



TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION

ELECTRONIC MEETING

SPECIAL MEETING Wednesday, June 10, 2020 6:00p.m.

This meeting can be viewed on the Town of Bluffton's Facebook page
<https://www.facebook.com/TownBlufftonSC/>

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

V. ADOPTION OF AGENDA

VI. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VII. OLD BUSINESS

VIII. NEW BUSINESS

IX. DISCUSSION (NO ACTION)

- A. [Discussion on 71 Calhoun Street, Building 1: A request by Court Atkins, Inc., on behalf of Cunningham, LLC, for review of a Certificate of Appropriateness-HD to allow the construction of a new two and a half-story mixed-use structure of approximately 8,000 SF, identified as Building 1 and located at 71 Calhoun Street in the Old Town Bluffton Historic District, and zoned Neighborhood Center-HD. \(COFA-10-19-013647\)\(Staff – Katie Peterson\)](#)

- B. Discussion on 71 Calhoun Street, Building 2: A request by Court Atkins, Inc., on behalf of Cunningham, LLC, for review of a Certificate of Appropriateness to allow the construction of a new two and a half-story mixed-use structure of approximately 8,000 SF, identified as Building 2 and located at 71 Calhoun Street in the Old Town Bluffton Historic District, and zoned Neighborhood Center-HD. (COFA-12-19-013784)(Staff – Katie Peterson)

- C. Discussion on 71 Calhoun Street, Building 3: A request by Court Atkins, Inc., on behalf of Cunningham, LLC, for review of a Certificate of Appropriateness to allow the construction of a new two and a half-story mixed-use structure of approximately 8,000 SF, identified as Building 3 and located at 71 Calhoun Street in the Old Town Bluffton Historic District, and zoned Neighborhood Center-HD. (COFA-12-19-013785)(Staff – Katie Peterson)

X. **ADJOURNMENT**

NEXT MEETING DATE– Wednesday, July 1, 2020

* Public Comments may be submitted electronically via the Town’s website at (<https://bit.ly/TOBPublicComment>) or by emailing your comments to the Growth Management Coordinator at vsmalls@townofbluffton.com. Comments will be accepted up to 2 hours prior to the scheduled meeting start time. All comments will be read aloud for the record and will be provided to the Historic Preservation Committee.

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities.

EXECUTIVE SESSION - The public body may vote to go into executive session for any item identified for action on the agenda.

Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.



MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Katie Peterson, AICP, Senior Planner

RE: Comments on Conceptual Review for COFA-10-19-013647, COFA-12-19-013784, COFA-12-19-013785

DATE: 6/10/2020

CC: Heather Colin, AICP, Director of Growth Management
Kevin Icard, AICP, Planning & Community Development Manager
Charlotte Moore, AICP, Principal Planner

REQUEST: The Applicant, Court Atkins Group, on behalf of Cunningham, LLC, is requesting a workshop review of the construction of three new commercial buildings proposed at 71 Calhoun Street in the Old Town Bluffton Historic District, and zoned Neighborhood Center – HD.

BACKGROUND: The site, located at 71 Calhoun Street, is located within the Neighborhood Center – HD Zoning District. The proposed development consists of three buildings: Building 1 (COFA-10-19-01367) located at the corner of Green Street and Calhoun Street, Building 2 (COFA-12-19-013784) located at the northeast corner of the Bridge Street and Calhoun Street intersection, and Building 3 (COFA-12-19-013785) located on Bridge Street between Building 2 and the Heyward House Property.

On November 18, 2019, Building 1 was reviewed by the Historic Preservation Review Committee (HPRC) where comments were provided by the Applicant. The Applicant took the comments, made revisions and resubmitted a new conceptual application.

On January 13, 2020, the HPRC reviewed conceptual applications for Buildings 1, 2, and 3 and provided comments to the Applicant. The Applicant revised the plans and submitted Final Certificate of Appropriateness – Historic District (COFA) applications for the three buildings. As the changes were expansive, the Unified Development Ordinance (UDO) Administrator determined the applications be brought back before the HPRC for review prior to being heard by the full Historic preservation Commission.

On May 4, 2020, the Town of Bluffton Historic Preservation Review Committee reviewed the final applications for the three COFA applications for the construction of three (3), two and a half story buildings of approximately 8,000 SF each on the property identified by tax map number R610 039 00A 0099 0000 (COFA-10-19-013647, COFA-12-19-013784, COFA-12-19-013785).

At the HPRC meeting on May 4, after a lengthy discussion by Staff and the HPRC, the Applicant requested the applications be brought before the full HPC as a workshop item to help provide direction on the design of the buildings prior to formal review.

The Attachments, which have been provided by the Applicant, have not been reviewed for conformance with the review criteria found in Section 3.18 of the Unified Development Ordinance at this time.

Once comments are provided to the applicant at the June 10th workshop, they may move forward with a submittal of a Final Certificate of Appropriateness Application to be reviewed by Staff for comment and presented to the HPC for action at a future meeting.

ATTACHMENTS:

1. Project Summary Narrative and Elevation Timelines
2. 71 Calhoun St Comments Buildings 1 2 3 Response
3. 2018 14 and 16 Church Street COFA Main St Bldg Type Precedent
 - a. Approved 14 Church Street Plans (Provided by Town Staff)
4. 71 Calhoun Street Building 1 Elevations 05-14-2020
5. 71 Calhoun St Building 2 Elevations 05-14-2020
6. 71 Calhoun St Building 3 Elevations 05-14-2020
7. 71 Calhoun St Civil, Landscape Site Plan & Photos
8. 71 Calhoun St Streetscape Elevations 05-14-2020
9. Calhoun St, Bridge St, & Green St Street View

ATTACHMENT 1
CONCEPTUAL
HAS NOT BEEN REVIEWED BY
TOWN OF BLUFFTON STAFF



June 2, 2020

Katie Peterson, Senior Planner
Town of Bluffton
20 Bridge Street
P.O. Box 386
Bluffton, SC 29910

Project: 71 Calhoun Street

Re: Project Summary Narrative

Please find the documents enclosed for this submission to the HPC workshop as discussed in the HPRC meeting on May 4, 2020. Based upon the enormous amount of constructive feedback from the HPRC, staff, and public comments, all three buildings have been redesigned to have a more “residential” character, reduce the scale and massing, and add a level of refined detail. Each building typology is outlined below:

Building 1:

District: Neighborhood Center Historic District (NCE-HD)
Use: Mixed-Use Commercial and Residential
Building Type: Additional Building Type with Main Street Building Typology
Height: 2 ½ stories
Front Build-to Zone: 0'-10'
Lot Width: 95'
Rear Setback: 25'
Side Setbacks: 5'
Square Footage:
 3,500 SF - 1st Floor
 3,500 SF - 2nd Floor
 1,000 SF - Loft
 8,000 SF - Total:
Floor to Floor Heights:
 First to Second – 12'-0"
 Second to Loft – 10'-0"
Special Building Elements and Appurtenances: Colonnade and Awning
Materials: Painted cementitious Siding and Cherokee Moss Town Brick
Railings: Painted Wood
Roof: Standing seam metal roof
Columns: Painted wood
Shopfront: Along Calhoun St and a limited amount along Green St (modulation request to maintain a more residential character along Green St – additional building type)

Building 2:

District: Neighborhood Center Historic District (NCE-HD)
Use: Mixed-Use Commercial and Residential
Building Type: Additional Building Type with Main Street Building Typology
Height: 2 ½ stories
Front Build-to Zone: 0'-10'
Lot Width: 89'

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Rear Setback: Varies
Side Setbacks: 8'+
Square Footage:
 3,500 SF - 1st Floor
 3,500 SF - 2nd Floor
 1,000 SF - Loft
 8,000 SF - Total:
Floor to Floor Heights:
 First to Second – 14'-0"
 Second to Loft – 11'-6"
Special Building Elements and Appurtenances: Colonnade and Awning
Materials: Painted cementitious Siding and Cherokee Moss Town Brick
Railings: Painted Wood
Roof: Standing seam metal roof
Columns: Painted wood
Shopfront: Along Calhoun St and Bridge St

