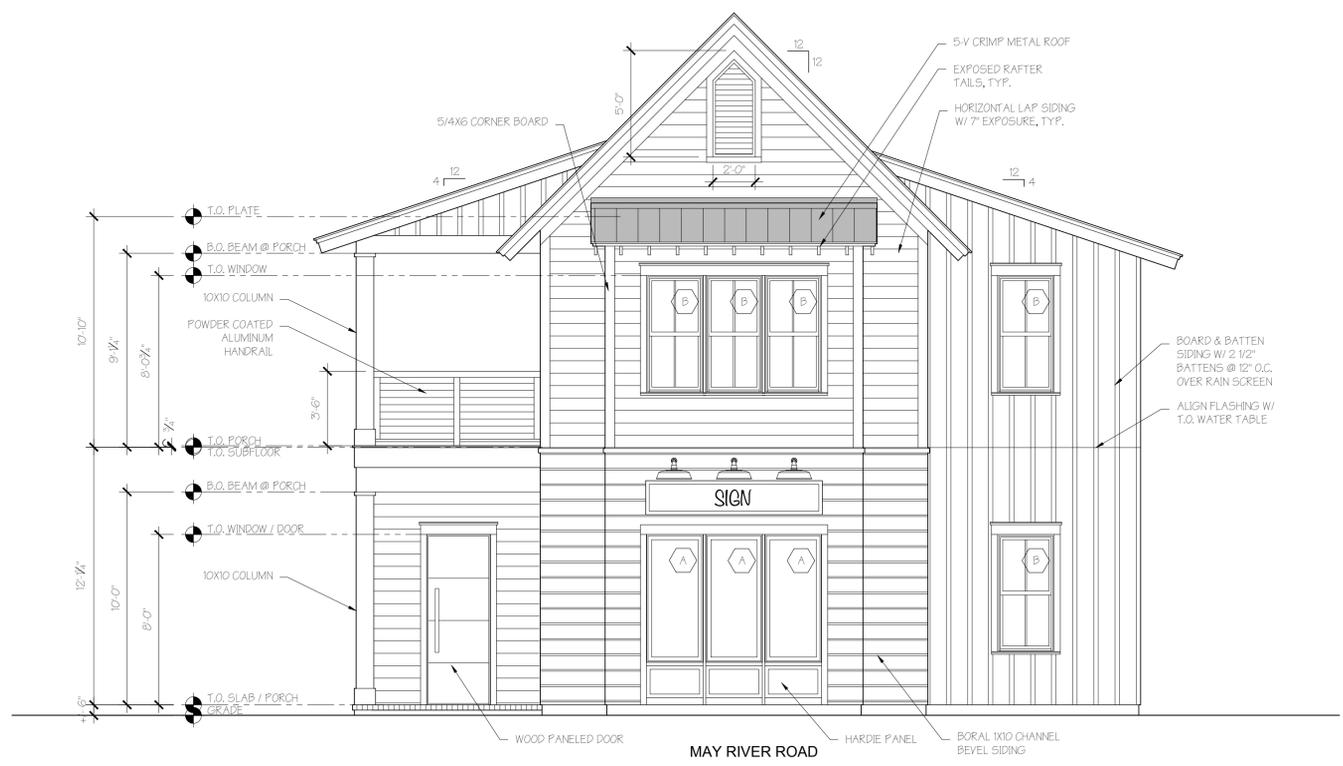
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

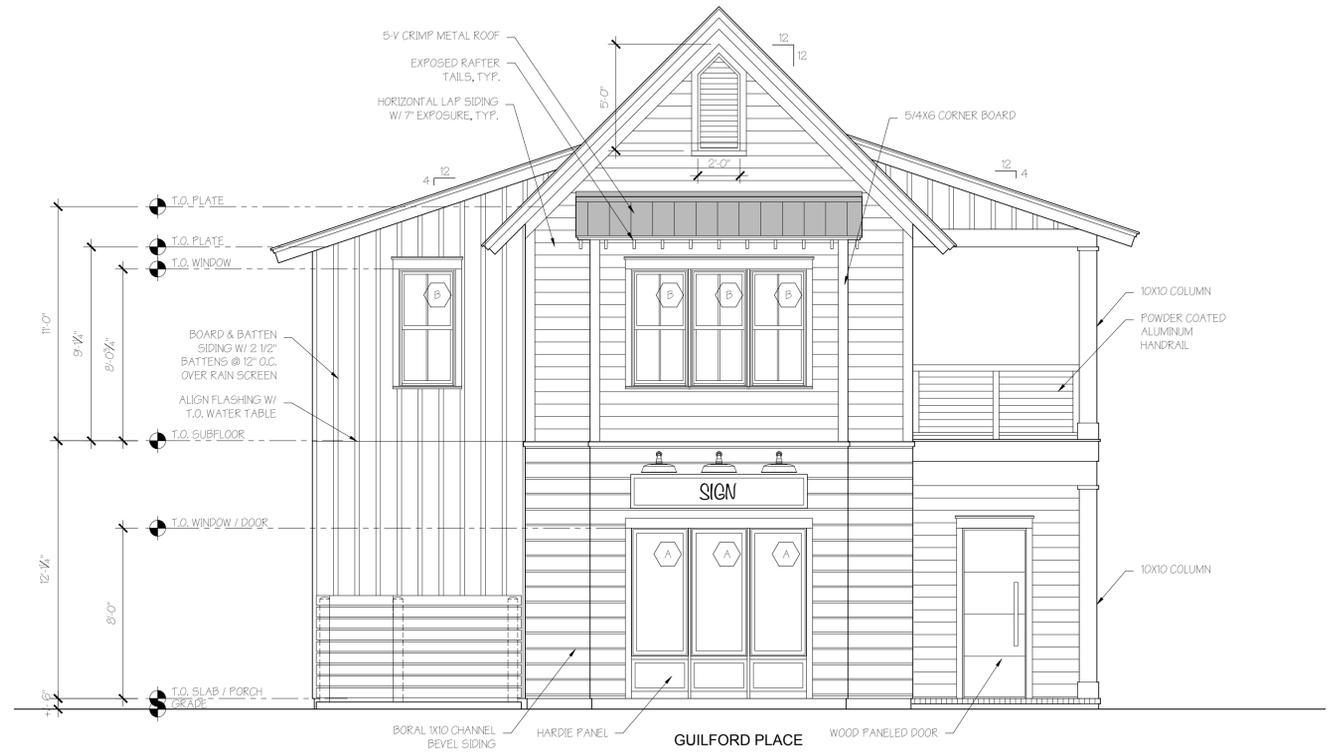
PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

EXTERIOR ELEVATIONS

SHEET NO.
A201
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 FRONT ELEVATION



2 1/4" = 1'-0"
 REAR ELEVATION

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL PRICING SET	08.05.20	AJD
		06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

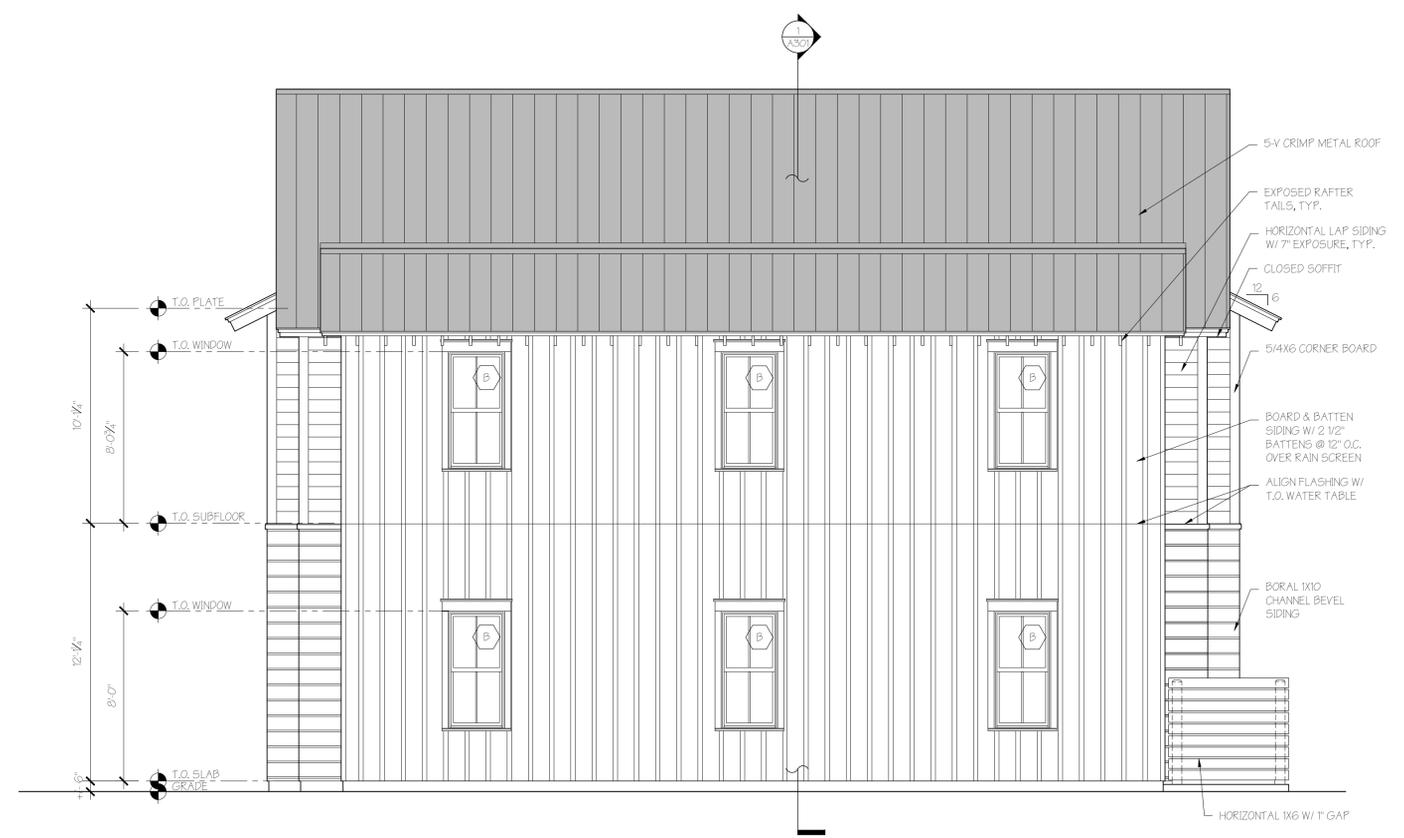
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

EXTERIOR ELEVATIONS

SHEET NO.
A202
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 RIGHT ELEVATION



2 1/4" = 1'-0"
 LEFT ELEVATION

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**

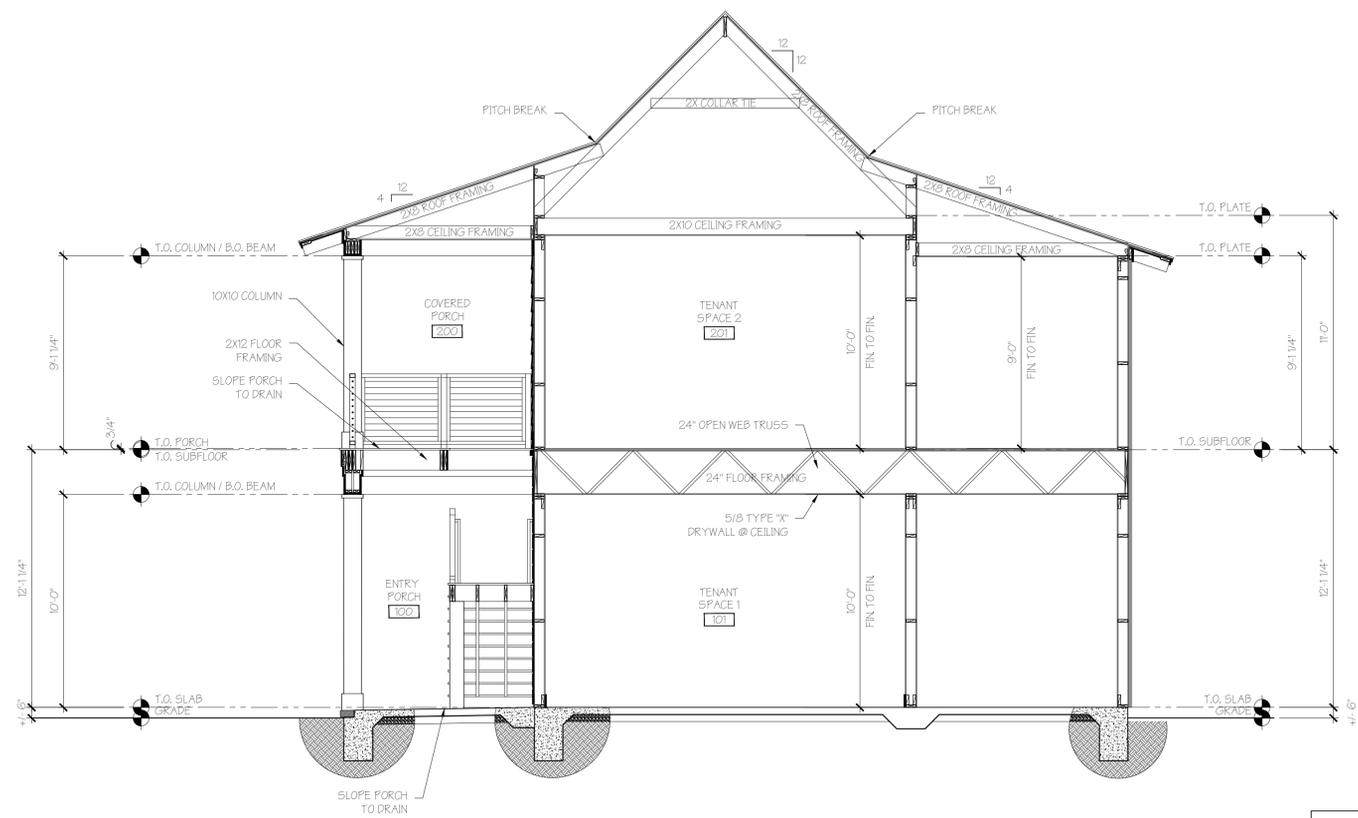
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

**BUILDING
 SECTIONS**

SHEET NO.
A301
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 BUILDING SECTION