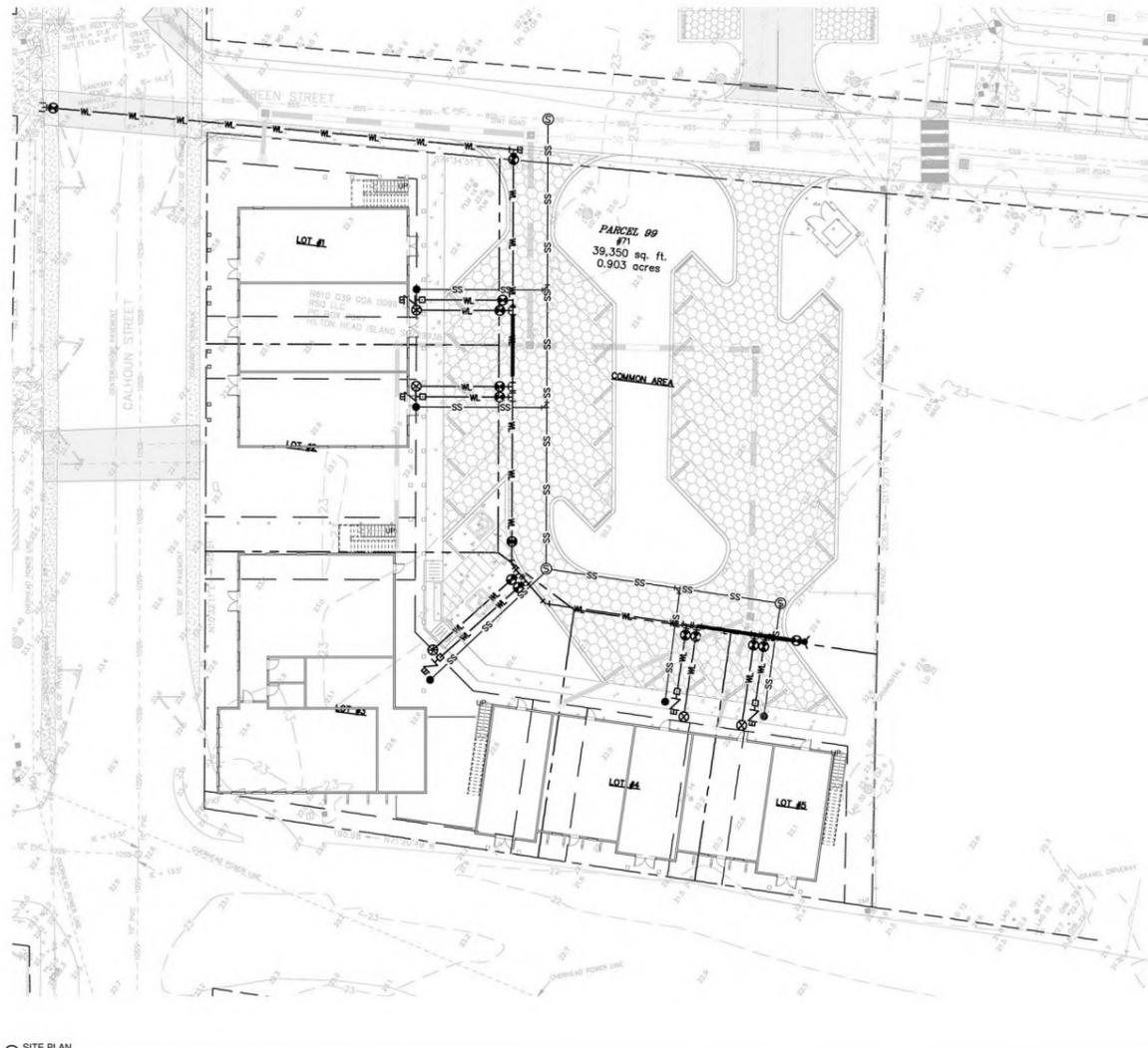
Building 3:

District: Neighborhood Center Historic District (NCE-HD)
Use: Mixed-Use Commercial and Residential
Building Type: Additional Building Type with Main Street Building Typology
Height: 2 ½ stories
Front Build-to Zone: 0'-10'
Lot Width: 95'
Rear Setback: Varies
Side Setbacks: 8'+
Square Footage:
 3,300 SF - 1st Floor
 3,300 SF - 2nd Floor
 1,000 SF - Loft
 7,600 SF - Total:
Floor to Floor Heights:
 First to Second – 12'-0"
 Second to Loft – 10'-0"
Special Building Elements and Appurtenances: Colonnade and Awning
Materials: Painted cementitious Siding and Cherokee Moss Town Brick
Railings: Painted Wood
Roof: Standing seam metal roof
Columns: Painted wood
Shopfront: Along Bridge St

Kind regards,



James C. Atkins
Court Atkins Group



© SITE PLAN
1/16" = 1'-0"



CONCEPTUAL SITE PLAN
FOR
71 CALHOUN STREET
BLUFFTON, SOUTH CAROLINA

Current Site Plan

Town Comments:

- Amended Development Plan is required
- Building 3 should be sensitive to the Heyward House
- Each building needs to be a separate application
- Murals – make sure they are not signs
- Louvers feel dense
- Make buildings feel smaller
- No sliding doors
- Confirms dimensions of the colonnade
- Shop front buildings must have 75% glazing



Town Comments:

- Reconsider the placement of bathroom windows at stair
- Column Spacing
- Green Street does not have a shopfront
- Main Street buildings are requirement to be shopfront buildings
- Provide info regarding massing next to residential structure
- Provide precedent images of louver detail
- Question of shopfront windows on the second floor
- Show service yard
- Specify roof materia
- Building heights should be similar to those in the neighboring vicinity
- Material changes should have a plane change

- Roof lines feel forced at the north and south
- Awnings must be 5 feet in depth
- Considering widening awning
- Landscape plan is required

Meeting Date: January 13, 2020 (Submittal date: December 9, 2010)

Meeting Type: Concept HPRC for Buildings 1,2 and 3 (Building 1)

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Town Comments:

- Columns shall be spaced no further apart than tall at stairs and balconies
- Additional info on the massing next to residential structures on Green St,
- Provide information on service yards an configuration
- HPC to make determination on porch louver, provide additional photo example
- Provide site plan at final submittal to ensure structures are in compliance with lot standards and setbacks.
- Building heights and widths shall be visually similar to neighboring vicinity. Provide additional streetscape information
- Stucco paneling on side elevation, material changes in same plnae or at exterior corners are not permitted

- Provide landscape plan at Final submittal
- Provide required to have an 8-foot depth
- When window shutters are being proposed, use in consistent manner
- East and North elevations, consider adding bracket to extend roofs over stairs and on lower east elevation roofs.
- HVAC units may not be placed under stairs
- Reconsider placement of bedroom window stair

Meeting Date: May 4, 2020 (Submittal date: March 5, 2020)

Meeting Type: Concept HPRC for Buildings 1,2 and 3 (Requested Final HPC - Building 1)

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Town Comments:

- Vertical window openings, two small windows at stairway appear horizontal
- Final application provide landscape plan noting plantings, tree locations, etc.
- Provide shutter dog and water table details
- Building heights and widths shall be visually similar to neighboring vicinity. The proposed building is both wider and taller than almost anything within the immediate vicinity. The max height and max SF for Main Street building have not been exceeded, they have not taken into account the mass and scale of the buildings in the immediate context. The building must be reduced in size or mass and scale by alternate design solutions including breaking up the amin mass into smaller scale components.

- Building mass shall be simple composition of basic forms with clear hierarchy.
- Provide additional information for impact of proposed structures next to neighboring residential structures on Green Street.
- Roof overhangs seem under-scaled and consider different soffit materials
- Sottile and Sottile less novel/complex and more residential charcter.
- Provide site plan at final submittal to ensure structures are in compliance with lot standards and setbacks.
- Photos of louvers were provided; however, this is a novel use that is without precedent. The HPC must make a determination

Building One : Calhoun Street Elevation Concept

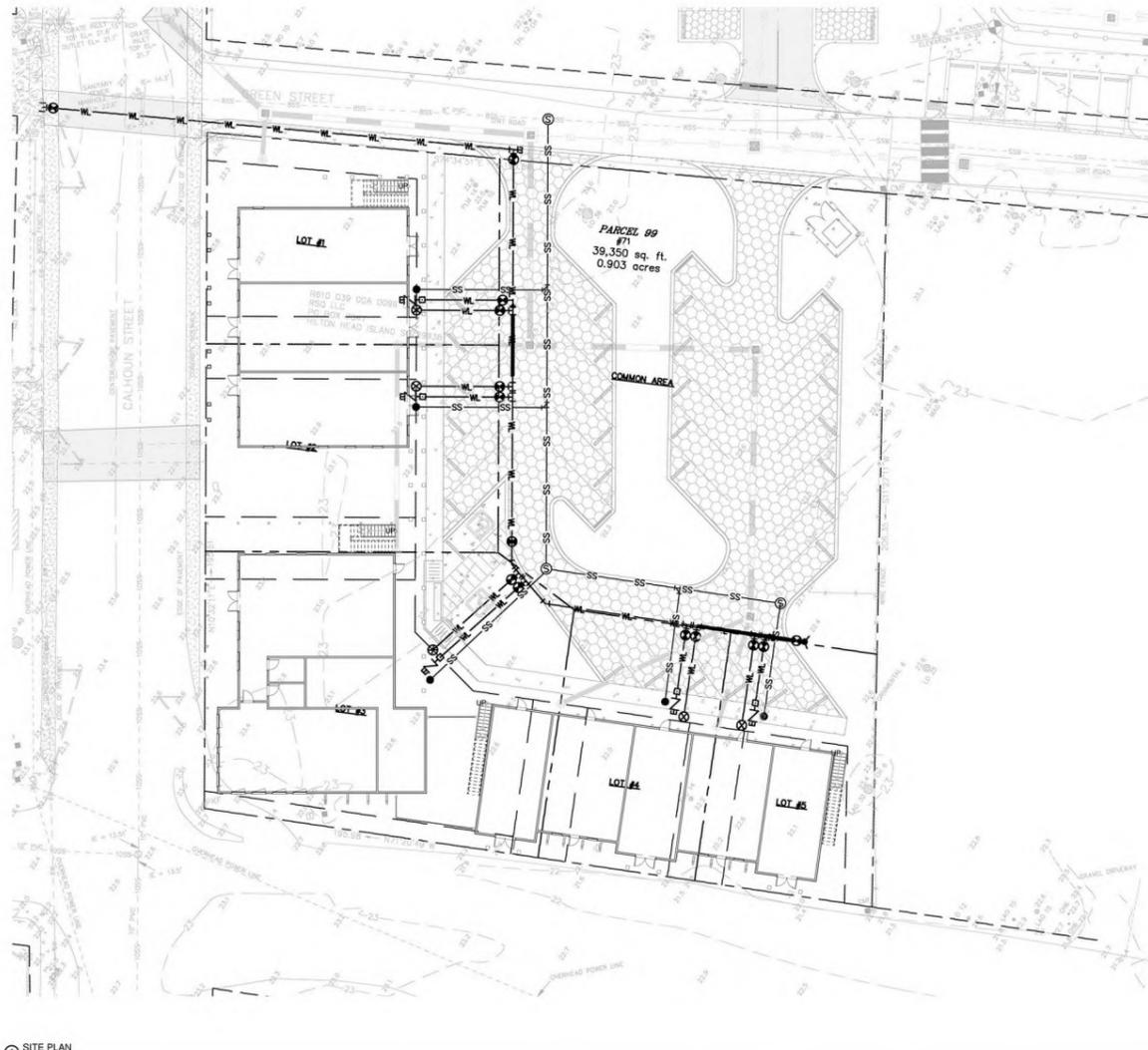
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Building One Notes:

- The overall floor to floor heights were reduced to lower the height of the building
- The overall building composition was reconfigured to scale the massing down and further lower the ridge height.
- The colonnade was redesigned as a more traditional "piano nobile" which is a classic approach to the street facade of commercial below and residential above.
- A brick material change has been added to the center mass to provide more finite detail and texture at the ground level, while differentiated it from wings.
- The 2.5 story massing has been repositioned to the center of the building in order to promote a reduction in scale as it engages with Green Street.
- A simple gable element/shed roof porch element has been integrated on the Green Street elevation to further reduce the scale along Green Street

- The massing on the rear has been reconfigured to evoke a "filled-in" porch detail character.
- The "commercial" storefront along Green Street has been reduced to provide a more residential character.
- The overall fascia, soffit, trim, eave, porch, railings, window/door details, etc. have been revised for the entire building to emulate a residential character.



© SITE PLAN
1/16" = 1'-0"



CONCEPTUAL SITE PLAN
FOR
71 CALHOUN STREET
BLUFFTON, SOUTH CAROLINA

Current Site Plan

Town Comments:

- Amended Development Plan is required
- Building 3 should be sensitive to the Heyward House
- Each building needs to be a separate application
- Murals – make sure they are not signs
- Louvers feel dense
- Make buildings feel smaller
- No sliding doors
- Confirms dimensions of the colonnade
- Shop front buildings must have 75% glazing

Meeting Date: January 13, 2020 (Submittal date: December 9, 2010)

Meeting Type: Concept HPRC for Buildings 1,2 and 3 (Building 3)

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HAS NOT BEEN REVIEWED BY
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① WEST ELEVATION
1/8" = 1'-0"

Town Comments:

- Columns shall be spaced no further apart than tall at stairs and balconies
- Provide site plan at final submittal to ensure structures are in compliance with lot standards and setbacks
- Provide additional information on the massing next to the neighboring residential structures on Bridge Street. The structure will be located directly next to the Slave House and Summer Kitchen at the rear of the Heyward House property. Provide additional information on the massing of the proposed new construction next to the existing neighboring structures.
- Provide information on service yards and configuration
- HPC to make determination on porch louver, provide additional photo examples

- Stucco paneling on side elevation, material changes in same plane or at exterior corners are not permitted
- Main street buildings are to have an arcade, colonnade, marquee or awning along front facade. The proposed structure proposes bracketed balconies. HPC to make determination of bracketed balconies as an appropriate alternate.
- When window shutters are being proposed, use in a consistent manner
- On West elevation, consider adding a bracket to extend roof over stairs.
- HVAC units may not be located under stairs.

Meeting Date: May 4, 2020 (Submittal date: March 5, 2020)

Meeting Type: Concept HPRC for Buildings 1,2 and 3 (Requested Final HPC - Building 3)

ATTACHMENT 1
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HAS NOT BEEN REVIEWED BY
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Town Comments:

- Columns shall be spaced no further apart than tall at stairs and balconies
- Provide site plan at final submittal to ensure structures are in compliance with lot standards and setbacks
- Determination of the appropriateness of the louver to be made by the HPC
- Provide landscape plan at Final submittal
- Building heights and widths shall be visually similar to those in the neighboring vicinity. large buildings designed to reduce perceived height by dividing building into smaller scale components. Not taken into account mass and scale of the buildings in immediate context (Heyward House, Slave Quarters, Summer Kitchen). The building must be reduced in size, mass, and scale
- Re-study the articulation of the massing of Building 3 by dividing building into smaller distinct components or 2 distinct elements with 2.5 story section adjacent to building 2
- Building mass shall be simple composition of basic forms with a clear hierarchy

① WEST ELEVATION
1/8" = 1'-0"

- Major concern for mass and scale for Building 3 adjacent to Heyward House, etc. Provide additional street scape perspectives similar to Building 2.
- Roof overhangs seem under-scaled and consider different soffit materials
- Fenestration should have more transparent street level and residential character on upper levels
- Large blank fiber cement panels on south façade do not contribute to the architectural character
- Sottile and Sottile less novel/complex and more residential character, building hierarchy, and traditional Lowcountry vernacular
- Building must have arcade, colonnade, marquee or awning along front façade. Proposed structure does not have one, but proposed bracketed balconies. The HPC must make a determination on appropriateness.
- Determination of the appropriateness of the louver to be made by the HPC
- HVAC units may not be located under the stairs



Building Three comments:

- The overall floor to floor heights were reduced to lower the height of the building
 - The overall building composition was reconfigured to scale the massing down and further lower the ridge height.
 - The 2.5 story massing has been repositioned to the far west side (near building #2) of the building in order to promote a transition of scale towards the Heyward House.
 - The length of the facade was broken down into different massing elements to give the sense that the building was added onto "over time".
 - The colonnade was integrated into the scheme as a more traditional "piano nobile" which is a classic approach to the street facade of commercial below and residential above.
 - A brick material change has been added to the left mass to provide more finite detail and texture at the ground level, while differentiated it from wings.
- A simple hip element/shed roof porch element has been integrated on the east elevation to further reduce the scale towards the Heyward House.

① WEST ELEVATION
1/8" = 1'-0"

- The "short end" elevation is oriented towards the Heyward House to minimize its visual impact.
- The overall fascia, soffit, trim, eave, porch, railings, window/door details, etc. have been re-envisioned for the entire building to emulate a residential character. As the building design approaches the Heyward House, the details and composition become "lighter and softer".



Bluffton Studio
32 Bruin Road
Bluffton
SC 29910

Savannah Studio
2408 De Soto Ave
Savannah
GA 31401

Interior Design
Studio
32 Bruin Road
Bluffton
SC 29910

Phone: 843.661.5500

ATTACHMENT 2 CONCEPTUAL HAS NOT BEEN REVIEWED BY TOWN OF BLUFFTON STAFF

May 4, 2020
May 15, 2020_updated

Katie Peterson, Senior Planner
Town of Bluffton
Growth Management
Bluffton, SC 29910

Project: 71 Calhoun Street COFA-10-19-013647

Response to Review of Certificate of Appropriateness Comments

Katie,

Please see the assembly of responses from the 71 Calhoun team to the Certificate of Appropriateness comments below. In addition to the comments provided to the Town on 5/4/2020 at noon EST, the following responses have been updated based upon the HPRC on 5/4/2020.

Building 1

1. Reconsider the placement of the bedroom windows opening directly onto a rated stair. Openings not permitted through this wall. The windows may open to an exterior walkway but not the stair. **This window has been removed.**

1. As the work proposed in this Certificate of Appropriateness (COFA) Application differs from the Approved Development Plan for this site (DP-11-17-011473), a Development Plan Amendment (DPA) must be reviewed and approved by the Development Review Committee prior to issuance of this COFA. A DPA has been submitted, however, all conditions must be satisfied, and an approval issued prior to the issuance of the COFA. Additionally, a subdivision application must be submitted, reviewed and approved prior to approval of the COFA. **Acknowledged. The process is being led by Witmer Jones Keefer and Ward Edwards.**

2. At time of final submittal, a site plan showing the placement of the structure is required in order to ensure compliance with the applicable lot standards including setbacks and building orientation. (Application Manual) **A site plan has been provided.**

3. While the applicant has provided precedent images from Old Town of louvers being used on building exteriors, the uses depicted in the provided photographs, as secondary or utilitarian elements are not directly analogous to their use on the facades of this building, as the louvers are being proposed as a primary character defining feature on the main street facade. This is a novel use that is without precedent in the vernacular architecture of Bluffton. The composition of porches should be straightforward, clear and legible and should incorporate the vernacular conventions of symmetry, proportion and detailing. A determination must be made by the HPC on the appropriateness of the use of the louver enclosing/wall material the balconies. Balconies may have roofs by are required to be open. (UDO Section 5.15.5.E.2.d. and UDO Section 5.15.6.G.3.) **Although we believe a creative use of a traditional louver detail is appropriate, the louver details have been revised to a more traditional usage at service yards, unusable stair areas, and railings as in the provided images.**

4. Windows openings shall be oriented vertically. It appears that the two small windows in Unit 200, in the stairwell, may be horizontal in orientation. Provide additional information on the window dimensions as it is unclear if they meet this requirement. (UDO Section 5.15.6.I.1 .b.) **This window will be removed**

5. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any

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landscaping proposed for buffering; as well provide architectural details of the shutter dog style and water table. (Applications Manual) **A landscape plan is provided by Witmer Jones Keefer.**