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

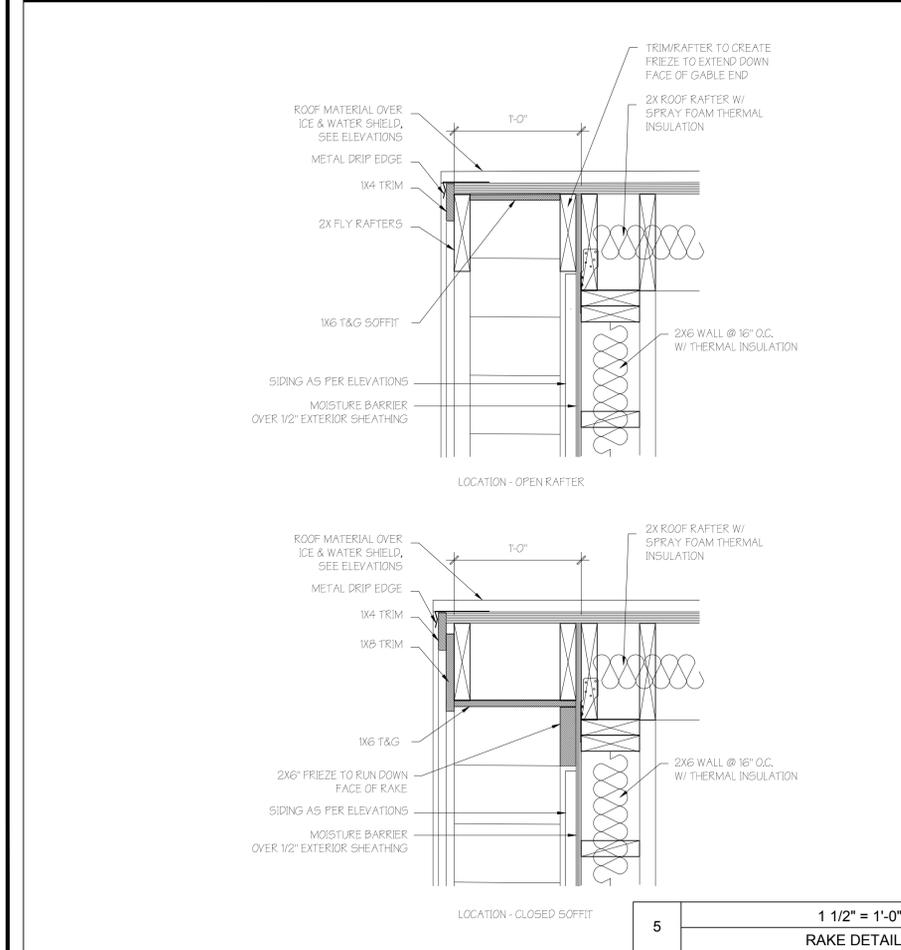
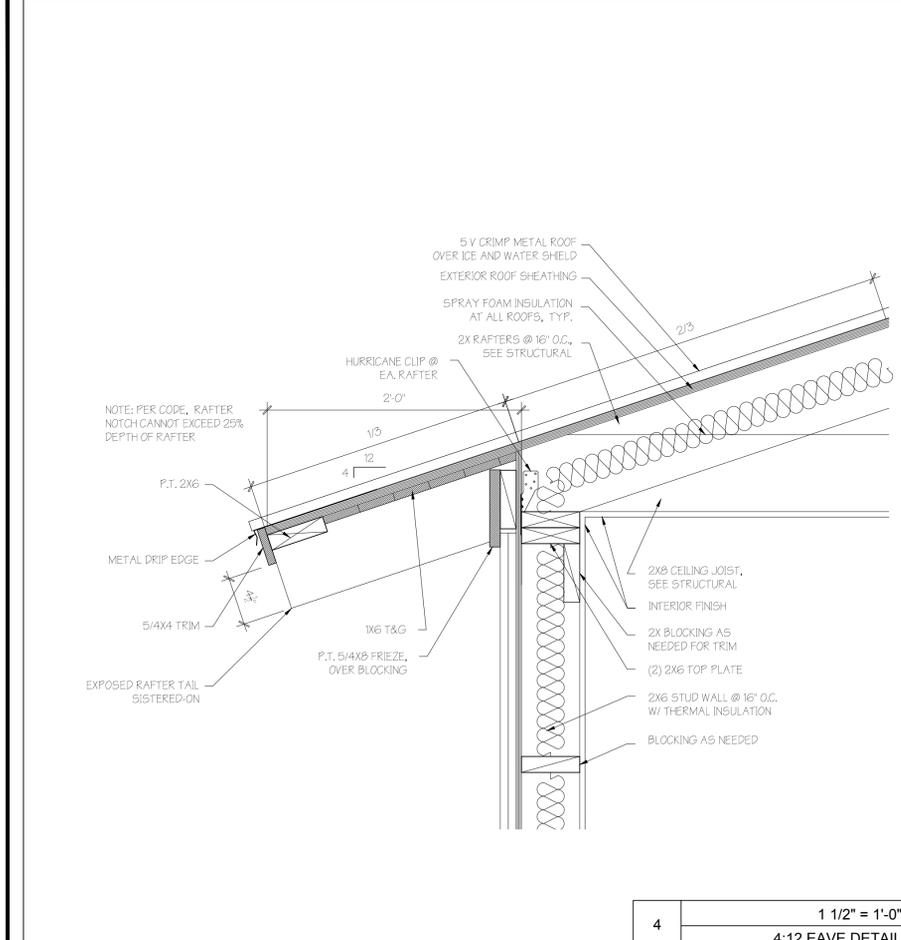
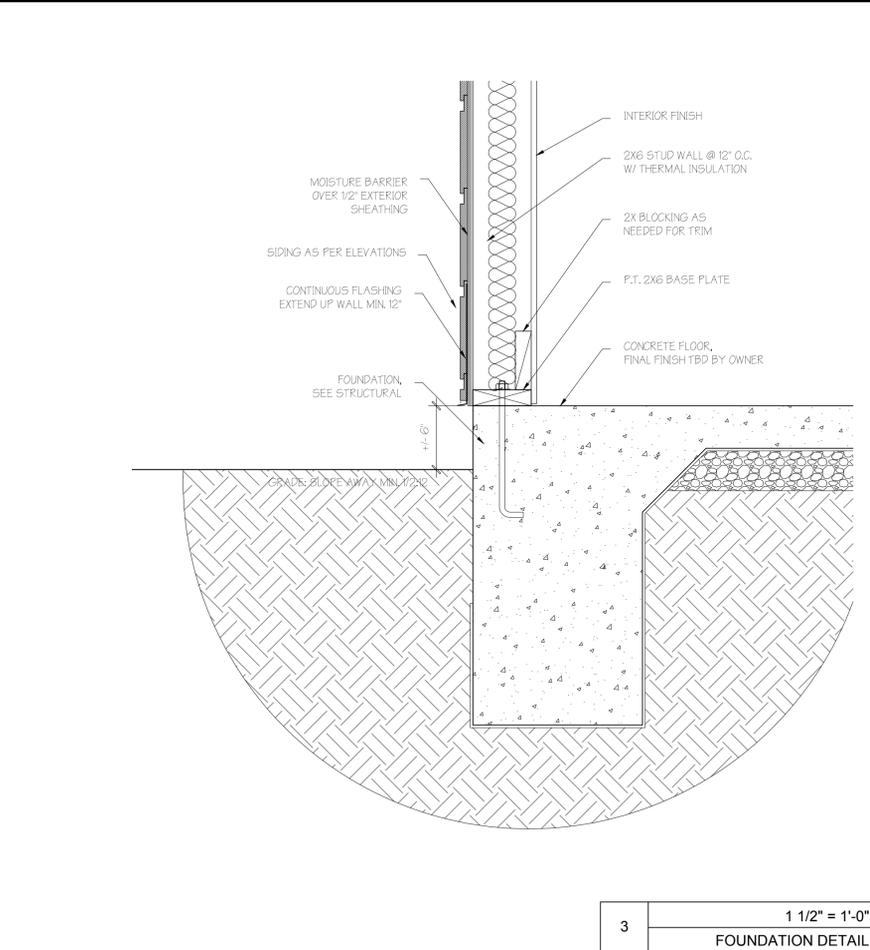
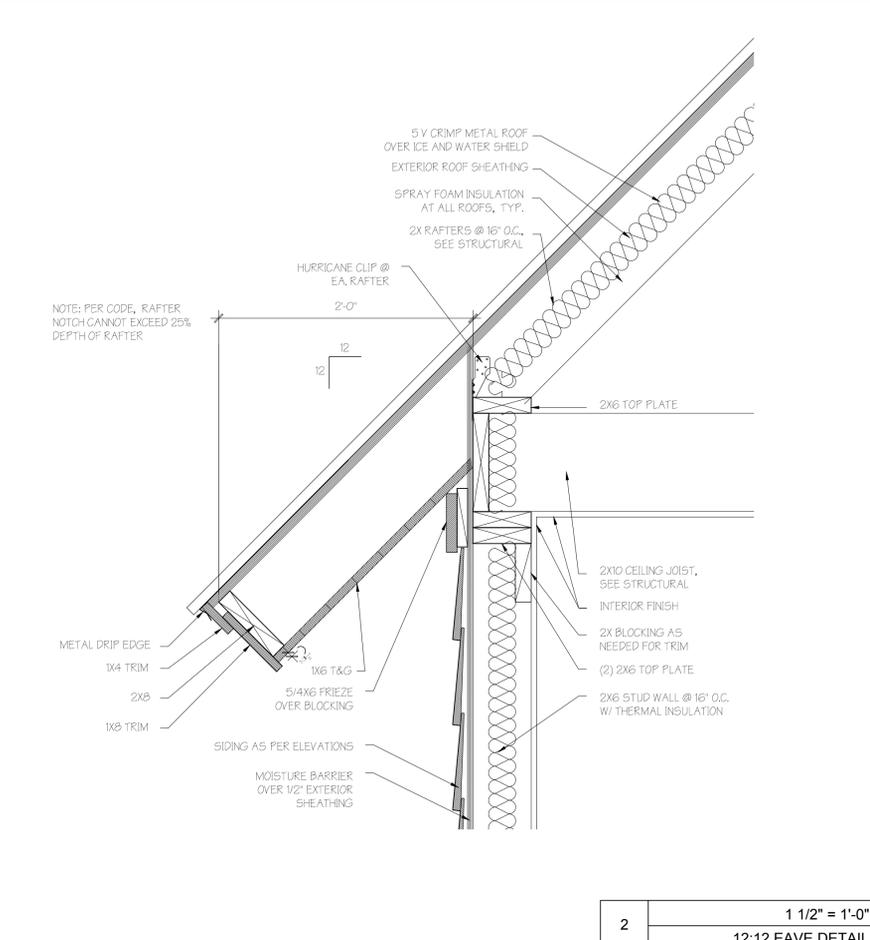
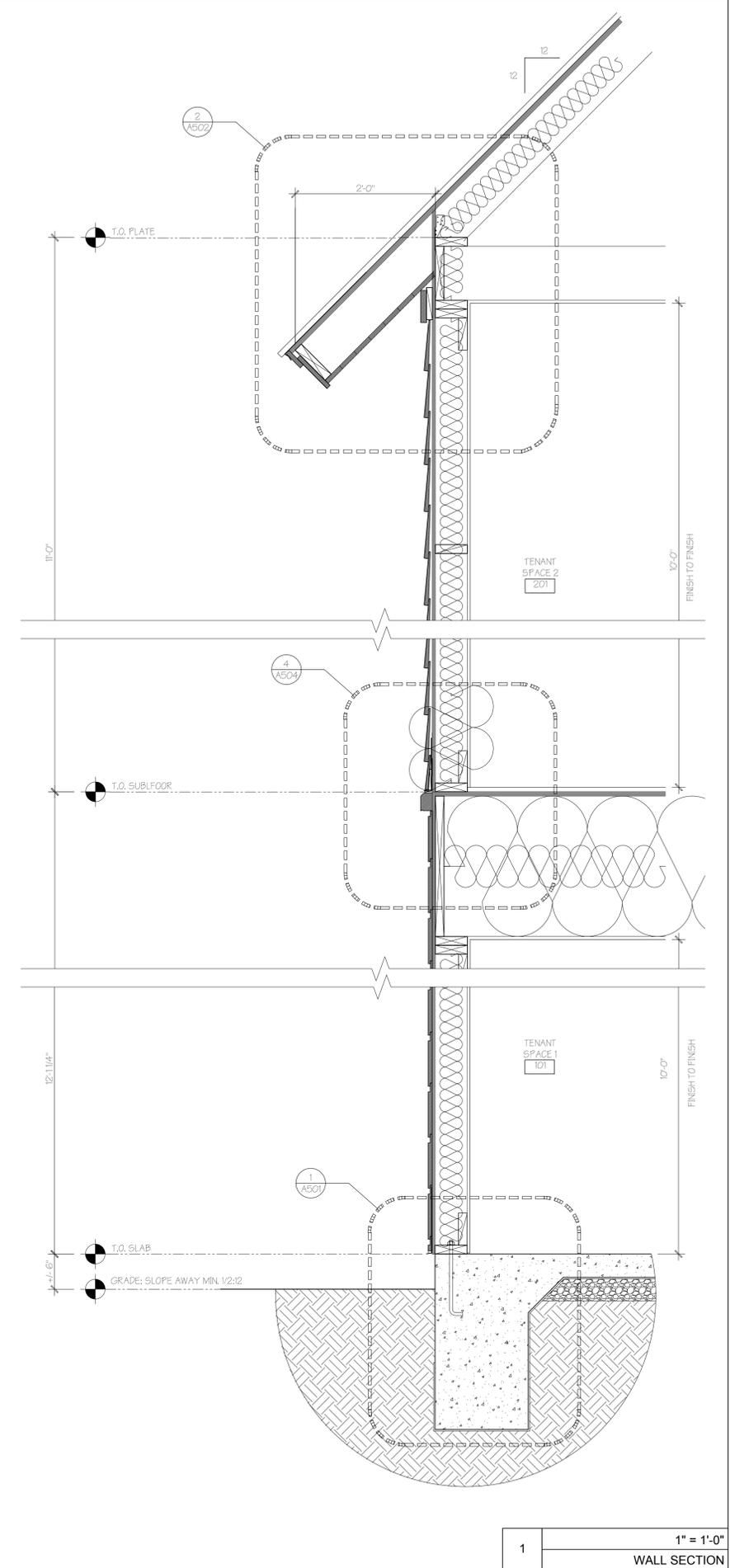
PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

WALL SECTION & DETAILS
 SHEET NO.
A401
 24X36 PAPER SIZE



NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

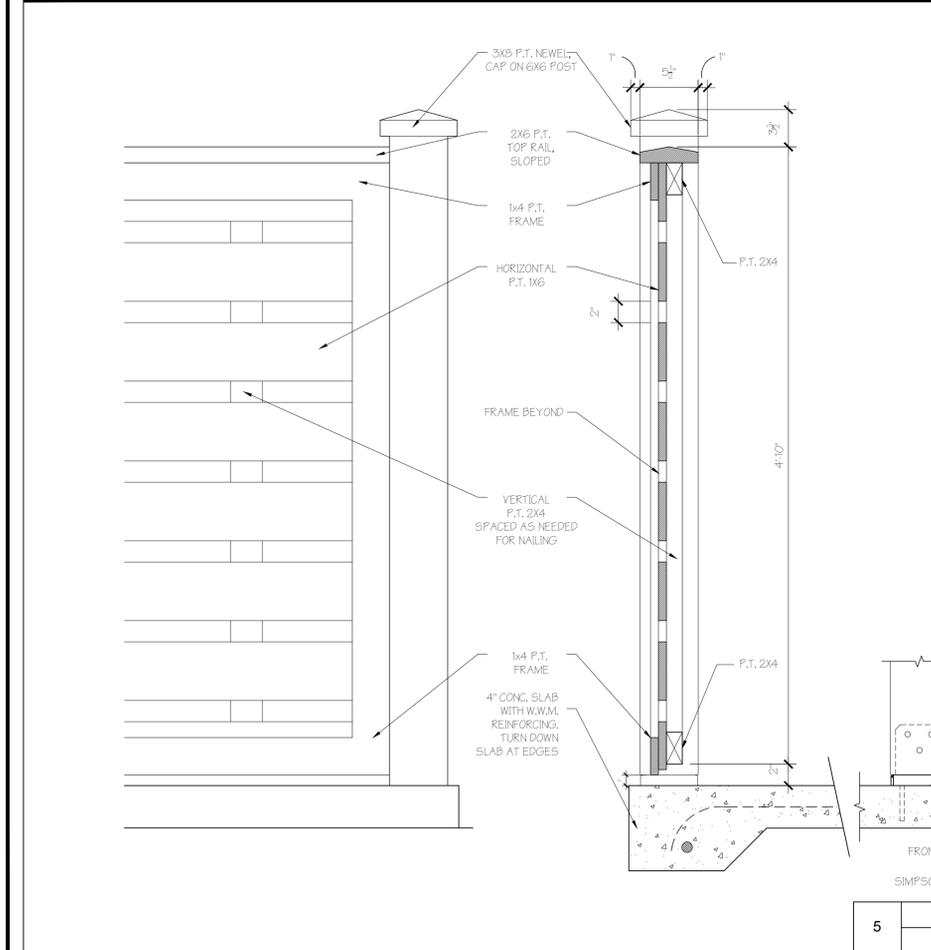
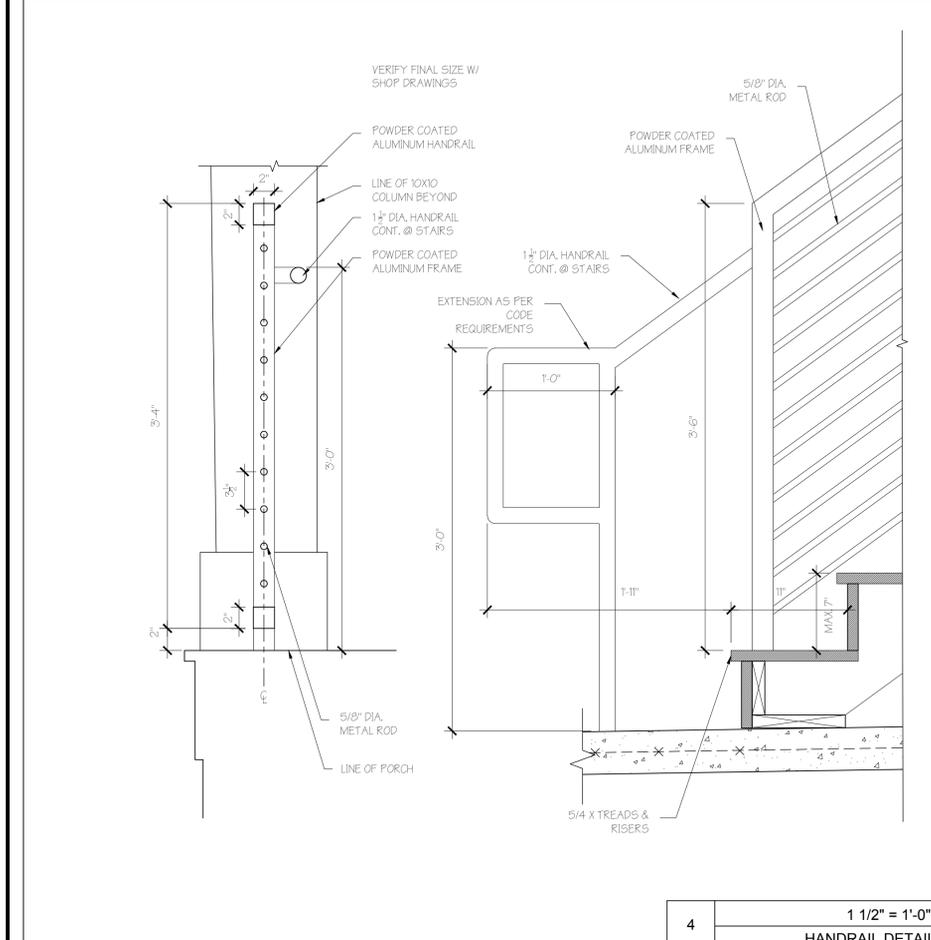
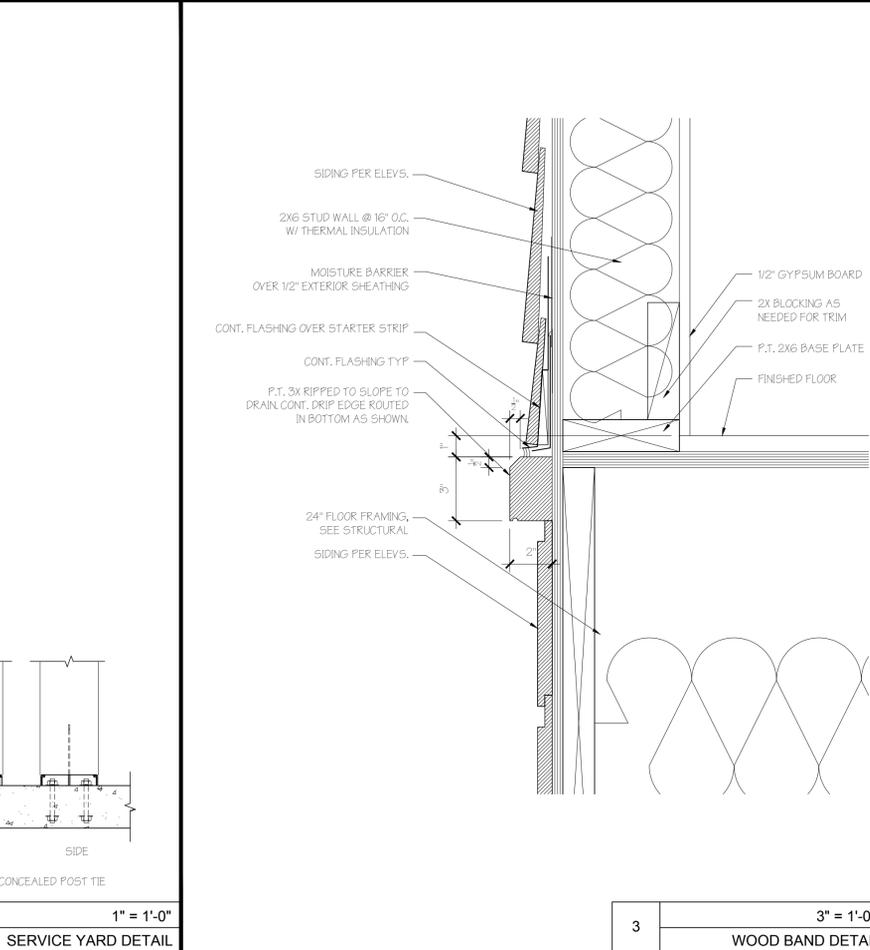
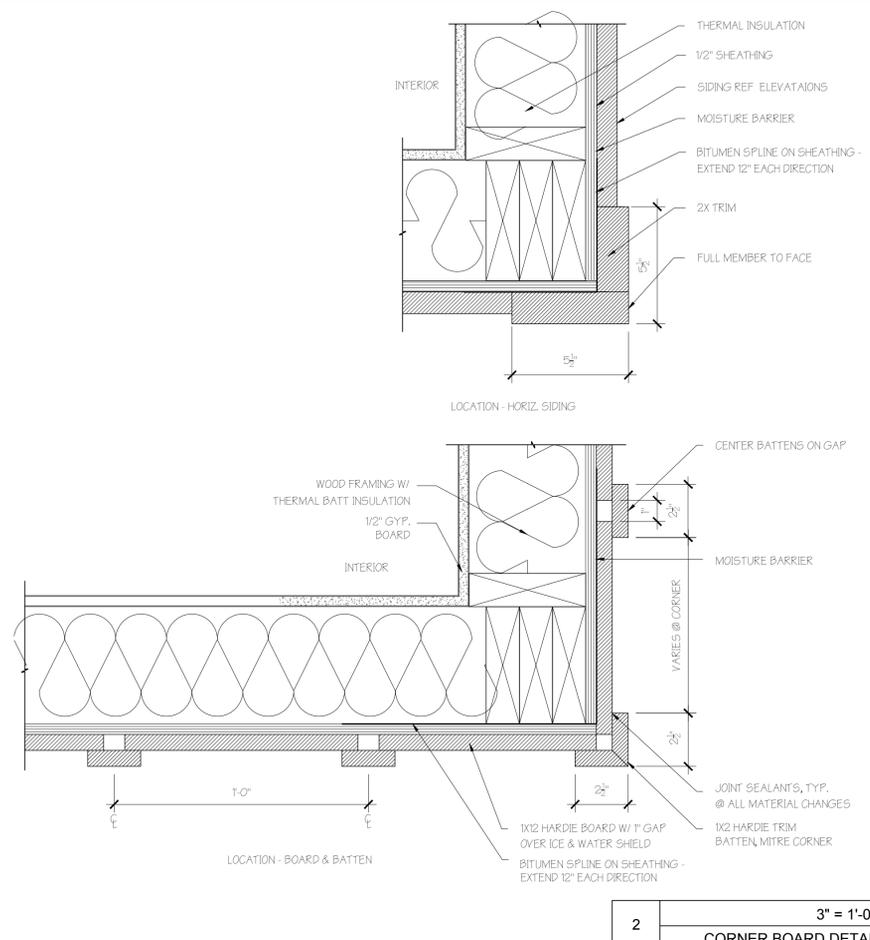
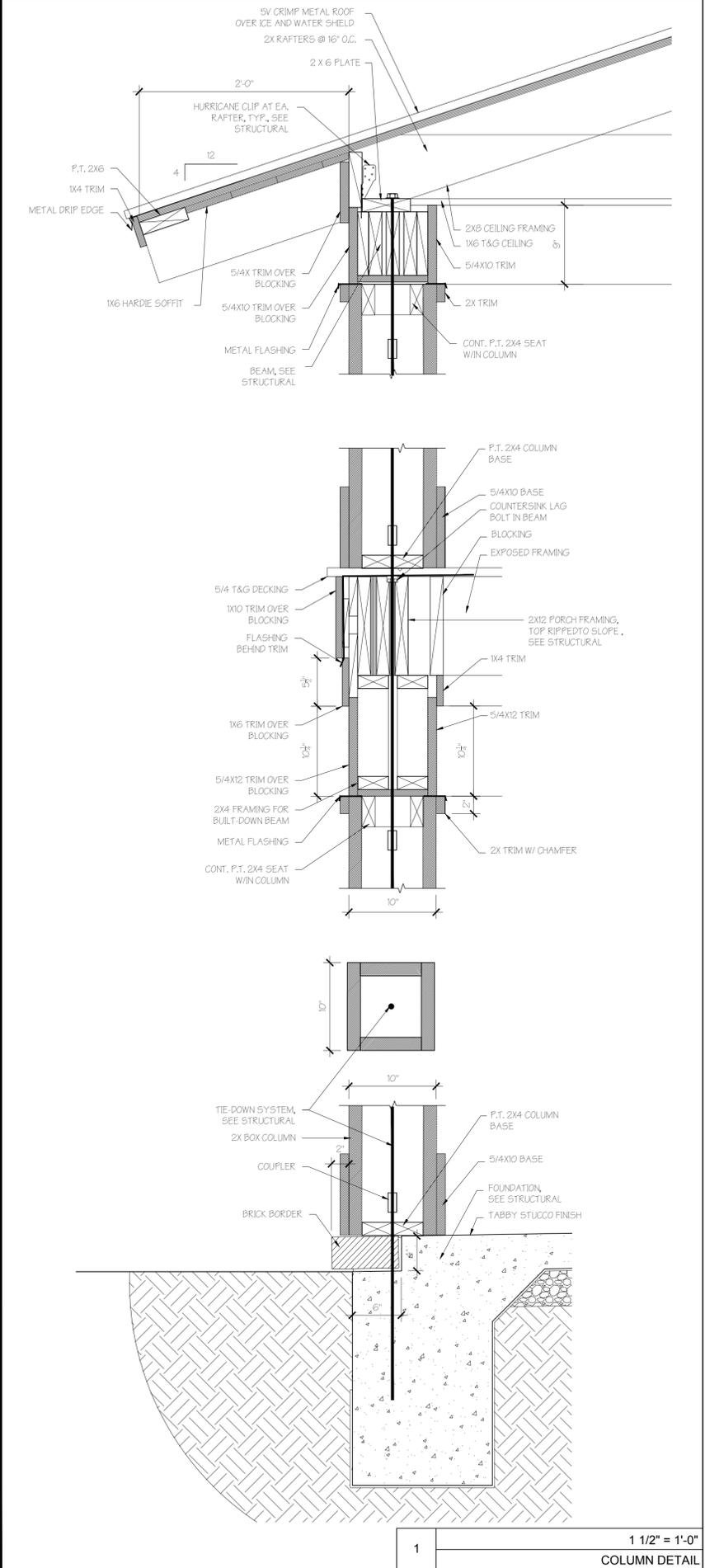
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

DETAILS

SHEET NO.
A501
 24X36 PAPER SIZE



DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	FINAL HFC SUBMITTAL	08.05.20	AJD
	PRICING SET	06.09.20	AJD

© 2020 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

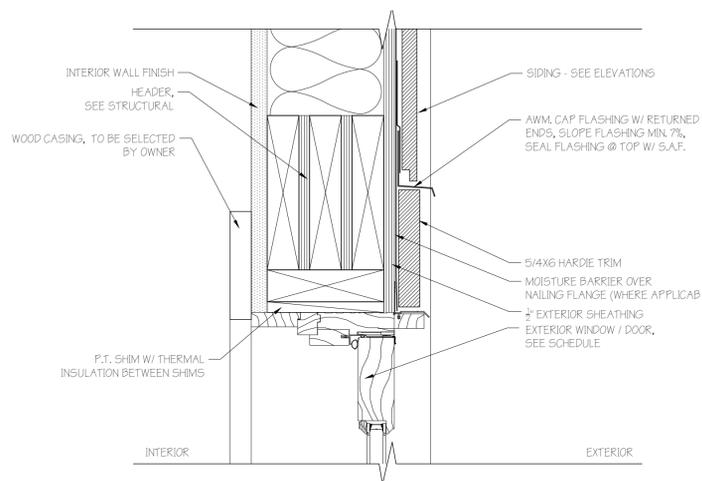
NOT FOR CONSTRUCTION

PROJECT NO.	2032
DATE	08.05.20
DRAWN BY	AJD
CHECKED BY	AWB

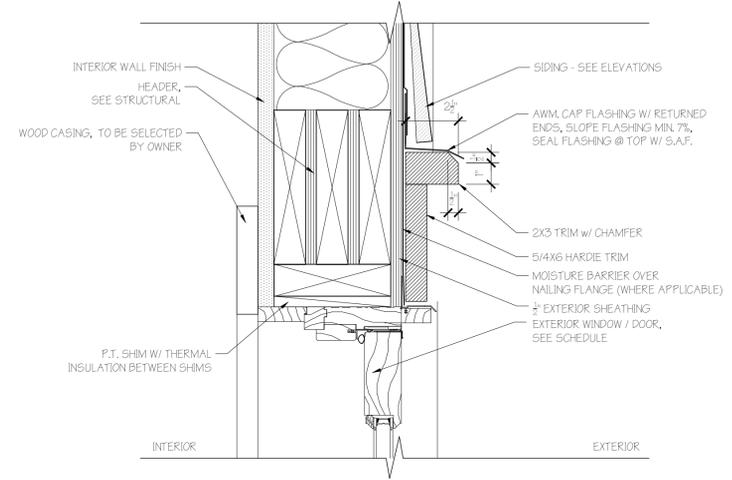
WINDOW & DOOR DETAILS

SHEET NO.
A502
 24X36 PAPER SIZE

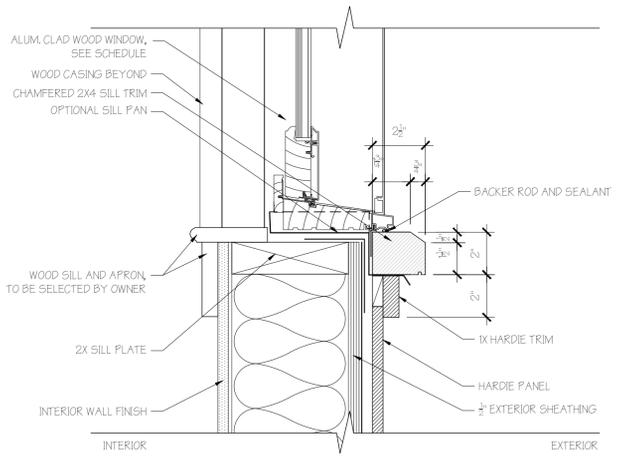
NOTE: WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY.
 SEE INSTALLATION DIAGRAM AND MANUFACTURER'S INSTALLATION
 INSTRUCTIONS FOR FLASHING AND WATERPROOFING.



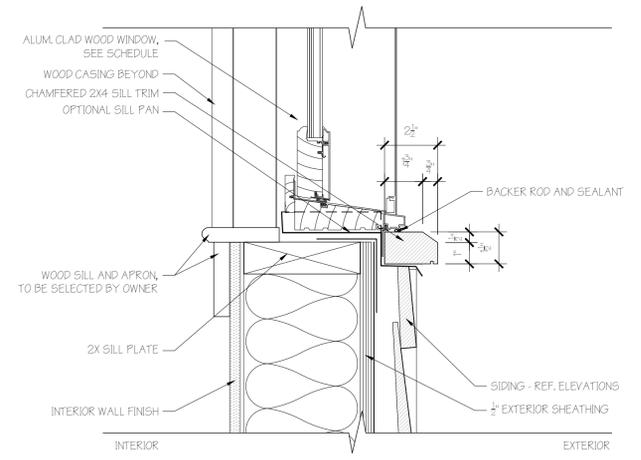
4 3" = 1'-0"
 "A" WINDOW HEAD



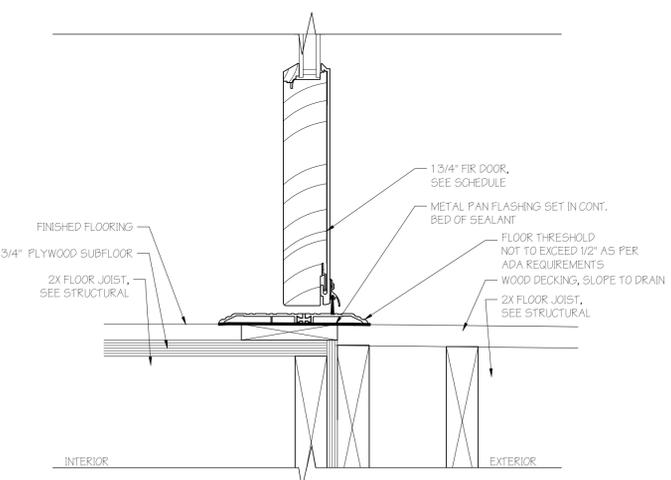
1 3" = 1'-0"
 WINDOW/DOOR HEAD, TYP.