6. Building heights and widths shall be visually similar to those in the neighboring vicinity. The proposed building is both wider and taller than almost anything within the immediate vicinity. While ~~the~~ they have not exceeded the maximum SF or height for the Main Street Building type, they have not taken into account the mass and scale of the buildings in the immediate context as required by the ordinance. The building must be reduced in size or the mass and scale mitigated through alternate design solutions. Alternate design solutions may include breaking the main mass into smaller scaled components. (UDO Section 5.15.5.F.1.a. and 5.15.5.F.1.c.) **As a preliminary matter, Section 5.15.5.F.1.a provides that “[b]uilding heights and widths shall be visually similar to those in the neighboring vicinity.” This is not a requirement to be the same or even similar – it is a requirement to be “visually similar”. Section 5.15.4 requires that “[a] new buildings in the Old Town Bluffton Historic District must meet the criteria of a designated building type outlined in this Section, and therefore must follow the prescribed Urban Standards set forth for that type, within the respective Zoning Districts.” The Applicant believes it has done so with these designs. Furthermore, even if there was a requirement to be the same as those in the vicinity, these buildings are in visual similar proportion to Gig’s, Pearls, Seven Oaks, May River Montessori, Bluffton UMC, Church of the Cross, 14 Church Street, Planter’s Mercantile, Patz Brothers House, Frupp House. Specifically, the building height is visually similar to Seven Oak (nearly identical) and the building width is less than the May River Montessori. The building footprint of this project is 3,500 SF. The Montessori school main building has a building footprint of over 5,600 SF. Finally, the buildings are in visually similar and in proportion to the recently approved Main Street buildings on Church Street, which are also adjacent to similarly scaled buildings in the neighborhood. On a SF/acre (density) basis, the proposed development is less than the precedent Church St project.**

7. Building mass shall consist of a simple composition of basic building forms that follow a clear hierarchy. Furthermore, do not clump everything equally under one enormous roof” (clarification note associated with the left illustration of the standard). Building 1’s massing approach currently does just that, by bringing all of the building’s mass together under one large roof. Note: Once the masses are divided, porches should serve as singular unifying elements on each mass rather than being repetitive facade features on a single consolidated mass. (UDO Section 5.15.5.F.2.a) **Within this section 5.15.5.F.2.a of the UDO it references simple compositions and no reference to roofs. The more relevant massing roof section is Section 5.15.5.F.2.b, which states Rooflines shall be simple, utilizing gables, hips, and sheds and should correspond to the massing of the building below. This building certainly follows this guidance. (Clarification note associated with the right illustration of the standard). Specific to Section 5.15.5.F.2.a, the building mass shall consist of a simple composition. This building is a simple rectangular volume with hierarchy around the entries – very simple. In addition Sections 5.15.5.F.2.a,c,d are massing techniques that are successful in large footprint buildings. This is NOT a large format building, because they are only allowed in the Neighborhood Core HD Zoning District per section 5.15.5.F.11.a-2. This project is located in the Neighborhood Center HD Zoning District. In addition, this comment is the opposite of the later comment by Sottile and Sottile, which notes the building and roofs are “overly complex.” In an analysis of the recently approved Church Street buildings in this district, these buildings have a similar composition and hierarchy. In response to the architecture, the building has been completely redesigned to have a more residential character and detail. The overall floor to floor height has been reduced to the minimum required.**

8. In order to provide additional context for the impact of the proposed buildings and the neighboring sites, provide additional information on the massing next to neighboring residential structures on Green Street. The perspective images showing the relationship between the three proposed buildings and each other, as well as the relationship between Building 2, the Montessori School, and 55 Bridge Street are successful in providing information on how the street will look with Building 2 in place. As the major concern for mass and scale for Building 1 are with the relationship of the proposed structure and the neighboring residential structure at 57 Calhoun Street, a perspective similar to the ones provided for building 2 is requested. (UDO Section 3.2.2.E.) **Additional illustrations have been provided to provide street level perspectives with the existing landscape in context. In an analysis of the recently approved Church Street buildings in this district, these buildings have a similar composition and hierarchy. In response to the architecture, the building has been completely redesigned to have a more residential character and detail. The overall floor to floor height has been reduced to the minimum required.**

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Recommendation: The roof overhangs seem somewhat timid and under-scaled relative to similar vernacular buildings in Bluffton, and would benefit from broader overhangs. In terms of more prescriptive standards, porch roof overhangs are required to be a minimum of 2 feet (UDO Section 5.15.6.E.5.d. and 5.15.6.P.1). **Overhangs have been extended and modified to a more residential character.**

Recommendation: Eaves are also detailed as enclosed eaves with a smooth Hardie Panel soffit and a crown at the fascia. Consider using exposed rafter tails or, if enclosing the eave, a bed molding should be added where the frieze and soffit intersect; also, the soffit should be finished with a beaded or v-groove tongue and groove. (UDO Section 5.15.6.P.3.6). **Soffits have been modified and in certain areas proposed as exposed rafter tails.**

Recommendations: While main street buildings are permitted in the Neighborhood Center Historic District, it should be noted that they are required in the blocks to the north (the red lines referenced on the UDO map on 5-56), those requirements do not extend to this block, indicating the change in context as Calhoun Street extends toward the May River. The scale of such buildings in this district is regulated by both the half story lower height requirement (as compared with the Neighborhood Core Historic District), and the scale provisions listed above relating to contextual scale. **Main Street buildings are permitted in this district and the provisions to ensure they are in scale and context are provided. These buildings meet the guidance for Main Street Buildings. Further, the recently approved Church Street buildings have been analyzed. This building has been revised to have a more residential character and similar scale and proportion to this example.**

In addition to review by staff, The Town of Bluffton contracted Sottile and Sottile to provide additional review to speak to the architectural design, because of their background in HP and involvement in the adoption of the Old Town Master Plan. Additional suggestions include: UDO Section 5.15.6. states "A primary goal of this section is authenticity." The standards encourage "Bluffton vernacular architecture and construction, and which draws its ornament and variety from the traditional assembly of genuine materials." The level of detailing on the proposed facades, when viewed from a close proximity is minimal, failing to draw significantly from local precedent, while the composition of the facades themselves is often overly complex **[note staff comment 7 in contrast]**, relying on a variety of novel assemblies and juxtapositions while failing to achieve the very straightforward compositional legibility inherent in the Bluffton vernacular. The scale and character of much of the fenestration also fails to draw adequately from local precedents. **[the building has been completely redesigned to have a more residential scale and character]** The best examples of traditional Bluffton Main Street Buildings incorporate a storefront and a higher level of transparency at the street level, while upper level residential and other non-retail uses incorporate more conventional residential fenestration patterns, with single or narrow double doors and vertically proportioned windows forming a legible rhythm of voids that are generally similar in size. **[utilizing similar design techniques approved at the Church St. project, this building has been restudied]** This is indicated by the sample illustration on 5-85 of the UDO, as well as in all of the Main Street Building precedents shown in this section **[note per the UDO, *Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.]**. This residential character is particularly important on this portion of Calhoun Street, on which the overall character is considerably more residential than portions further north toward May River Road. The fenestration on a number of the facades proposed lack the clarity and hierarchy of these traditional examples, introducing a wide variety of glazing types and patterns and creating large expanses of transparency on upper residential levels, giving the upper levels more of a commercial feel. This dilutes the traditional contrast in fenestration between a lower commercial level and an upper residential level that is inherent in the Lowcountry vernacular; resulting in facades that lack the clarity and legibility found in Bluffton's best traditional Main Street Buildings. **[the building has been redesigned to have more residential character and patterns]** A viable solution for this site should be achievable within the parameters outlined above. The fundamental issue with the current proposal is that it lacks relatable scale within this specific context. While the UDO does set maximum footprint and height limits within this district, these upper limits should not be considered blanket entitlements that supersede other relevant and applicable standards that are also a part of the UDO, such as those requiring buildings to be visually similar in scale to those in the neighboring vicinity. **[the height has been reduced and the massing has been restudied to have a more residential character]** A refinement of this project that addresses issues of fenestration, finishes, and secondary details, while failing to address the fundamental issue of building format and massing will not adequately address the most critical standards that the current proposal does not meet. The project should be re-studied to address the issues above in order to meet the requirements and intent of the Bluffton UDO standards and the Old Town Master Plan principles. **As documented, during the 1/13/2020 HPRC meeting, Ms. Heyward and several other members from the public**

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gathered around the table and provided input on the project. In order to understand her objections, a meeting took place at the Pine House on 3/4/2020. Heather Colin was in attendance as a representative of the Town. During that meeting, Ms. Heyward suggested we meet with Christian Sottile of Sottile and Sottile. Upon the urging of Heather Colin, on 3/19/2020, Ryan Hughes, Matt Cunningham, and James Atkins met with Mr. Sottile at his Savannah office. We appreciated his personal opinions on the project and adjustments were explored. Mr. Sottile provide his meeting notes to the meeting participants as well as Ms. Heyward shortly after the meeting on 3/20/2020. These meeting notes closely parallel the comments above. While we certainly respect Mr. Sottile's personal opinions on this project, it is disturbing that the Town retained Mr. Sottile after the Applicant, at the recommendation of UDO Administrator, undertook the additional time and expense to meet together with its consultants with Mr. Sottile in his Savannah office to discuss this project. However, Mr. Sottile's recommendations after that meeting misstated the availability to construct a Main Street Building type on this property and that mistake now carries over into the Staff comments. It is our understanding that Mr. Sottile has not been retained by the Town in such a capacity since the adoption of the UDO and the Old Town Master Plan and we question his insertion in this process at this late stage. The Applicant has retained local consultants with considerable experience and the requisite skill and knowledge for this project. At considerable expense the Applicant has strived to design a development respective of the site and Town goals set forth in the UDO and the Old Town Master Plan. It is the UDO and the Old Town Master Plan that govern development of this site and not the subjective views of a third party. The insertion of a new consultant to the Staff and the HPC this late in the process with the statement that the project be "re-studied in order to meet the intent of the UDO and the Old Town Master Plan" is overly broad, not reflective of comments made previously by Staff to the application and not consistent with the UDO and the Old Town Master Plan. Furthermore, the insertion of Mr. Sottile at this stage and the treatment of this Application is not consistent with the UDO nor the manner in which other projects in the Historic District have been treated and therefore unfair to the Applicant and we believe arbitrary.