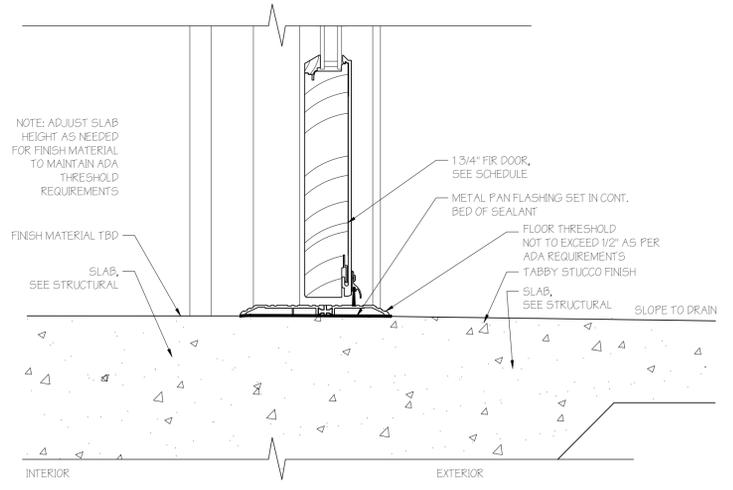
5 3" = 1'-0"
 "A" WINDOW SILL @ PANEL, TYP.



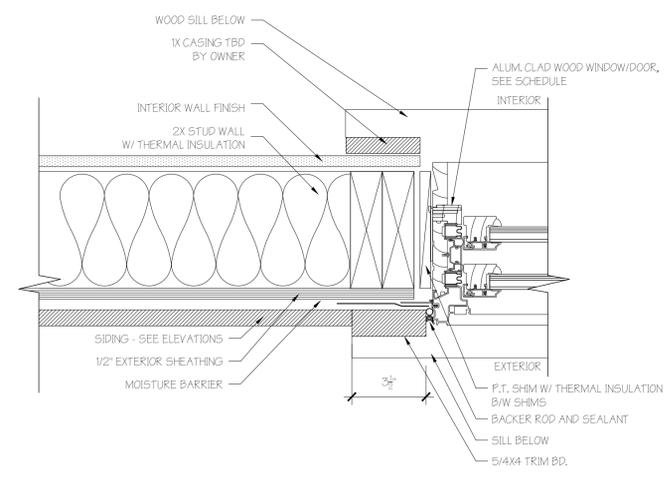
2 3" = 1'-0"
 WINDOW SILL, TYP.



9 3" = 1'-0"
 DOOR SILL @ WOOD, TYP.



6 3" = 1'-0"
 DOOR SILL @ SLAB, TYP.



3 3" = 1'-0"
 WINDOW/DOOR JAMB, TYP.

NEW COMMERCIAL BUILDING FOR:
 JOE ZAGARI
 LOT 4, 5752 GUILFORD PLACE
 STOCK FARM
 BLUFFTON, SC 29910



PLANT SCHEDULE

Qty	Botanical Name	Common Name	Size	Height
14	<i>Azalea indica</i> 'Formosa'	Azalea Formosa 'White'	#7	24-30'
1	<i>Lagerstroemia indica</i> x <i>fauriei</i> 'Muskogee'	Crape Myrtle 'Muskogee'	#30	10-12'
15	<i>Sabal minor</i>	Dwarf Palmetto	#7	24"
3	<i>Sabal palmetto</i>	Sabal Palm	10-16'	10-16'
5	<i>Cyrtanthium falcatum</i> 'Reichfordianum'	Holly Fern	#1	12"
13	<i>Loropetalum chinense</i> 'Rubrum Ruby'	Loropetalum Ruby	#7	24-30'
1	<i>Magnolia grandiflora</i> 'DD Blanchard'	Southern Magnolia	#30	10-12'
11	<i>Nerium</i>	'Oleander Pink'	#7	36"
14	<i>Podocarpus macrophyllus</i>	Podocarpus	#7	36"
9	<i>Dianella tasmanica</i> variegated	Variegated Flax Lily	#3	12-18"

Existing Plant Schedule

Symbol	Name	Symbol	Name
Holly	Holly Tree	MAG	Magnolia
LAO	Laurel Oak Tree	P	Pine Tree
LO	Live Oak	G	Sweetgum

- ⊠ - XFMR - TRANSFORMER
- WL - WATER LATERAL
- WM - WATER METER
- ICV - IRRIGATION CONTROL VALVE
- ⊙ - FIRE HYDRANT
- ⊠ - GRATE INLET

*** NOTES:**
 IF CUM TREES ALONG SOUTH PROPERTY LINE ARE REMOVED FOR ANY REASON, A LIVE OAK WILL BE REQUIRED TO BE PLANTED IN ITS PLACE.





Quotation

ATTACHMENT 4

1780 E. 66th Ave. | Denver, CO 80229
Phone: (888) 286-3931 | Fax: (888) 288-6521

SQATQ001631-1

Job Name: KENDRICK	Quote Date: 07/14/2020
Manufacturer's Estimated Lead Time: 5-6 Weeks	Prepared By: Caitlin Kenah

Dealer

Grayco Building Center - Bluffton
119 E Industrial Park Dr
Ridgeland, SC 29936

Customer

Line	Label	Qty	UOM	Description	Unit	Extended
1		1	EA	35 13/16 inch X 96 inch, 1 3/4, TMIR4000, Swing, Single, TruStile Reserve Interior Douglas Fir (Vertical Grain) Door, 1/4" Kerf Cut, Prehung, Bevel Lock Side, RHR		

*****Door Machining Details*****
 Machine Prep = TruStile Standard Configuration
 Machine Prep = Hinges

 Hinges = TruStile Installed
 Hinges = Standard Spring Hinges
 Hinges = Brand: TruStile
 Hinges = Qty: 4 - Size: 4" x 4" - Corners: Square
 Hinges = Locations: Hinge 1: 7", Hinge 2: 32", Hinge 3: 57", Hinge 4: 82"
 Hinges = Thickness: 0.127" - Backset: 1/4"
 Hinges = Material: Plated Steel
 Hinges = Finish: US10B-Oil Rubbed Bronze

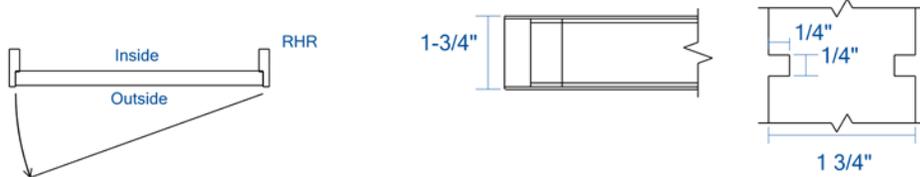
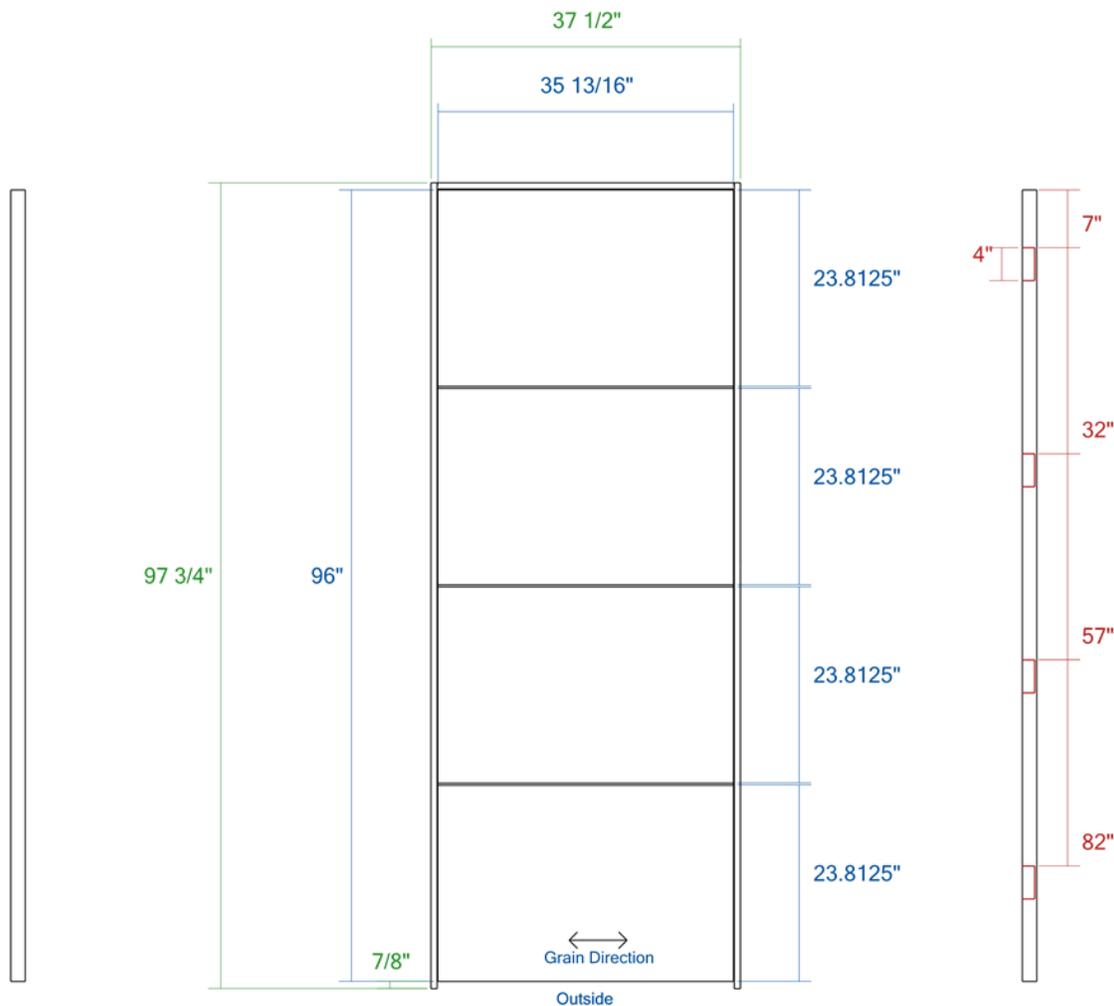
*****Pre-Hanging Details*****
 Jamb Fire Rating = Non-Rated
 Jamb Opening Type = Exterior
 Jamb Profile = Single Rabbet
 Jamb Thickness = 3/4
 Jamb Edge = Radius
 Kerf for Weatherstripping = Yes
 Weatherstripping = Bronze
 Jamb Width = 6 9/16
 Jamb Material = Douglas Fir (Vertical Grain)
 Sill & Sweep = ADA Sill (Bronze Finish) with Sweep
 Jamb Leg Extension = 7/8"
 Jamb Prefinish = Unfinished

*****Jamb Machining Details*****
 Jamb Leg Prep = Hinge Prep: Standard Hinge

Line	Label	Qty	UOM	Description	Unit	Extended
2		1	EA	Manufacturer's Freight for 1 Door		

Tax (7.00%): [REDACTED]
Total: [REDACTED]

Total Units: 1



Jamb Width: 6 9/16"

Door Style	Sticking	Panel	Material	Glass	Fire Rating	Grade
TMIR4000	14Kerf	NA	Douglas Fir (Vertical Grain)	N/A	Non-Rated	

Quote #: SQATQ001631-1	Line #: 1
Grayco Building Center - Bluffton	Entered By: Caitlin Kenah
Approval (sign here):	Created On: 07/14/2020



ATTACHMENT 5

PLAN REVIEW COMMENTS FOR COFA-06-20-014294

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522

Plan Type: Historic District **Apply Date:** 06/08/2020
Plan Status: Active **Plan Address:** 5752 Guilford PI
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:**
Plan Description: A request by Pearce Scott Architects, on behalf of the owner, Joe Zagari, for review of a Certificate of Appropriateness to allow the construction of a new 2-story commercial structure of approximately 2,400 SF located at 5752 Guilford Place (Lot 4) in the Stock Farm Development and is zoned Neighborhood General – HD.

STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 29th meeting.

Staff Review (HD)

Submission #: 1 Received: 06/10/2020 Completed: 06/26/2020

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Watershed Management Review	06/26/2020	William Baugher	Revisions Required

Comments:

1. This project is a commercial project and will requires conditional Stormwater Permit approval prior to Final DRC. Provide a Stormwater Management Plan that meets all the requirements of the Unified Development Ordinance and Stormwater Design Manual (SWDM). (SWDM 1.1.1)
2. At the time of Stormwater Plan Review application, provide a site design and calculations showing compliance with the Water Quality Requirement of Section 5.10.3.C of the Unified Development Ordinance (UDO).
3. At the time of Stormwater Plan Review application, provide a site design containing at a minimum one vegetative BMP and one filter or infiltration-based BMP in series. Projects shall be designed to include a minimum of three BMPs in the overall site plan to meet the requirements set forth in Section 5.10 of the Unified Development Ordinance. (SWDM 7.0)
4. At the time of Stormwater Plan Review application, provide documentation that sets forth ownership and maintenance for infrastructure improvements, amenities, and open space. Notification for Stormwater Best Management Practices Annual Maintenance Inspection and Report per Town of Bluffton Unified Development Ordinance Article 5.10.4
5. For permit application documents and to schedule a Stormwater Permit Application Check-in Meeting contact Bill Baugher at wbaugher@townofbluffton.com or 843-706-7805.

Addressing Review	06/24/2020	Nick Walton	Approved with Conditions
-------------------	------------	-------------	--------------------------

Comments:

1. Will there be multiple units in this structure, if so will need new addressing.

Beaufort Jasper Water and Sewer Review	06/26/2020	James Clardy	Approved with Conditions
--	------------	--------------	--------------------------

Comments:

1. Pending formal submittal of the water/sewer design for BJWSA review/comment/approval.
2. BJWSA will need evaluate water and sewer demands for the lot and potentially secure additional capacity fees . There is also a fire line for the lot, if unutilized the line will need to be abandoned per BJWSA specifications.

Growth Management Dept Review (HD)	06/26/2020	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

1. As the lot is located within the Stock Farm Development, the setbacks are determined by the Development Plan. The setbacks for Lot 4 are as follows:
 Front: 7', Rear: 14.5', Left: 10', Right: 5'.
 The front of the structure is currently at 5' from the property line and must be moved back to meet the setback requirement. (DPA-05-17-10936)
2. Building fronts for commercial and mixed use structures shall have at least one of the following: Arcade, Colonnade, Marquee, Porch, or awning. As proposed, the structure does not have one of these elements. An arcade, colonnade, marquee, porch or awning must be incorporated into the design to meet this standard. (UDO Section 5.15.6.C.2.)
3. As the project is located within the Stock Farm Development, a letter of approval from the Stock Farm ARB is required at time of final submittal.
4. or the final submittal, a tree removal, grading plan and a landscape plan noting foundation plantings, street trees must be submitted as not enough information was provided to review with conformance with the UDO. Note that a Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal. As there are several large canopy trees on this lot, site planning should be proposed to save as many trees as possible. (Applications Manual and UDO Section 3.22.2.A.)
5. Signs in the Historic Districts are reviewed through the Site Feature – HD Application process. A sign permit will be required for any proposed signage. (UDO Section 3.19)

HPRC Review 06/26/2020 Katie Peterson Approved with Conditions

Comments:

1. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions, and material/cut sheet for the exterior doors. (Applications Manual)
2. Provide additional information on the siding material being used at the side porch entryways. From the conceptual plans, it looks to be beveled lapped siding, which would be the third different materials used on the structure. Possibly consider extending the shiplapped siding onto this surface. (UDO Section 5.15.6.G. and Traditional Construction Patterns Chapter 7)

Transportation Department Review 06/26/2020 William Howard Approved
 - HD

Comments:

1. No comment.

Plan Review Case Notes:

STOCK FARM DEVELOPMENT
BOX 2570
BLUFFTON, SC 29910
25 August 2020

TO: Katie Peterson
Town of Bluffton

SUBJECT: Lot 4 Stock Farm—Zagari Property

The Stock Farm HARB has reviewed the plans for Lot 4 submitted in behalf of owner, Joe Zagari. It is determined that the plans met all the requirements posed by the Covenants and Restrictions. It is recommended that these plans be granted a Certificate of Appropriateness.

Emmett McCracken
Manager

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	September 2, 2020
PROJECT:	9 Guerrard Avenue – New Construction: Single-Family Residential
APPLICANT:	Randy Brown and Matt Green (Front Light Building)
PROJECT MANAGER:	Katie Peterson, Senior Planner

APPLICATION REQUEST: The Applicant, Front Light Building, on behalf of Randy Brown, requests that the Historic Preservation Commission approve the following application:

1. **COFA-07-20-014398.** A Certificate of Appropriateness to construct a new one and a half-story single-family home of approximately 2,730 SF and a one-story Carriage House of approximately 290 SF, located at 9 Guerrard Avenue in the Old Town Bluffton Historic District and zoned Neighborhood General – HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence of approximately 2,730 SF and a Carriage House of approximately 290 SF located in the Old Town Bluffton Historic District. While the primary structure is very similar to a Village House Building Type, it is a one and a half story structure, rather than two or two and a half stories, and thus meets the spatial and placement requirements of the Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district.