Comments: 1. The proposed building is a Main Street Building. Main Street buildings must have an arcade, colonnade, marquee or awning along the front facade (arcades/colonnades are preferred). Arcades / colonnades are required to have a minimum depth of 8 ft. from the build-to-line to the inside column face. While the colonnade is 8' deep for much of the length, it narrows to 6 feet in depth at each column and louvered area where the building projects out. (UDO Section 5.15.6.E.3.) **The colonnade has be redesigned, as well as composition of the front façade along Calhoun st.**

1. See Development Plan for Transportation Comments. **Acknowledged.**
1. See Development Plan Amendment for Stormwater comments. **Acknowledged.**

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Building 2

1. Addresses will be provided at time of subdivision. **Acknowledged**
1. Pending formal submittal of site plans showing the connectivity to BJWSA's System. **Acknowledged**
1. HVAC units may not be located under the stairs (South Elevation) per IBC section 1011.7.4. **HVAC units have been relocated.**

1. As the work proposed in this Certificate of Appropriateness (COFA) Application differs from the Approved Development Plan for this site (DP-11-17-011473), a Development Plan Amendment (DPA) must be reviewed and approved by the Development Review Committee prior to issuance of this COFA. A DPA has been submitted, however, all conditions must be satisfied, and an approval issued prior to the issuance of the COFA. Additionally, a subdivision application must be submitted, reviewed and approved prior to approval of the COFA. **Acknowledged. The process is being led by Witmer Jones Keefer and Ward Edwards.**

2. At time of final submittal, a site plan showing the placement of the structures is required in order to ensure compliance with the applicable lot standards including setbacks and building orientation. (Application Manual) **A site plan is provided by Witmer Jones Keefer**

3. Air Conditioning compressors and utility meters shall be located in rear yards or side yards not facing side streets. A service yard containing Air Conditioning units is proposed on the Birdge Street Elevation. This service yard must be relocated to be in a rear or side yard not facing a street. (UDO Section 5.15.6.F.2.) **The service yard has been removed and relocated to the rear.**

4. A determination must be made by the HPC on the appropriateness of the use of the louvering enclosing/wall material the balconies. Balconies may have roofs by are required to be open. (UDO Section 5.15.5.E.2.d. and UDO Section 5.15.6.G.3.) **Although we believe a creative use of a traditional louver detail is appropriate, the louvering details have been revised to a more traditional usage at service yards, unusable stair areas, and railings as in the provided images.**

5. Windows openings shall be oriented vertically. It appears that the three windows on the East elevation, in Unit 202, are horizontal in orientation. Provide additional information on the window dimensions as it is unclear if they meet this requirement. (UDO Section 5.15.6.I.1.b.) **This window will be removed.**

6. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted. The proposed chimney shows a metal spark arrestor. The spark arrestor must be revised to a permitted configuration. (UDO Section 5.15.6.E.8.d.) **The drawing denotes a traditional chimney pot, not a spark arrestor; however, the detail has been modified to a traditional brick cap, commonly referred to as a "bishops cap" or "prayer hands."**

7. Doors are permitted to have a French or Casement operation. The doors on the second story south elevation are proposed as sliding in operation. Additionally, the Marvin Windows quote for this site indicates the use of a Bifold door. (Line# 14 - Bifold, Line#17 - Sliding). Door operations must be revised to be Casement or French in operation. (5.15.6.I.3.c.) **The door has been changed to a traditional French operation and the unit has been revised to have a more residential proportion and detail.**

8. Building mass shall consist of a simple composition of basic building forms that follow a clear hierarchy. Furthermore, do not clump everything equally under one enormous roof" (clarification note associated with the left illustration of the standard). The massing of Building 2 appears to be the most articulate of the three proposed buildings; however, further differentiation of the massing is needed in order to divide the building into smaller scale, architecturally distinct components and bring its scale into closer alignment with the buildings in the immediate neighborhood context in order to address the requirements of sections (UDO Sections 5.15.5.F.1.a. and 5.15.5.F.1.c.) **Within this section 5.15.5.F.2.a of the UDO it references simple compositions and no reference to roofs. The more relevant massing roof section is Section 5.15.5.F.2.b, which states Rooflines shall be simple, utilizing gables, hips, and sheds and should correspond to the massing of the building below. This building certainly follows this guidance. (Clarification note associated with the right illustration of the standard). Specific to Section 5.15.5.F.2.a, the building mass shall consist of a simple composition. This building is a simple**

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rectangular volume with hierarchy around the entries – very simple. In addition Sections 5.15.5.F.2.a,c,d are massing techniques that are successful in large footprint buildings. This is NOT a large format building, because they are only allowed in the Neighborhood Core HD Zoning District per section 5.15.5.F.11.a-2. This project is located in the Neighborhood Center HD Zoning District. In addition, this comment is the opposite of the later comment by Sottile and Sottile, which notes the building and roofs are “overly complex.” In an analysis of the recently approved Church Street buildings in this district, these buildings have a similar composition and hierarchy. In response to the architecture, the building has been completely redesigned to have a more residential character and detail.

9. Fixed frame windows are limited to a maximum size of 36 square feet. The second floor is shown with a large scale patio door, and the gable (level 3) is shown with an +/- 80 square foot triangular fixed-frame window. Fenestration on upper levels should be restudied to reflect a traditional Bluffton residential character with legible rhythms of vertical openings of a similar size. The inclusion of operable shutters is encouraged. (UDO Sections 5.15.6 .1.3. b & c) **This door unit and windows have been revised to comply.**

10. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide architectural details of the service yard showing material and height, the shutter dog style. (Applications Manual) **A landscape plan is provided by Witmer Jones Keefer**

Recommendation: Commercial uses on this portion of Calhoun Street have a much more residential character. Many are converted homes. Corner storefronts directly on the street are more appropriate to blocks to the north and May River Road. Creating a true wrapping porch rather than a covered balcony, bringing the posts down to the first floor would serve to soften the more urban commercial feel currently exhibited by the building. **Porches are not associated with Main Street buildings as stated in Section 5.15.8.A; however, the colonnade and balcony have been revised. We have studied the columns extending to the ground, as well as modifying the brackets to be more residential. Both ideas have been supplied. Our recommendation would be to maintain the balcony concept.**

Recommendation: Consider recessing the mass of the transverse gable portion running down Calhoun Street to the north, so that the porch along this portion is recessed behind the plane of the main facade wall of the corner mass. This will allow the corner mass to read as a more modestly scaled structure comparable to the Main Street building across Bridge Street, and allow the mid-block portion to recede as a secondary mass. **The roof over this transverse gable has been modified to minimize its scale and be subservient to the mass at the corner as recommended. In addition, the left side porch has been modified to be a single story shed room to minimize the overall scale.**

Recommendation: Consider a strategy to articulate the roofline of the porch to step back after the popped up gable portion of the building on the Bridge Street elevation, so that the eave line of the porch does not continue unbroken down the entire length of the building frontage. **This portion has been removed to more closely relate to the gable above.**

Recommendation: Eaves are detailed as enclosed eaves with a smooth Hardie Panel soffit and a crown at the fascia. Consider using exposed rafter tails or, if enclosing the eave, a bed molding and frieze should be added at the top of the siding. Also, the soffit should be finished with a beaded or v-groove tongue and groove (UDO Sections 5.15.6.P. 3-6). **Soffits have been modified and in certain areas proposed as exposed rafter tails.**

Recommendation: While main street buildings are permitted in the Neighborhood Center Historic District, it should be noted that they are required in the blocks to the north (the red lines referenced on the UDO map on 5-56), those requirements do not extend to this block, indicating the change in context as Calhoun Street extends toward the May River. The scale of such buildings in this district is regulated by both the half story lower height requirement (as compared with the Neighborhood Core Historic District), and the scale provisions listed above relating to contextual scale. **Main Street buildings are permitted in this district and the provisions to ensure they are in scale and context are provided. These buildings meet the guidance for Main Street Buildings. Further, the recently approved Church Street buildings have been analyzed. This building has been revised to have a more residential character and similar scale and proportion to this example. .**

In addition to review by staff, The Town of Bluffton contracted Sottile and Sottile to provide additional review to