The one and a half story main house has a forward gable roof with a full-length front porch under a 5-V metal shed roof. The front half of the structure is 2 stories, while the rear half is one story. The proposed building reflects the vernacular characteristics of Bluffton by integrating a variety of typical architectural forms and features such as gable and hip roofs, a full-length front porch and a pier foundation. Additional materials that are in keeping with the vernacular of Bluffton are tabby stucco piers with hog board skirting between, horizontal lap siding and exposed rafter tails. The Carriage House features similar characteristics including similar materials, window fenestration patterns, and gabled roof with exposed rafter tails.

This project was presented to the Historic Preservation Review Committee for conceptual review at the August 3, 2020 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the condition noted in Item 2 of this Section are met.
 - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structures will add to the district and help provide completeness to the neighborhood and

overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the proposed construction will be in conformance with applicable provisions provided in Article 5.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new single-family residential structure and residential Carriage House in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

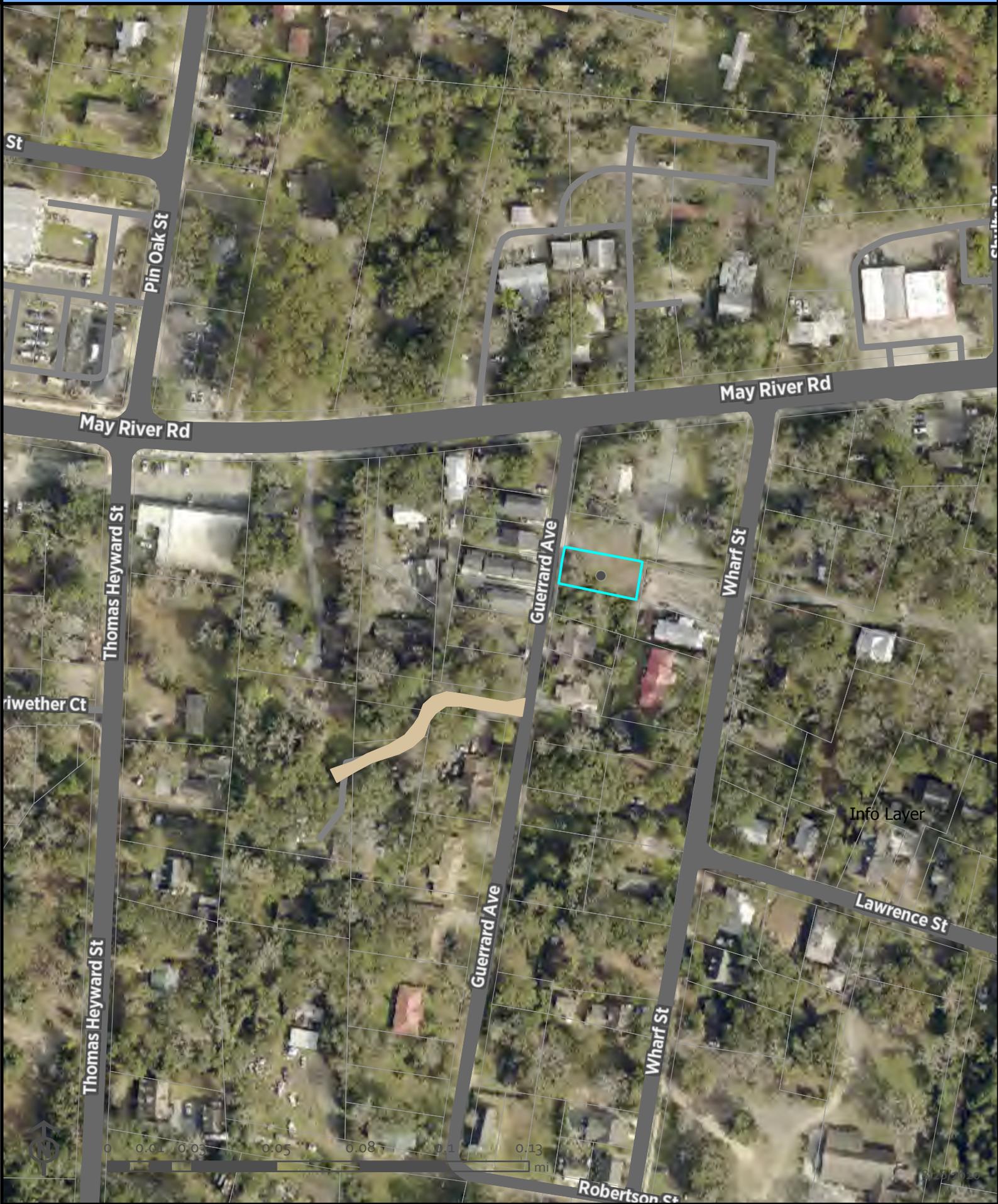
5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

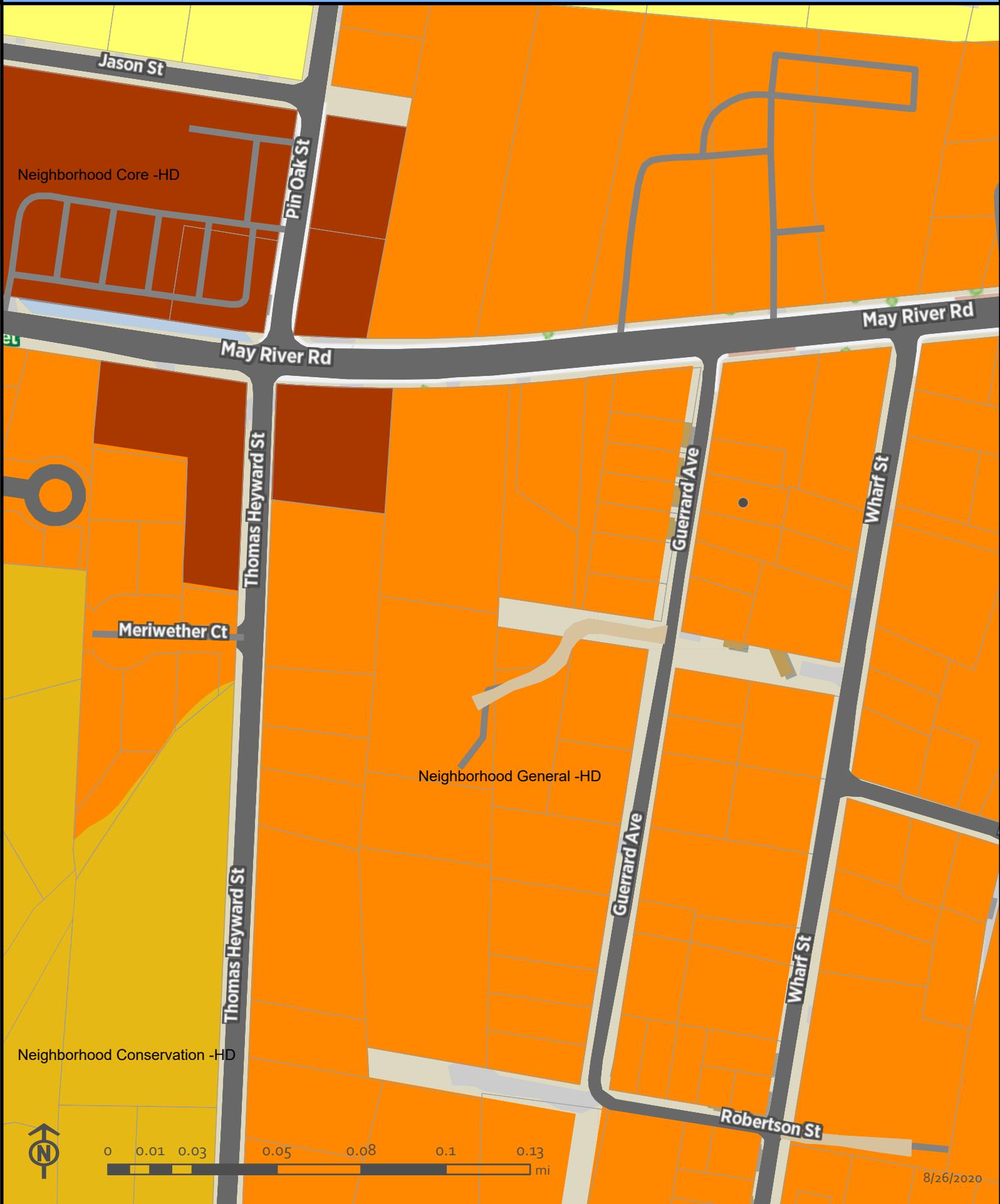
Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that the application meets the requirements of Section 3.18.3 of the Unified Development Ordinance and recommends that the Historic Preservation Commission approve the application as submitted.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Comments
6. Window Trim Examples





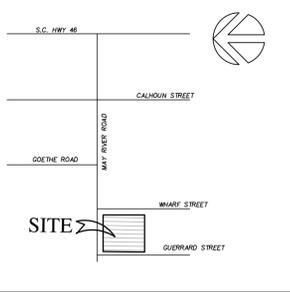
Project Narrative – 9 Guerrard Avenue

9 Guerrard Avenue is currently a vacant lot with a 5' easement at the rear of the property utilized as a pedestrian walk to a common area adjacent to the property. The lot will require clearing and grading to establish finished grade. The house will be a pier foundation structure with tabby applied to all exposed foundation areas. The intent of the project is to establish a 3 bedroom, 3.5 bath single family dwelling in Old Town Bluffton. This will be a systems-built house constructed using standard building materials. Wood construction, James Hardie horizontal siding with coordinating trim including board and batten accents. The character will be consistent with recently constructed neighboring properties across the street/behind and carry the character and uniformity of the Bluffton Old Town feel including an adequate front porch, exposed rafter tails, tabby foundation with wood fencing. The interior will use wood flooring, tile, quartz counters and cabinets to provide an open, relaxing feel with quality finishes.

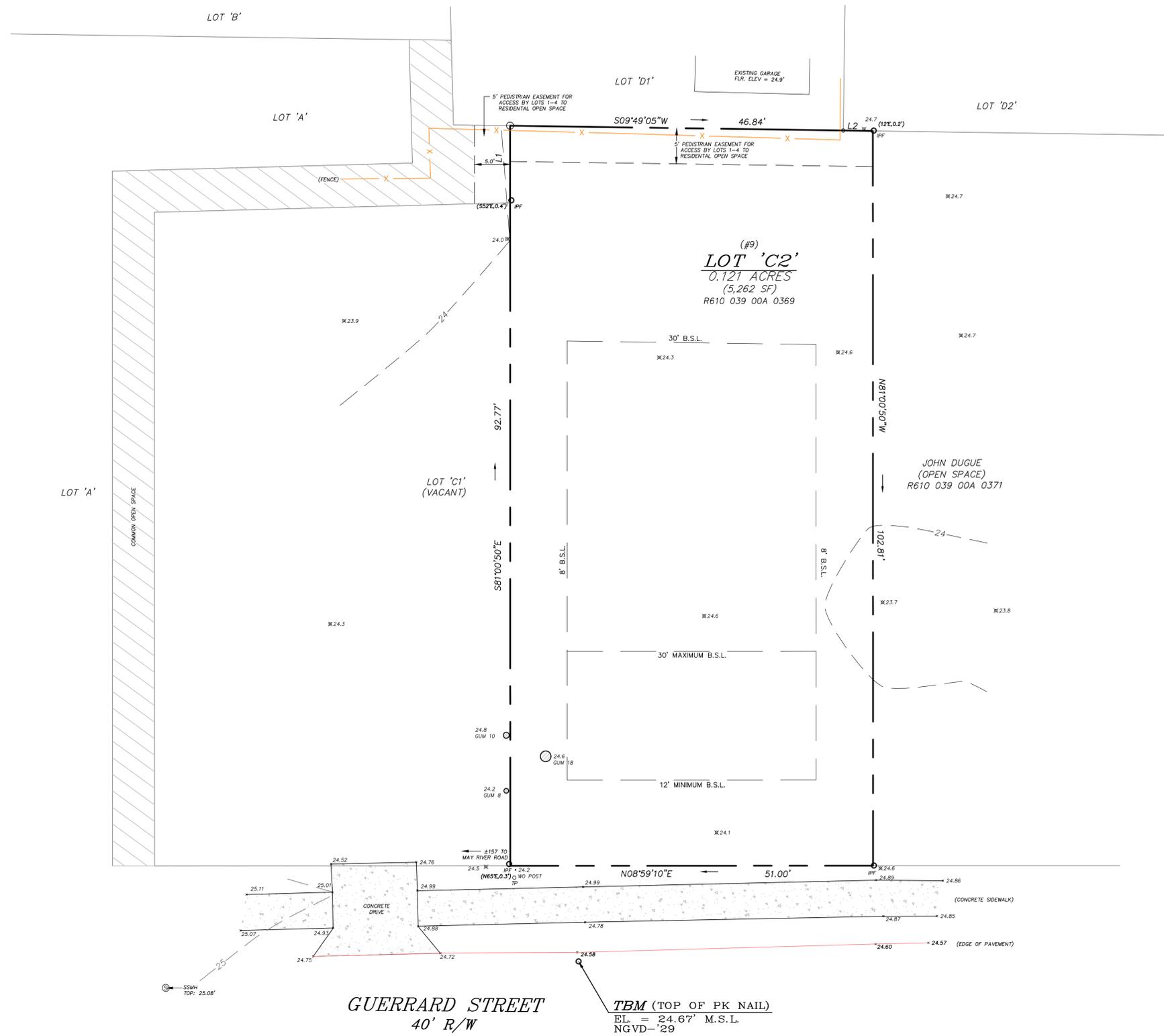
To minimize construction impact including duration of build, truck traffic, and material waste streams we will be using a systems-build approach. The advanced construction technique will allow us to construct a majority of the house in a short period of time with detailed finish work completed shortly thereafter.



Concept images for project



VICINITY MAP - N.T.S.



- NOTES:**
- THIS LOT LIES IN ZONE "C", NO B.F.E. PER F.I.R.M. PANEL 0001-A, COMMUNITY No. 450251, REVISED: 12/18/86.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - THE BUILDING SETBACK LINES WERE DETERMINED FROM THE TOWN OF BLUFFTON UNIFIED DEVELOPMENT ORDINANCE.

LEGEND

B.S.L.	BUILDING SETBACK LINE
GUM	SWEET GUM
IPF	IRON PIN (OLD) FOUND
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE PEDESTAL
WO POST	WOOD POST

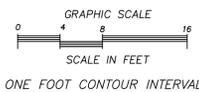
REFERENCE PLAT:
 A SUBDIVISION SURVEY OF 1.33 ACRES MAY RIVER ROAD By: COOK LAND SURVEYING DATED: 08/12/16; LAST REVISED: 09/27/16 FILE: 15050012SD RECORDED AT: P.B.145 PAGE 40

LABEL DESCRIPTIONS (TYP.)