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speak to the architectural design, because of their background in HP and involvement in the adoption of the Old Town Master Plan. Additional suggestions include: UDO Section 5.15.6. states "A primary goal of this section is authenticity." The standards encourage "Bluffton vernacular architecture and construction, and which draws its ornament and variety from the traditional assembly of genuine materials." The level of detailing on the proposed facades, when viewed from a close proximity is minimal, failing to draw significantly from local precedent, while the composition of the facades themselves is often overly complex **[note staff comment 7 in contrast]**, relying on a variety of novel assemblies and juxtapositions while failing to achieve the very straightforward compositional legibility inherent in the Bluffton vernacular. The scale and character of much of the fenestration also fails to draw adequately from local precedents. **[the building has been completely redesigned to have a more residential scale and character]** The best examples of traditional Bluffton Main Street Buildings incorporate a storefront and a higher level of transparency at the street level, while upper level residential and other non-retail uses incorporate more conventional residential fenestration patterns, with single or narrow double doors and vertically proportioned windows forming a legible rhythm of voids that are generally similar in size. **[utilizing similar design techniques approved at the Church St. project, this building has been restudied]** This is indicated by the sample illustration on 5-85 of the UDO, as well as in all of the Main Street Building precedents shown in this section **[note per the UDO, *Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.]**. This residential character is particularly important on this portion of Calhoun Street, on which the overall character is considerably more residential than portions further north toward May River Road. The fenestration on a number of the facades proposed lack the clarity and hierarchy of these traditional examples, introducing a wide variety of glazing types and patterns and creating large expanses of transparency on upper residential levels, giving the upper levels more of a commercial feel. This dilutes the traditional contrast in fenestration between a lower commercial level and an upper residential level that is inherent in the Lowcountry vernacular; resulting in facades that lack the clarity and legibility found in Bluffton's best traditional Main Street Buildings. **[the building has been redesigned to have more residential character and patterns]** A viable solution for this site should be achievable within the parameters outlined above. The fundamental issue with the current proposal is that it lacks relatable scale within this specific context. While the UDO does set maximum footprint and height limits within this district, these upper limits should not be considered blanket entitlements that supersede other relevant and applicable standards that are also a part of the UDO, such as those requiring buildings to be visually similar in scale to those in the neighboring vicinity. **[the height has been reduced and the massing has been restudied to have a more residential character]** A refinement of this project that addresses issues of fenestration, finishes, and secondary details, while failing to address the fundamental issue of building format and massing will not adequately address the most critical standards that the current proposal does not meet. The project should be re-studied to address the issues above in order to meet the requirements and intent of the Bluffton UDO standards and the Old Town Master Plan principles. **As documented, during the 1/13/2020 HPRC meeting, Ms. Heyward and several other members from the public gathered around the table and provided input on the project. In order to understand her objections, a meeting took place at the Pine House on 3/4/2020. Heather Colin was in attendance as a representative of the Town. During that meeting, Ms. Heyward suggested we meet with Christian Sottile of Sottile and Sottile. Upon the urging of Heather Colin, on 3/19/2020, Ryan Hughes, Matt Cunningham, and James Atkins met with Mr. Sottile at his Savannah office. We appreciated his personal opinions on the project and adjustments were explored. Mr. Sottile provide his meeting notes to the meeting participants as well as Ms. Heyward shortly after the meeting on 3/20/2020. These meeting notes closely parallel the comments above. While we certainly respect Mr. Sottile's personal opinions on this project, it is disturbing that the Town retained Mr. Sottile after the Applicant, at the recommendation of UDO Administrator, undertook the additional time and expense to meet together with its consultants with Mr. Sottile in his Savannah office to discuss this project. However, Mr. Sottile's recommendations after that meeting misstated the availability to construct a Main Street Building type on this property and that mistake now carries over into the Staff comments. It is our understanding that Mr. Sottile has not been retained by the Town in such a capacity since the adoption of the UDO and the Old Town Master Plan and we question his insertion in this process at this late stage. The Applicant has retained local consultants with considerable experience and the requisite skill and knowledge for this project. At considerable expense the Applicant has strived to design a development respective of the site and Town goals set forth in the UDO and the Old Town Master Plan. It is the UDO and the Old Town Master Plan that govern development of this site and not the subjective views of a third party. The insertion of a new consultant to the Staff and the HPC this late in the process with the statement that the project be "re-studied in order to meet the intent of the UDO and the Old Town Master Plan" is overly broad, not reflective of comments made previously by Staff to the application and not consistent with the UDO and the Old Town Master Plan. Furthermore, the insertion of Mr.**

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Sottile at this stage and the treatment of this Application is not consistent with the UDO nor the manner in which other projects in the Historic District have been treated and therefore unfair to the Applicant and we believe arbitrary.

1. Additional information on the use of louvered screen on the balconies on the west and east elevations are required. It is challenging to view this as a traditional configuration of genuine materials for a balcony design. Photo examples of this application may assist in clarifying intent. **This is an older comment from the previous HPRC. See above.**

1. See Development Plan for Transportation Comments. **Acknowledged.**

1. See Development Plan for Stormwater Comments. **Acknowledged.**

1. Proposed Addresses for Resubmittal The apartments addresses will stay the same, but the office spaces could change depending on if the units could be subdivided again. - 71# Calhoun Street Unit 100, Unit 101, Unit 102, Unit 200, Unit 201, Unit 202 and Unit 300 **Acknowledged.**

1. Pending formal submittal of site plans showing the connectivity to BJWSA's System. **Acknowledged.**

1. HVAC units may not be located under the stairs per IBC section 1011.7.4. **Removed as noted above.**

The below comments appear to be a copy of the previous comments from the submission on 1/13/2020 and were resolved in the current submission as noted in the application. These comments have been addressed above.

1. As the work proposed in this Certificate of Appropriateness (COFA) Application differs from the Approved Development Plan for this site (DP-11-17-011473), a Development Plan Amendment (DPA) must be reviewed and approved by the Development Review Committee prior to issuance of this COFA. A DPA has been submitted, however, all conditions must be satisfied, and an approval issued prior to the issuance of the COFA. Additionally, a subdivision application must be submitted, reviewed and approved prior to approval of the COFA.

2. Main Street Building Types are required to be shop front buildings. Per Section 5.15.6.L. of the UDO, in order to provide clear views of merchandise in stores and to provided natural surveillance of exterior street spaces, the ground-floor along the building frontage shall have untinted transparent shopfront windows and/or doors covering no less than 75% of the wall area. ... Bottoms of the shopfront window shall be between 1 and 3 feet above sidewalk grade. The louvers details along the front elevation do not provide clear views of shopfront windows. First floor elevation must be revised in order to provide clear views. (UDO 5.15.6.L.2.)

3. At time of final submittal, a site plan showing the placement of the structures is required in order to ensure compliance with the applicable lot standards including setbacks and building orientation. (Application Manual)

4. The Application notes storefront windows on the second floor. Provide additional information the windows. (5.15.6.I.)

5. Provide additional information on service yard materials and configuration . (UDO Section 5.15.6.F.)

6. A determination must be made by the HPC on the appropriateness of the use of the louvers enclosing/wall material the balconies. Balconies may have roofs by are required to be open. (UDO Section 5.15.5.E.2.d. and UDO Section 5.15.6.G.3.)

7. Building heights and widths shall be visually similar to those in the neighboring vicinity. In order to ensure the buildings within the project and neighboring sites are visually similar, provide additional information on the street scape proposed. (5.15.5.F.4.)

8. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide architectural details of the railing and baluster, gutter profile, shutters, a typical window detail, corner board/pilaster trim detail, water table detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

1. The proposed building is a Main Street Building. Main Street buildings must have an arcade, colonnade, marquee or awning along the front facade (arcades/colonnades are preferred). Arcades / colonnades are required to have a minimum depth of 8 ft. from the build-to-line to the inside column face. The proposed colonnade is under 8 ft. in depth and dead ends in the corner piece of the building prohibiting pedestrians to use as intended. Modify the elevation to include the use of one of the above

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referenced architectural features required on a Main Street Building. (UDO Section 5.15.6.E.3.) **The colonnade is 8 ft in depth.**

2. Additional information on the use of louvered screen on the balconies is required. It is challenging to view this as a traditional configuration of genuine materials for a balcony design. Photo examples of this application may assist in clarifying intent.

1. See Development Plan Amendment for Transportation Comments. **Acknowledged.**
1. See Development Plan Amendment for Stormwater comments. **Acknowledged.**

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Building 3

1. Final Addressing will be provided at time of Subdivision Application. **Acknowledge.**

1. Pending formal submittal of site plans showing the connectivity to BJWSA's System. **Acknowledge.**

1. HVAC units may not be located under the stairs per IBC section 1011.7.4. **HVAC units have been removed/relocated.**

1. As the work proposed in this Certificate of Appropriateness (COFA) Application differs from the Approved Development Plan for this site (DP-11-17-011473), a Development Plan Amendment (DPA) must be reviewed and approved by the Development Review Committee prior to issuance of this COFA. A DPA has been submitted, however, all conditions must be satisfied, and an approval issued prior to the issuance of the COFA. Additionally, a subdivision application must be submitted, reviewed and approved prior to approval of the COFA. **Acknowledged. The process is being led by Witmer Jones Keefer and Ward Edwards.**

2. The columns on the stairs and balconies are spaced further apart than they are tall. Columns shall be spaced no farther apart than they are tall. Columns must be reconfigured or additional columns added to meet the spacing requirements found above. (UDO Section 5.15.6.H.) **Additional columns have been added to ensure the required proportions. The entire composition has been restudied to have a more residential character.**

3. At time of final submittal, a site plan showing the placement of the structures is required in order to ensure compliance with the applicable lot standards including setbacks and building orientation. (Application Manual) **A site plan is provided by Witmer Jones Keefer**

4. A determination must be made by the HPC on the appropriateness of the use of the louvering enclosing/wall material at the balconies and stairwells. Balconies may have roofs by are required to be open. (UDO Section 5.15.5.E.2.d. and UDO Section 5.15.6.G.3.) **Although we believe a creative use of a traditional louver detail is appropriate, the louvering details have been revised to a more traditional usage at service yards, unusable stair areas, and railings as in the provided images.**

5. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide the shutter dog profile. (Applications Manual) **A landscape plan is provided by Witmer Jones Keefer**

6. Building heights and widths shall be visually similar to those in the neighboring vicinity. The proposed building is both wider and taller than almost anything within the immediate vicinity. While they have not exceeded the maximum SF or height for the Main Street Building type, they have not taken into account the mass and scale of the buildings in the immediate context as required by the ordinance, most specifically the Heyward House, Slave Quarters and Summer Kitchen (c. 1840) located directly behind the proposed structure. The intent of the Old Town Bluffton Historic District is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, and/or architecturally-worthy structures and areas of the Town; and to maintain such structures as visible reminders of the history and heritage of the Town. The building must be reduced in size or the mass and scale mitigated through alternate design solutions. Alternate design solutions may include breaking the main mass into smaller scaled components. (UDO Section 5.15.5.F.1.a. and 5.15.5.F.1.c., 5.15.1.C., 5.15.1.E. and the Old Town Master Plan). **Within this section 5.15.5.F.2.a of the UDO it references simple compositions and no reference to roofs. The more relevant massing roof section is Section 5.15.5.F.2.b, which states Rooflines shall be simple, utilizing gables, hips, and sheds and should correspond to the massing of the building below. This building certainly follows this guidance. (clarification note associated with the right illustration of the standard). Specific to Section 5.15.5.F.2.a, the building mass shall consist of a simple composition. This building is a simple rectangular volume with hierarchy around the entries – very simple. In addition Sections 5.15.5.F.2.a,c,d are massing techniques that are successful in large footprint buildings. This is NOT a large format building, because they are only allowed in the Neighborhood Core HD Zoning District per section 5.15.5.F.11.a-2. This project is located in the Neighborhood Center HD Zoning District. Long unarticulated masses are not present. Forms and roofs are continuous front to back as illustrated and**

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relate to the building geometry below. Roofs are hips, gables, and sheds as instructed. As a preliminary matter, Section 5.15.5.F.1.a provides that “[b]uilding heights and widths shall be visually similar to those in the neighboring vicinity.” This is not a requirement to be the same or even similar – it is a requirement to be “visually similar”. Section 5.15.4 requires that “[a] new buildings in the Old Town Bluffton Historic District must meet the criteria of a designated building type outlined in this Section, and therefore must follow the prescribed Urban Standards set forth for that type, within the respective Zoning Districts.” The Applicant believes it has done so with these designs. Furthermore, even if there was a requirement to be the same as those in the vicinity, these buildings are in visual similar proportion to Gig’s, Pearls, Seven Oaks, May River Montessori, Bluffton UMC, Church of the Cross, 14 Church Street, Planter’s Mercantile, Patz Brothers House, Fripp House. Specifically, the building height is visually similar to Seven Oak (nearly identical) and the building width is less than the May River Montessori. The building footprint of this project is 3,500 SF. The Montessori school main building has a building footprint of over 5,600 SF. The buildings are visually similar and in proportion to the recently approved Main Street buildings on Church Street, which are also adjacent to similarly scaled buildings in the neighborhood. Finally, an additional breakdown of scale and height has been introduced as the building extends towards the Heyward House property. An existing dense landscape buffer exists to preserve the character of the neighboring structures. On a SF/acre (density) basis, the proposed development is less than the precedent Church St project.

7. Building heights and widths shall be visually similar to those in the neighboring vicinity. They shall incorporate elements that give the building perceptible scale. Large buildings in particular shall be designed to reduce their perceived height and mass by dividing the building into smaller scale components. The applicant should re-study the articulation of the massing of Building 3 by dividing the building into smaller scale, distinct components. The building’s floor plan and internal program is naturally divided into three sections on all floors, allowing it to be divided into three architecturally distinct elements. Alternatively it could be divided into two distinct elements, with one element combining two of the bays into a 2 storied mass and the second element consisting of the remaining taller 2.5 storied bay, which could be located on the side of the building adjacent to Building 2 rather than in its center, which would allow the scale to increase as it moves toward the corner.(UDO Sections 5.15.5.F.1.a & 5.15.5.F.2.) **Within this section 5.15.5.F.2.a of the UDO it references simple compositions and no reference to roofs. The more relevant massing roof section is Section 5.15.5.F.2.b, which states Rooflines shall be simple, utilizing gables, hips, and sheds and should correspond to the massing of the building below. This building certainly follows this guidance. (clarification note associated with the right illustration of the standard). Specific to Section 5.15.5.F.2.a, the building mass shall consist of a simple composition. This building is a simple rectangular volume with hierarchy around the entries – very simple. In addition Sections 5.15.5.F.2.a,c,d are massing techniques that are successful in large footprint buildings. This is NOT a large format building, because they are only allowed in the Neighborhood Core HD Zoning District per section 5.15.5.F.11.a-2. This project is located in the Neighborhood Center HD Zoning District. The buildings are visually similar and in proportion to the recently approved Main Street buildings on Church Street, which are also adjacent to similarly scaled buildings in the neighborhood. On a SF/acre (density) basis, the proposed development is less than the precedent Church St project. Finally, an additional breakdown of scale and height has been introduced as the building extends towards the Heyward House property.**

8. Building mass shall consist of a simple composition of basic building forms that follow a clear hierarchy. Furthermore, do not clump everything equally under one enormous roof” (clarification note associated with the left illustration of the standard). Building 3’s massing approach currently does just that, by bringing all of the building’s mass together under one large roof. **Within this section 5.15.5.F.2.a of the UDO it references simple compositions and no reference to roofs. The more relevant massing roof section is Section 5.15.5.F.2.b, which states Rooflines shall be simple, utilizing gables, hips, and sheds and should correspond to the massing of the building below. This building certainly follows this guidance. (clarification note associated with the right illustration of the standard). Specific to Section 5.15.5.F.2.a, the building mass shall consist of a simple composition. This building is a simple rectangular volume with hierarchy around the entries – very simple. In addition Sections 5.15.5.F.2.a,c,d are massing techniques that are successful in large footprint buildings. This is NOT a large format building, because they are only allowed in the Neighborhood Core HD Zoning District per section 5.15.5.F.11.a-2. This project is located in the Neighborhood Center HD Zoning District. The buildings are visually similar and in proportion to the recently approved Main Street buildings on Church Street, which are also adjacent to similarly scaled buildings in the neighborhood. Finally, an additional breakdown of scale and height has been introduced as the building extends towards the Heyward House property.**

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9. In order to provide additional context for the impact of the proposed buildings and the neighboring sites, provide additional information on the massing next to neighboring residential structures on Green Street. The perspective images showing the relationship between the three proposed buildings and each other, as well as the relationship between Building 2, the Montessori School, and 55 Bridge Street are successful in providing information on how the street will look with Building 2 in place. As the major concern for mass and scale for Building 3 is with the relationship of the proposed structure and the neighboring Heyward House and outbuildings which are Contributing Structures, perspectives similar to the ones provided for Building 2 is requested. (UDO Section 3.2.2.E.) **Additional illustrations have been provided to provide street level perspectives with the existing landscape in context. In an analysis of the recently approved Church Street buildings in this district, these buildings have a similar composition and hierarchy. In response to the architecture, the building has been completely redesigned to have a more residential character and detail. The overall floor to floor height has been reduced to the minimum required.**

Recommendation: The roof overhangs seem somewhat timid and under-scaled relative to similar vernacular buildings in Bluffton, and would benefit from broader overhangs. In terms of more prescriptive standards, porch roof overhangs are required to be a minimum of 2 feet. It is unclear whether this standard is met on the two flanking porches. (UDO Section 5.15.6.E.5.d. and 5.15.6.P.1.) **Overhangs have been extended and modified to a more residential character.**

Recommendation: Eaves are also detailed as enclosed eaves with a smooth Hardie Panel soffit and a crown at the fascia. Consider using exposed rafter tails or, if enclosing the eave, a bed molding should be added where the frieze and soffit intersect; also, the soffit should be finished with a beaded or v-groove tongue and groove (UDO Section 5.15.6.P. 3-6). **Soffits have been modified and in certain areas proposed as exposed rafter tails.**

Recommendation: Fenestration should draw from the Bluffton vernacular pattern as stated earlier, with a more transparent street level and more traditional residential character on upper levels with legible rhythms of vertical openings of a similar size. The inclusion of operable shutters is encouraged. **The building has been completely redesigned to have a more residential character.**

Recommendation: The large blank wall composed of fiber cement panels on the south façade does not contribute to the architectural character of the elevation and should be reconsidered. Recommendation: While main street buildings are permitted in the Neighborhood Center Historic District, it should be noted that they are required in the blocks to the north (the red lines referenced on the UDO map on 5-56), those requirements do not extend to this block, indicating the change in context as Calhoun Street extends toward the May River. The scale of such buildings in this district is regulated by both the half story lower height requirement (as compared with the Neighborhood Core Historic District), and the scale provisions listed above relating to contextual scale. **Main Street buildings are permitted in this district and the provisions to ensure they are in scale and context are provided. These buildings meet the guidance for Main Street Buildings. As noted in previous submittals, the intent of the fiber cement panel detail is to provide a “canvas” for local artists to apply mural to. This particular mural is intended to be landscape oriented to blend with the already established landscape buffer.**