18.4	TREE LOCATION
PN 18	GROUND ELEVATION
	TREE SPECIES & DIAMETER (IN.)

LINE TABLE

L#	LENGTH	DIRECTION
L1	10.78'	S81°00'50"E
L2	4.17'	S09°49'05"W



PREPARED FOR: MATT GREEN

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNICAN
 S.C.R.L.S. NO. 11905

A TREE AND TOPOGRAPHIC LAND SURVEY OF
LOT 'C2'

A PORTION OF
**1.33 ACRES ON
 MAY RIVER ROAD**
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 8'
 DATE: 05/12/20
 JOB No.: 66,908T

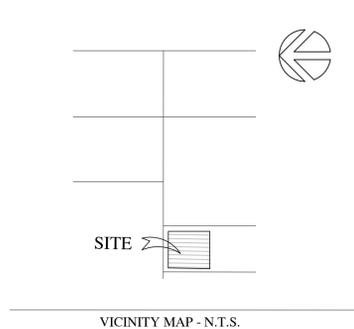
SURVEYED BY: RD
 DRAWN BY: MRD
 CHECKED BY: TWW



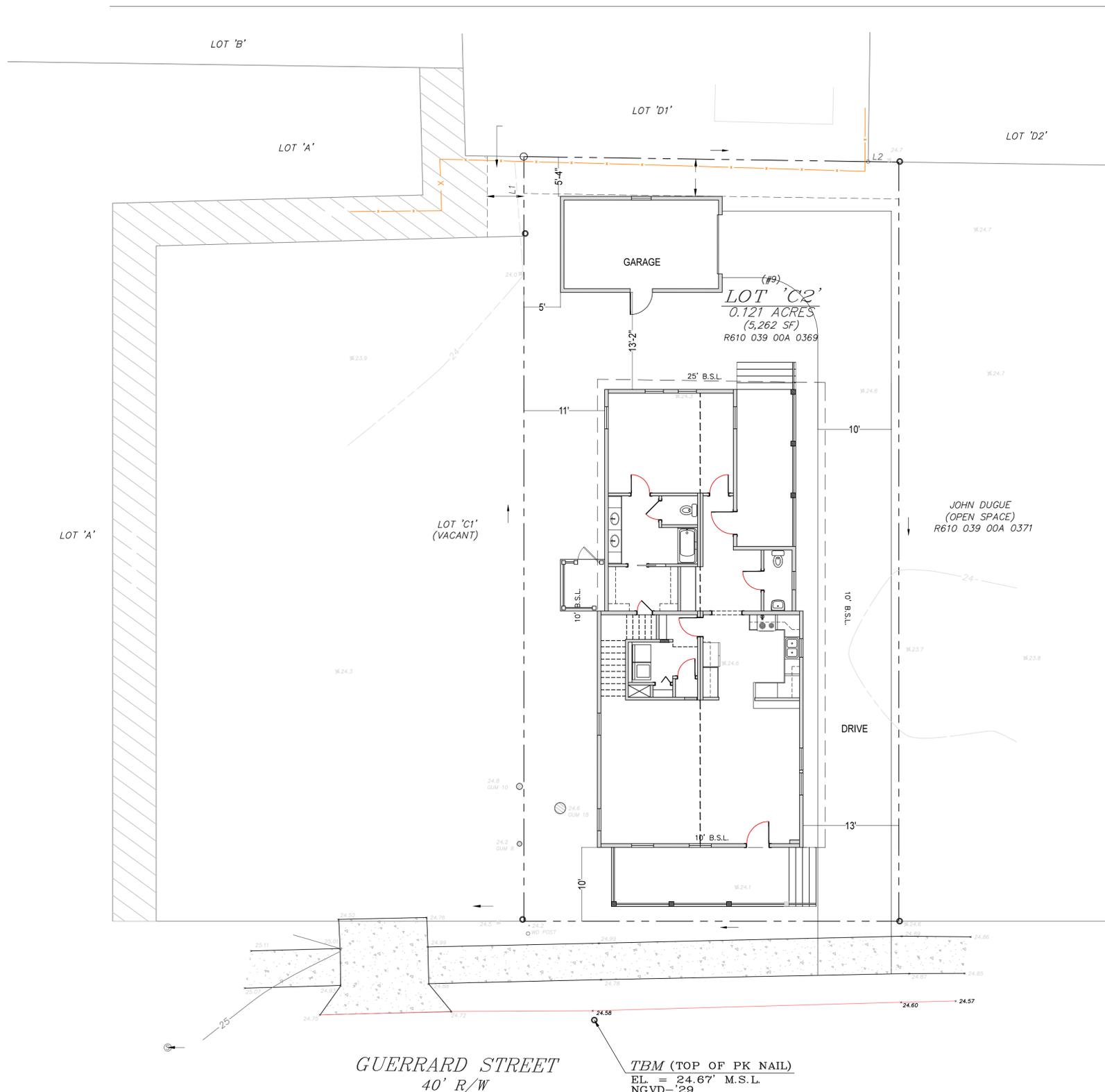


LOT C2
GUERRARD STREET

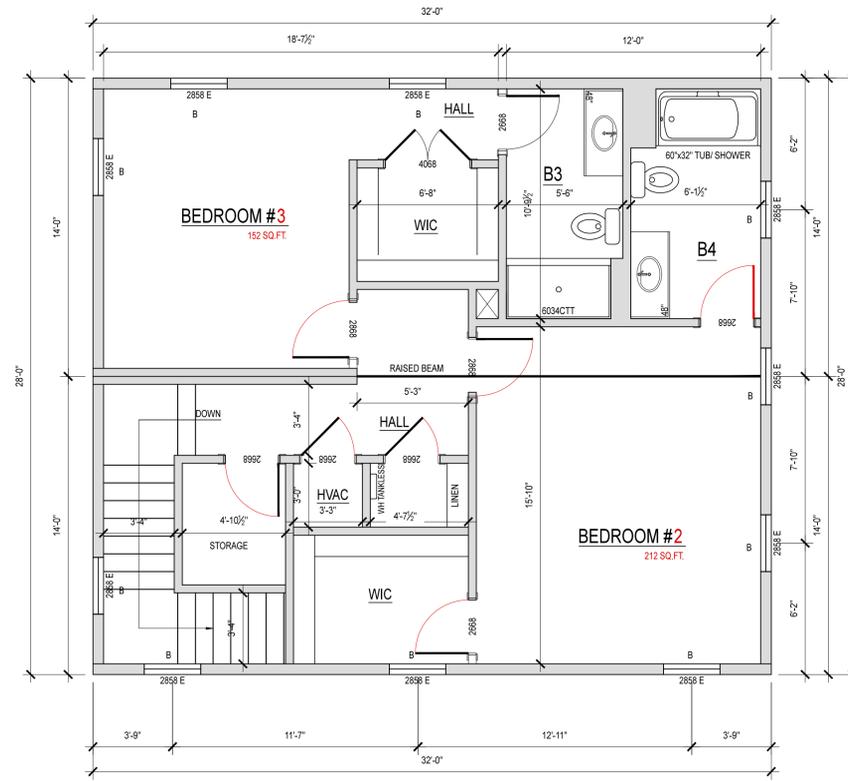
SITE PLAN
08/07/20



VICINITY MAP - N.T.S.



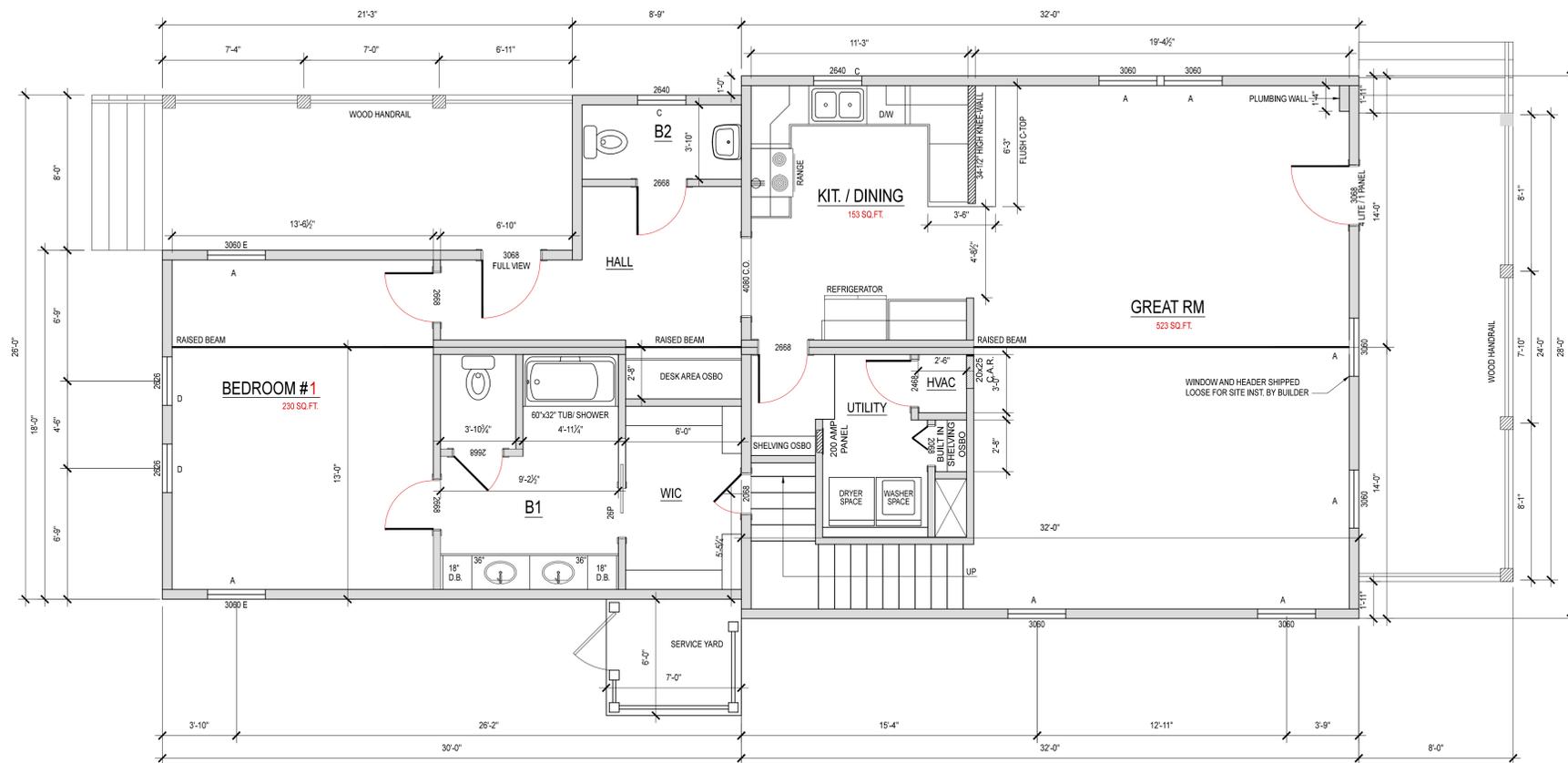
1	1/8" = 1'-0"
	SITE PLAN



SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

PROJECT AREA

HEATED	
FIRST FLOOR	1506 SF
SECOND FLOOR	862 SF
TOTAL	2368 SF
UNHEATED	
FRONT PORCH	193 SF
REAR PORCH	170 SF
TOTAL	363 SF
PROJECT TOTAL	2731 SF



FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

REVISIONS:

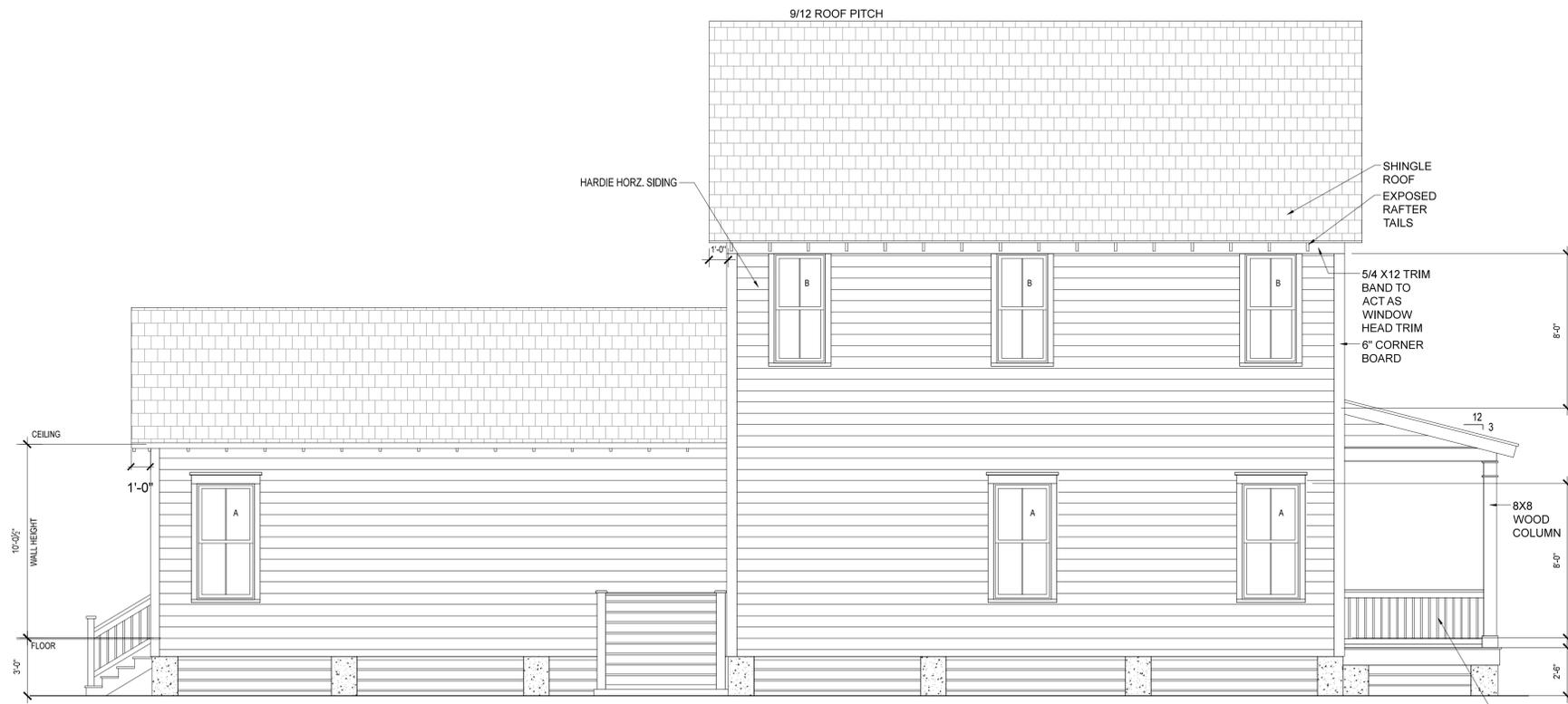
TITLE:

A1

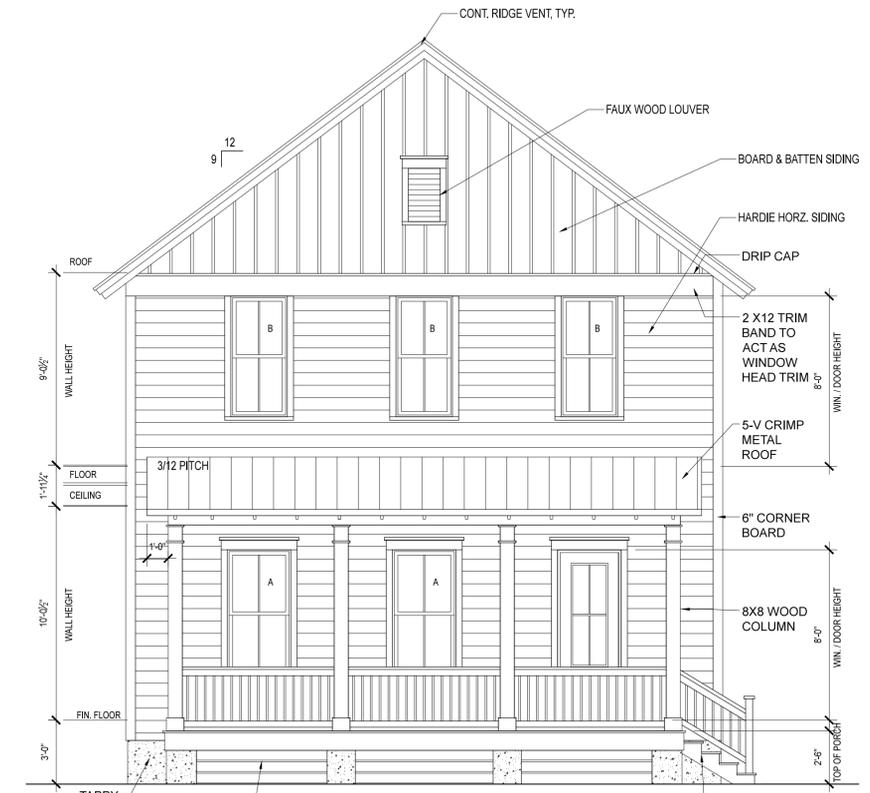
DATE:
8-07-20

DRAWN:
XXX

FLOOR PLANS



LEFT ELEVATION
SCALE : 1/4" = 1'-0"

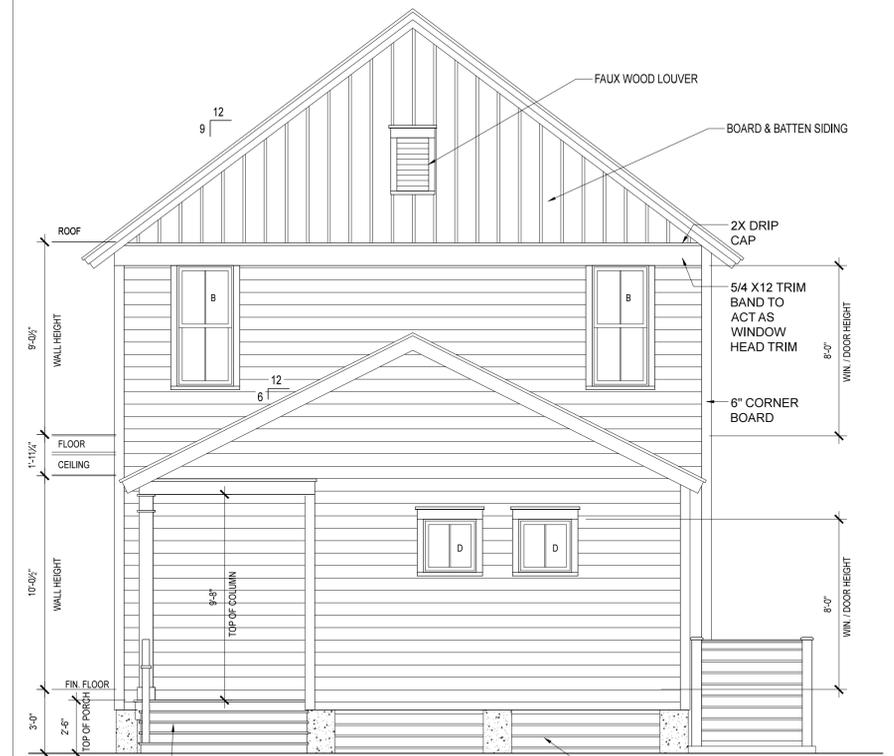


ACCESS TO GRADE BY SITE CONTRACTOR
SITE CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF FOUNDATION

FRONT ELEVATION
SCALE : 1/4" = 1'-0"



RIGHT ELEVATION
SCALE : 1/4" = 1'-0"



REAR ELEVATION
SCALE : 1/4" = 1'-0"

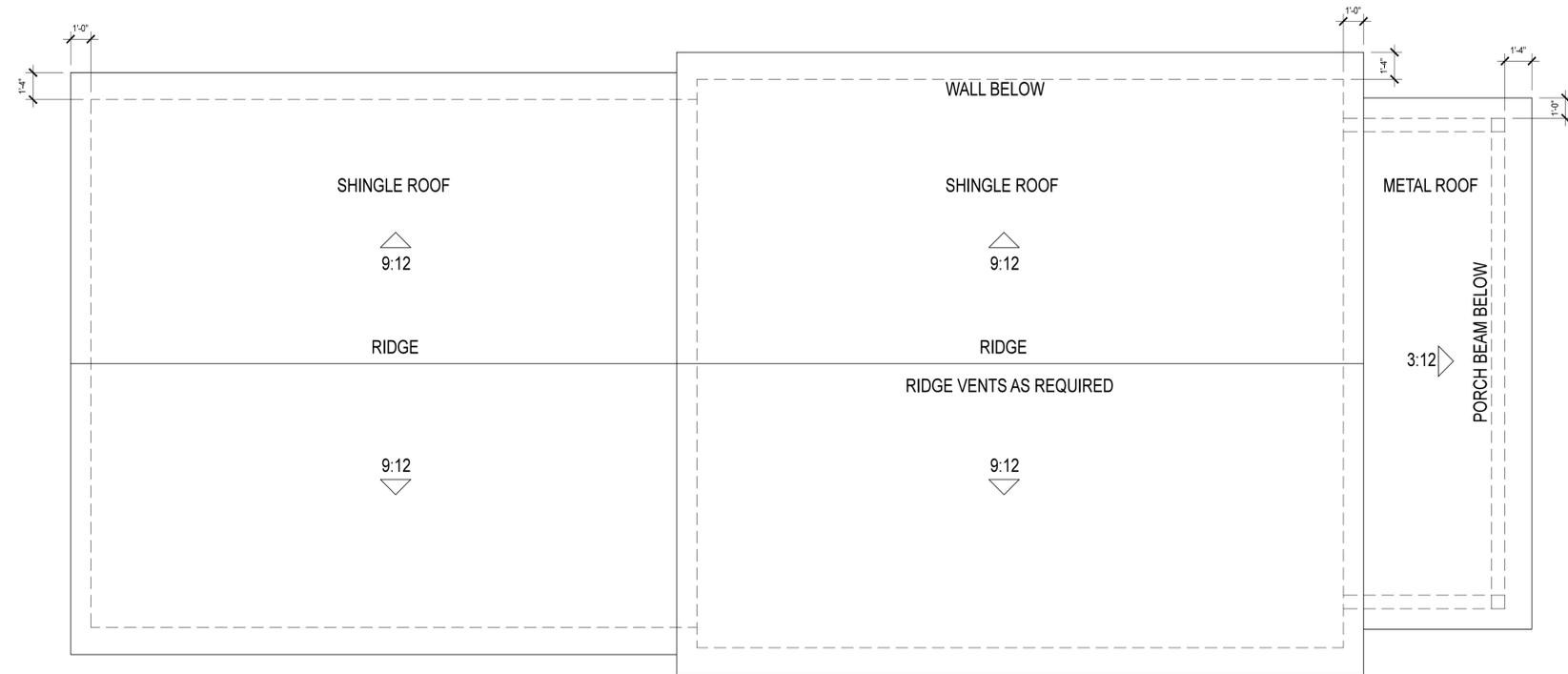
REVISIONS:

TITLE:
A2

DATE: 8-07-20 | DRAWN: XXX

ELEVATIONS

JOB
NUMBER



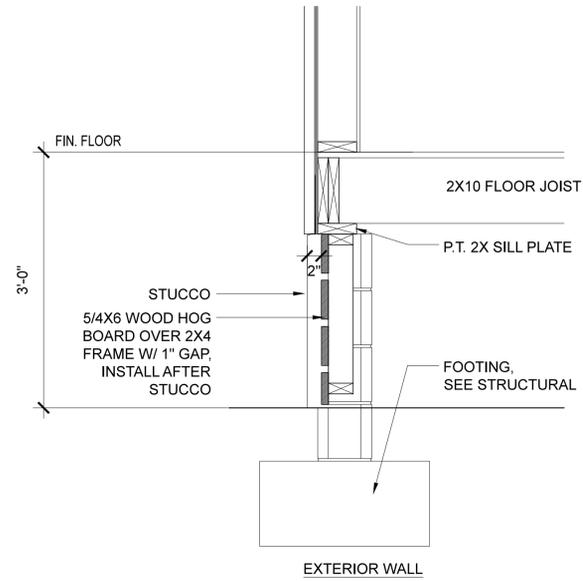
ROOF PLAN
SCALE : 1/4" = 1'-0"

REVISIONS:

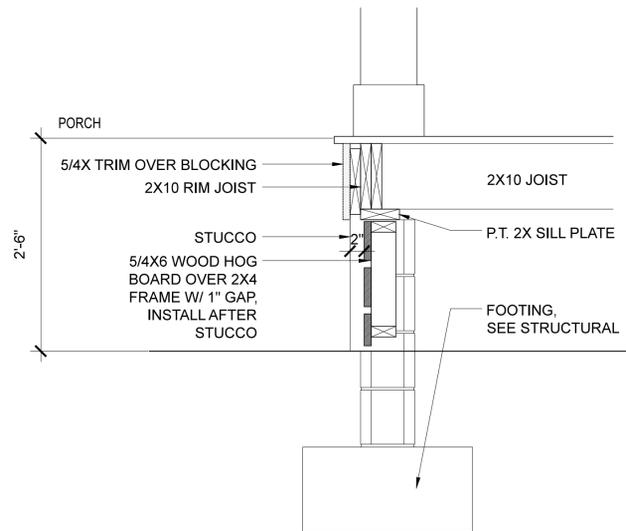
TITLE:
A3

DATE: 8-07-20 | DRAWN: XXX

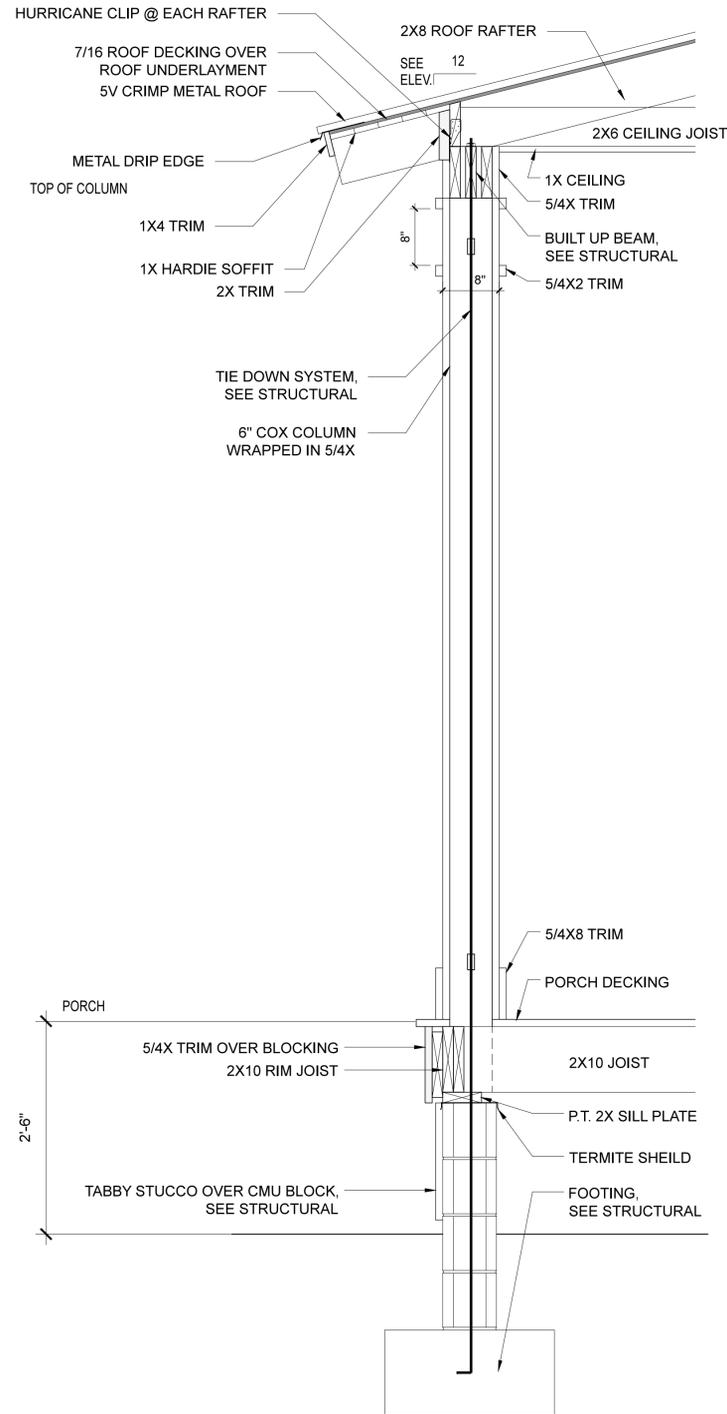
ROOF PLAN



EXTERIOR WALL

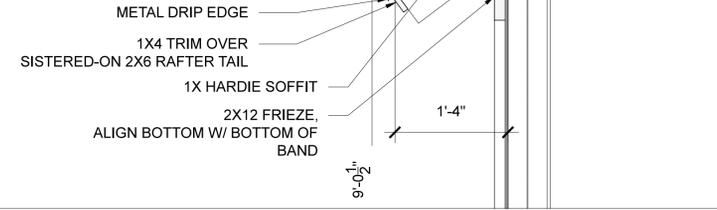


PORCH HOGBOARD DETAIL
SCALE : 1" = 1'-0"



PORCH SECTION
SCALE : 1" = 1'-0"

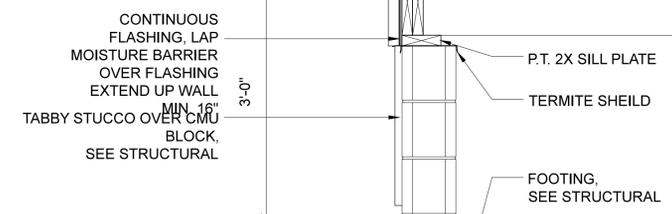
ROOF ASSEMBLY
- PRE-ENGINEERED TRUSSES (SEE FRAMINGS FOR SPACING)
- 1/2" DRYWALL CEILING FINISH
- 7/16" ROOF DECKING
- R-30 KRAFT FACED INSULATION AT RAFTER AND COLLAR TIE AREA
- R-19 KRAFT FACED INSULATION AT KNEEWALS
- ROOF UNDERLAYMENT INSTALLED PER CODE & MANUFACTURES REQUIREMENTS
- ROOF FINISH INSTALLED PER CODE & MANUFACTURES REQUIREMENTS



EXTERIOR WALLS
- 2x6 SPF #2 @ 16" O.C. (2-2X6 SPF#2 TOP PLATES/ 1-2x6 BOTTOM PLATE) OFFSET PLATES MIN. 48"
- 7/16" WALL SHEATHING (24/16 SPAN RATING)
- HOUSE WRAP INSTALLED OVER SHEATHING
- EXTERIOR CLADDING INSTALLED PER CODE AND MANUFACTURES REQUIREMENTS
- R-19 KRAFT FACED INSULATION

CEILING ASSEMBLY
- DOUBLE 2x12 SYP #2 PERIMETER BANDS
- 2x6 CEILING JOISTS (SEE FRAMINGS FOR GRADE & SPACING)
- 1/2" DRYWALL CEILING FINISH
- R-30 KRAFT FACED INSULATION

FLOOR ASSEMBLY
- DOUBLE P.T. 2x10 SYP #2 PERIMETER BANDS
- 2x10 FLOOR JOISTS (SEE FRAMINGS FOR GRADE & SPACING)
- 3/4" T&G FLOOR SHEATHING
- R-19 KRAFT FACED INSULATION W/ BOTTOM BOARD



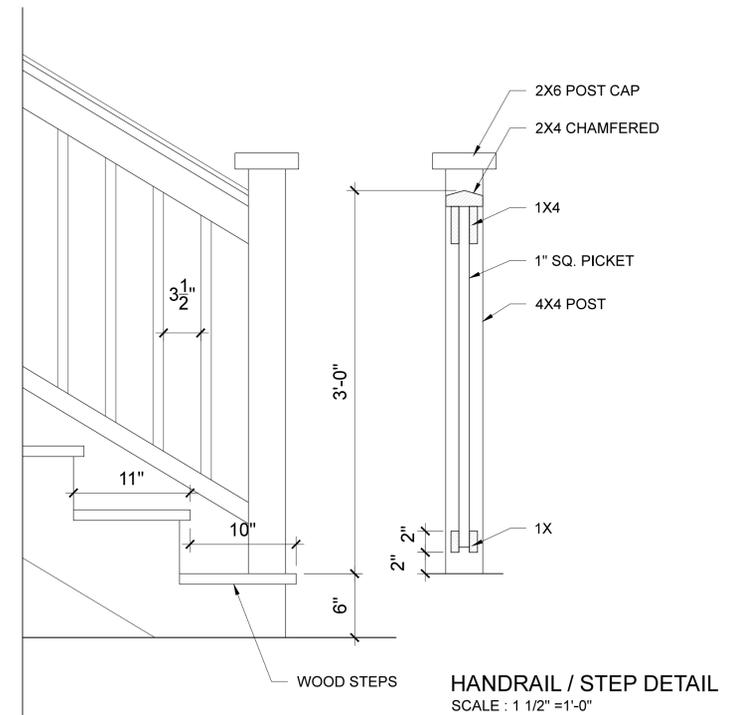
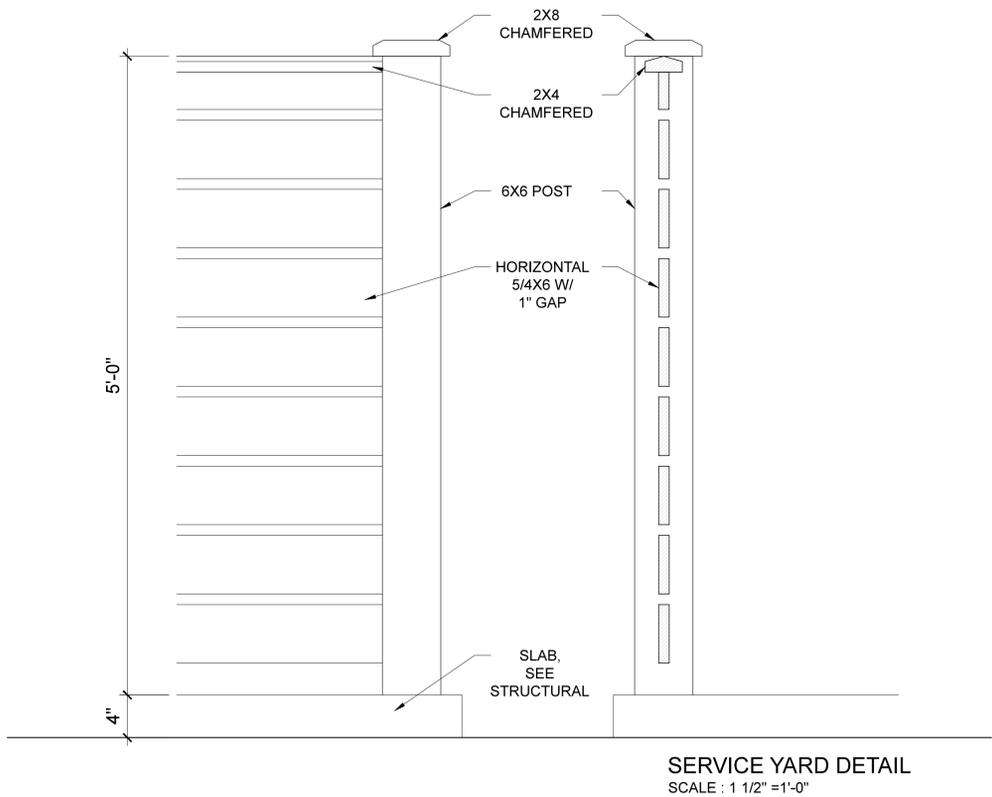
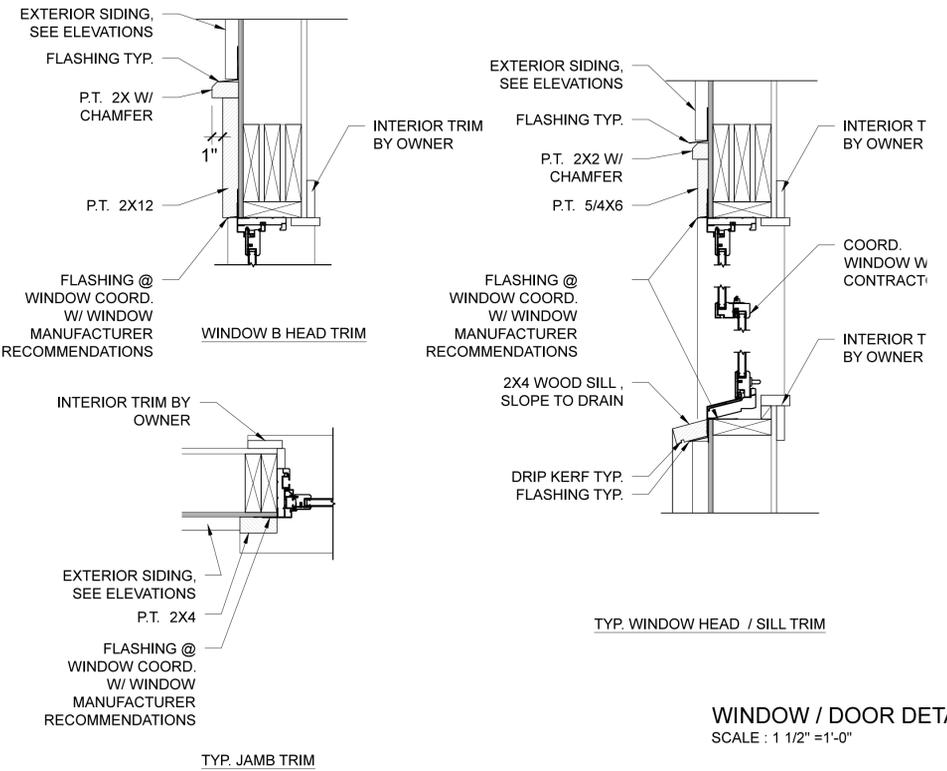
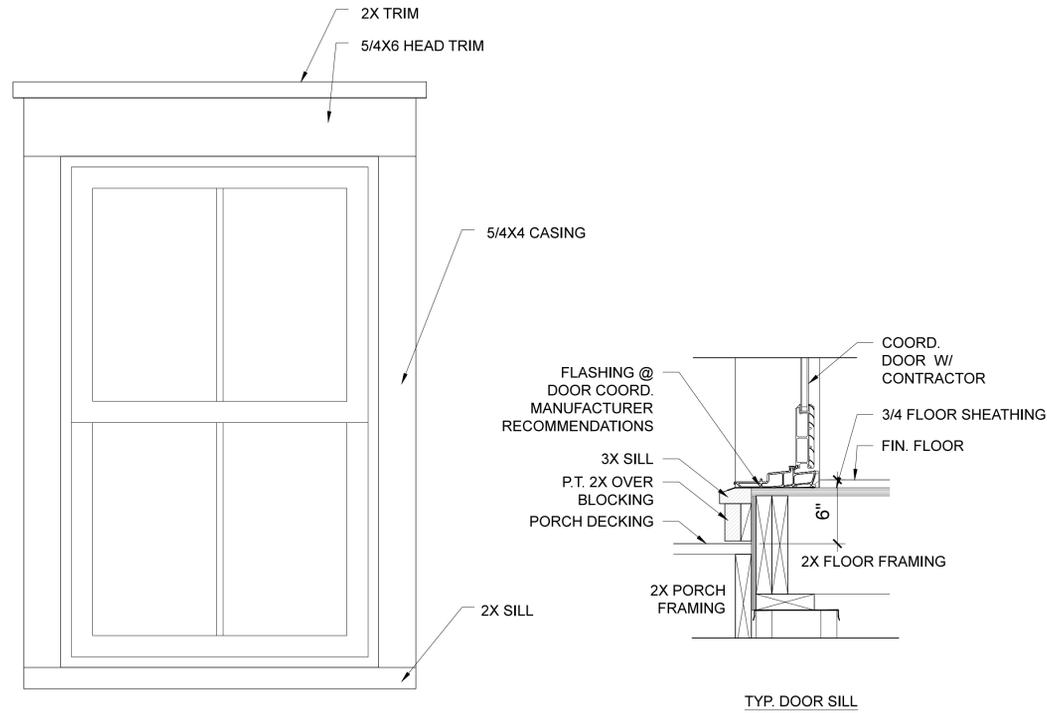
WALL SECTION
SCALE : 1" = 1'-0"

REVISIONS:

TITLE:
A4

DATE: 8-10-20 | DRAWN: XXX

WALL SECTION
DETAILS



REVISIONS:

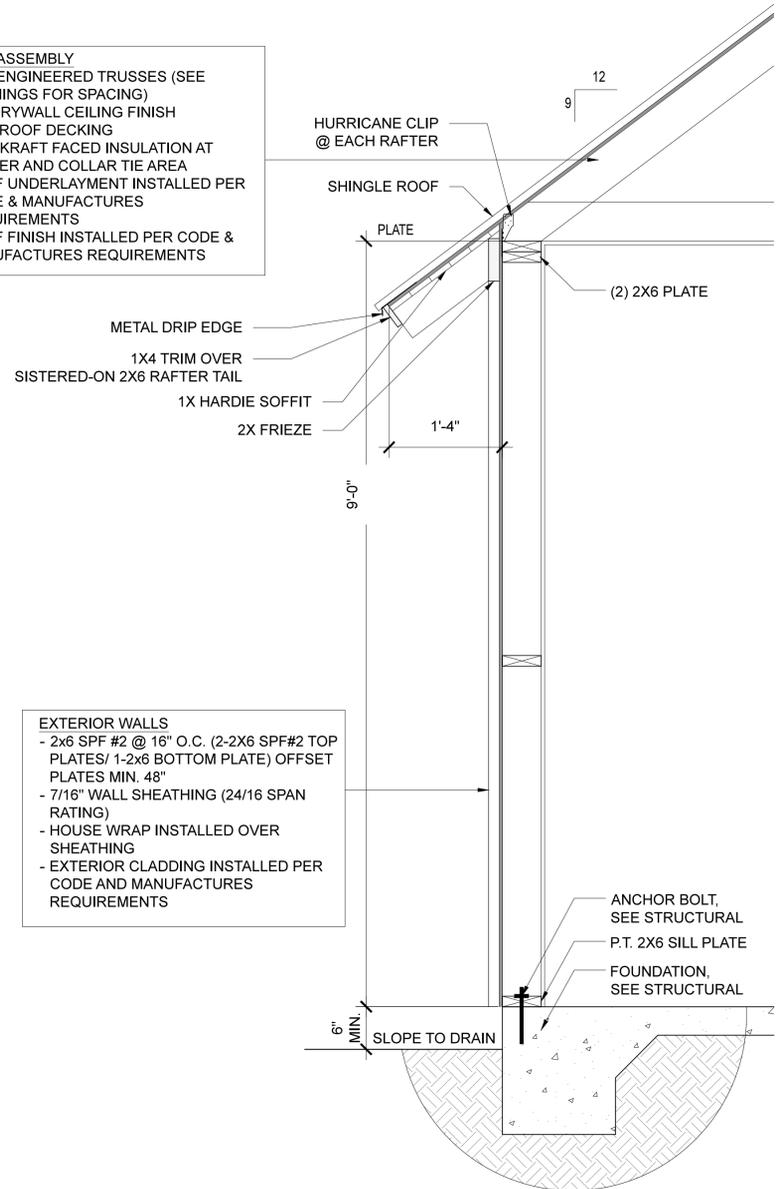
TITLE:
A5

DATE: 8-07-20
DRAWN: XXX

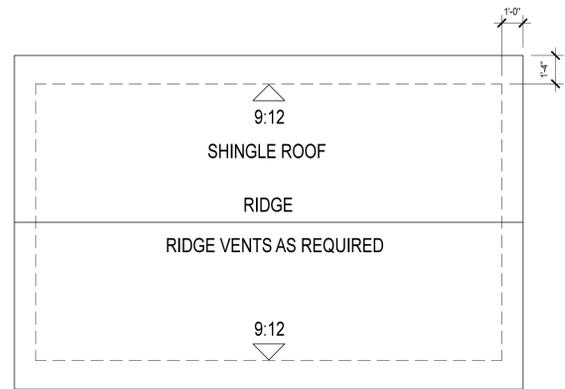
DETAILS

- ROOF ASSEMBLY**
- PRE-ENGINEERED TRUSSES (SEE FRAMINGS FOR SPACING)
 - 1/2" DRYWALL CEILING FINISH
 - 7/16" ROOF DECKING
 - R-30 KRAFT FACED INSULATION AT RAFTER AND COLLAR TIE AREA
 - ROOF UNDERLAYMENT INSTALLED PER CODE & MANUFACTURES REQUIREMENTS
 - ROOF FINISH INSTALLED PER CODE & MANUFACTURES REQUIREMENTS

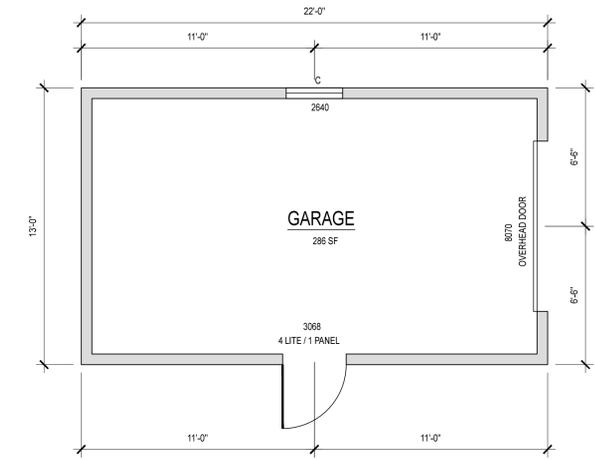
- EXTERIOR WALLS**
- 2x6 SPF #2 @ 16" O.C. (2-2X6 SPF#2 TOP PLATES/ 1-2x6 BOTTOM PLATE) OFFSET PLATES MIN. 48"
 - 7/16" WALL SHEATHING (24/16 SPAN RATING)
 - HOUSE WRAP INSTALLED OVER SHEATHING
 - EXTERIOR CLADDING INSTALLED PER CODE AND MANUFACTURES REQUIREMENTS



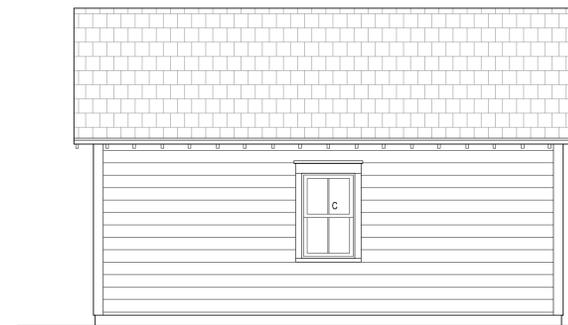
WALL SECTION
SCALE : 1" = 1'-0"



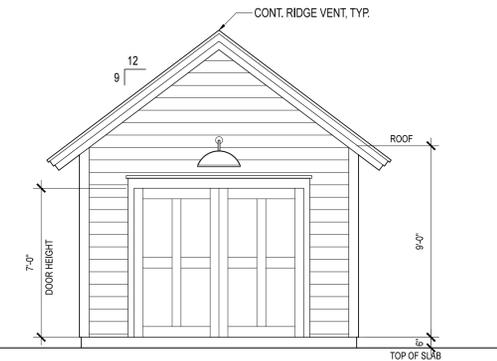
ROOF PLAN
SCALE : 1/4" = 1'-0"



FLOOR PLAN
SCALE : 1/4" = 1'-0"



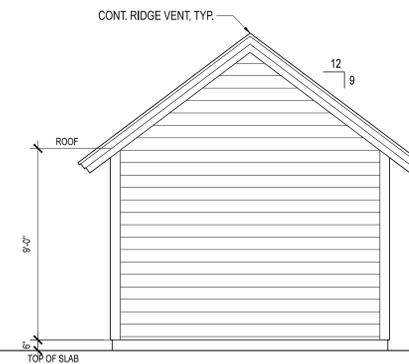
RIGHT ELEVATION
SCALE : 1/4" = 1'-0"



FRONT ELEVATION
SCALE : 1/4" = 1'-0"



LEFT ELEVATION
SCALE : 1/4" = 1'-0"



REAR ELEVATION
SCALE : 1/4" = 1'-0"

REVISIONS:

TITLE:

A6

DATE:
8-07-20

DRAWN:
XXX

**GARAGE
PLANS & ELEVATIONS**

PLAN REVIEW COMMENTS FOR COFA-07-20-014398



Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522

Plan Type: Historic District **Apply Date:** 07/15/2020
Plan Status: Active **Plan Address:** 9 Guerrard Ave
 BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0369 0000
Plan Description: Single family residential construction - 3 bedroom, 3.5 bath with carport

Staff Review (HD)

Submission #: 1 Recieved: 07/27/2020 Completed: 07/31/2020

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	07/31/2020	Katie Peterson	Approved with Conditions

Comments:

1. Window openings shall be oriented vertically. The window on the rear elevation is a horizontally oriented window with muntins dividing it into three. Frame out each of the windows or reconfigure to be vertical in orientation. (UDO Section 5.15.6.A. and Traditional Construction Patterns Section 38)
2. The window/door head casing of the second floor windows should be equal to or wider than the jamb casing, and should not be less than one-sixth the opening width. The current configuration appears to have a head that terminates in the expression line and should be revised for consistency. (UDO Section 5.15.6.A. and Traditional Construction Patterns Section 38)
3. Regardless of the health or condition, a Town of Bluffton tree removal permit is required for the removal of any tree , 14 inches in diameter at breast height (DBH). The site plan shows the removal of a 18" Gum on the North side of the lot. A tree removal permit must be obtained. (UDO Section 3.22.2.A.)

HPRC Review	07/31/2020	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

1. At time of final submittal, include a foundation plan to show the configuration of the piers with hogboard skirting. (UDO Section 5.15.6.O.)
2. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy coverage; as well provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
3. At time of final submittal, updated garage plans showing the detailing to match existing and removed carport are required for review.

Watershed Management Review	07/27/2020	William Baugher	Approved with Conditions
-----------------------------	------------	-----------------	--------------------------

Comments:

1. Small Construction Activities, The Town will require a Stormwater Affidavit with a SC DHEC NOI form D-0451 and implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual and the SCDHEC Erosion and Sediment Reduction standards and other Stormwater Management regulations, where applicable before Building Permits will be issued.

Addressing Review	07/31/2020	Nick Walton	Approved
-------------------	------------	-------------	----------

Comments:

1. No comment.

Beaufort Jasper Water and Sewer Review	07/31/2020	James Clardy	Approved
--	------------	--------------	----------

Comments:

1. No Comment.

Comments:

1. No Comment.

Plan Review Case Notes:

ATTACHMENT 6



ATTACHMENT 6





ATTACHMENT 6