In addition to review by staff, The Town of Bluffton contracted Sottile and Sottile to provide additional review to speak to the architectural design, because of their background in HP and involvement in the adoption of the Old Town Master Plan. Additional suggestions include: UDO Section 5.15.6. states “A primary goal of this section is authenticity.” The standards encourage “Bluffton vernacular architecture and construction, and which draws its ornament and variety from the traditional assembly of genuine materials.” The level of detailing on the proposed facades, when viewed from a close proximity is minimal, failing to draw significantly from local precedent, while the composition of the facades themselves is often overly complex **[note staff comment 7 in contrast]**, relying on a variety of novel assemblies and juxtapositions while failing to achieve the very straightforward compositional legibility inherent in the Bluffton vernacular. The scale and character of much of the fenestration also fails to draw adequately from local precedents. **[the building has been completely redesigned to have a more residential scale and character]** The best examples of traditional Bluffton Main Street Buildings incorporate a storefront and a higher level of transparency at the street level, while upper level residential and other non-retail uses incorporate more conventional residential fenestration patterns, with single or narrow double doors and vertically proportioned windows forming a legible rhythm of voids that are generally similar in size. **[utilizing similar design**

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techniques approved at the Church St. project, this building has been restudied] This is indicated by the sample illustration on 5-85 of the UDO, as well as in all of the Main Street Building precedents shown in this section [**note per the UDO, *Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.**]. This residential character is particularly important on this portion of Calhoun Street, on which the overall character is considerably more residential than portions further north toward May River Road. The fenestration on a number of the facades proposed lack the clarity and hierarchy of these traditional examples, introducing a wide variety of glazing types and patterns and creating large expanses of transparency on upper residential levels, giving the upper levels more of a commercial feel. This dilutes the traditional contrast in fenestration between a lower commercial level and an upper residential level that is inherent in the Lowcountry vernacular; resulting in facades that lack the clarity and legibility found in Bluffton's best traditional Main Street Buildings. [**the building has been redesigned to have more residential character and patterns]** A viable solution for this site should be achievable within the parameters outlined above. The fundamental issue with the current proposal is that it lacks relatable scale within this specific context. While the UDO does set maximum footprint and height limits within this district, these upper limits should not be considered blanket entitlements that supersede other relevant and applicable standards that are also a part of the UDO, such as those requiring buildings to be visually similar in scale to those in the neighboring vicinity. [**the height has been reduced and the massing has been restudied to have a more residential character]** A refinement of this project that addresses issues of fenestration, finishes, and secondary details, while failing to address the fundamental issue of building format and massing will not adequately address the most critical standards that the current proposal does not meet. The project should be re-studied to address the issues above in order to meet the requirements and intent of the Bluffton UDO standards and the Old Town Master Plan principles. **As documented, during the 1/13/2020 HPRC meeting, Ms. Heyward and several other members from the public gathered around the table and provided input on the project. In order to understand her objections, a meeting took place at the Pine House on 3/4/2020. Heather Colin was in attendance as a representative of the Town. During that meeting, Ms. Heyward suggested we meet with Christian Sottile of Sottile and Sottile. Upon the urging of Heather Colin, on 3/19/2020, Ryan Hughes, Matt Cunningham, and James Atkins met with Mr. Sottile at his Savannah office. We appreciated his personal opinions on the project and adjustments were explored. Mr. Sottile provide his meeting notes to the meeting participants as well as Ms. Heyward shortly after the meeting on 3/20/2020. These meeting notes closely parallel the comments above. While we certainly respect Mr. Sottile's personal opinions on this project, it is disturbing that the Town retained Mr. Sottile after the Applicant, at the recommendation of UDO Administrator, undertook the additional time and expense to meet together with its consultants with Mr. Sottile in his Savannah office to discuss this project. However, Mr. Sottile's recommendations after that meeting misstated the availability to construct a Main Street Building type on this property and that mistake now carries over into the Staff comments. It is our understanding that Mr. Sottile has not been retained by the Town in such a capacity since the adoption of the UDO and the Old Town Master Plan and we question his insertion in this process at this late stage. The Applicant has retained local consultants with considerable experience and the requisite skill and knowledge for this project. At considerable expense the Applicant has strived to design a development respective of the site and Town goals set forth in the UDO and the Old Town Master Plan. It is the UDO and the Old Town Master Plan that govern development of this site and not the subjective views of a third party. The insertion of a new consultant to the Staff and the HPC this late in the process with the statement that the project be "re-studied in order to meet the intent of the UDO and the Old Town Master Plan" is overly broad, not reflective of comments made previously by Staff to the application and not consistent with the UDO and the Old Town Master Plan. Furthermore, the insertion of Mr. Sottile at this stage and the treatment of this Application is not consistent with the UDO nor the manner in which other projects in the Historic District have been treated and therefore unfair to the Applicant and we believe arbitrary.**

1. The proposed building is a Main Street Building. Main Street buildings must have an arcade, colonnade, marquee or awning along the front facade (arcades/colonnades are preferred). The proposed structure does not have one of the above referenced architectural features, but proposes the use of bracketed balconies along the front elevation. A determination by the full HPC must be made on the appropriateness of the use of bracketed balconies as an appropriate alternative to those features listed in the UDO. (UDO Section 5.15.6.E.3.) **Main Street buildings are permitted in this district and the provisions to ensure they are in scale and context are provided. These buildings meet the guidance for Main Street Buildings. Within the redesign, the introduction of an 8 ft colonnade has been achieved.**

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2. Additional information on the use of louvered screen on the balconies is required. It is challenging to view this as a traditional configuration of genuine materials for a balcony design. Photo examples of this application may assist in clarifying intent. **This appears to be a duplicated from the previous HPRC Town comments, but have been addressed in this submission. Additionally, as noted above, the louver details have been modified.**

1. See Development Plan for Transportation Comments. **Acknowledged.**

1. See Development Plan for Watershed Comments. **Acknowledged.**

1. Proposed Addresses for Resubmittal The apartments addresses will stay the same, but the office spaces could change depending on if the units could be subdivided again. - 71# Calhoun Street Unit 100, Unit 101, Unit 102, Unit 200, Unit 201, Unit 202 and Unit 300 **Acknowledged.**

1. Pending formal submittal of site plans showing the connectivity to BJWSA's System. **Acknowledged.**

1. HVAC units may not be located under the stairs per IBC section 1011.7.4. **The HVAC units have been removed/relocated.**

The below comments appear to be a copy of the previous comments from the submission on 1/13/2020 and were resolved in the current submission as noted in the application. These comments have been addressed above.

1. As the work proposed in this Certificate of Appropriateness (COFA) Application differs from the Approved Development Plan for this site (DP-11-17-011473), a Development Plan Amendment (DPA) must be reviewed and approved by the Development Review Committee prior to issuance of this COFA. A DPA has been submitted, however, all conditions must be satisfied, and an approval issued prior to the issuance of the COFA. Additionally, a subdivision application must be submitted, reviewed and approved prior to approval of the COFA.
2. The columns on the stairs and balconies are spaced further apart than they are tall. Columns shall be spaced no farther apart than they are tall. Columns must be reconfigured or additional columns added to meet the spacing requirements found above. (UDO Section 5.15.6.H.)
3. At time of final submittal, a site plan showing the placement of the structures is required in order to ensure compliance with the applicable lot standards including setbacks and building orientation. (Application Manual)
4. Provide additional information on the massing next to neighboring residential structures on Bridge Street. The structure will be located directly next to the Slave House and Summer Kitchen at the rear of the Heyward House property. Both of these outbuildings are Contributing Structures within the Old Town Bluffton Historic District. The intent of the Old Town Bluffton Historic District is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, and/or architecturally-worthy structures and areas of the Town; and to maintain such structures as visible reminders of the history and heritage of the Town. Building heights and widths shall be visually similar to those in the neighboring vicinity. Provide additional information on the massing of the proposed new construction next to the existing neighboring structures. (UDO Sections 5.15.5.F.1., 5.15.5.F.4., 5.15.1.C., 5.15.1.E. and the Old Town Master Plan).
5. The Application notes storefront windows on the second floor. Provide additional information the windows. (5.15.6.I.)
6. Provide additional information on service yard materials and configuration. (UDO Section 5.15.6.F.)
7. A determination must be made by the HPC on the appropriateness of the use of the louvering enclosing/wall material the balconies. Balconies may have roofs by are required to be open. (UDO Section 5.15.5.E.2.d. and UDO Section 5.15.6.G.3.)
8. The stucco paneling along the side elevations changes materials on mid plane. Material changes in the same plane or at exterior corners is not permitted. The material or configuration of the material change must be modified to meet the above standard (UDO Section 5.15.6.N.)
9. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide architectural details of the railing and baluster, gutter profile, shutters, a typical window detail, corner board/pilaster trim detail, water table detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)

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1. The proposed building is a Main Street Building. Main Street buildings must have an arcade, colonnade, marquee or awning along the front facade (arcades/colonnades are preferred). The proposed structure does not have one of the above referenced architectural features, but proposes the use of bracketed balconies along the front elevation. A determination by the full HPC must be made on the appropriateness of the use of bracketed balconies as an appropriate alternative to those features listed in the UDO. (UDO Section 5.15.6.E.3.)
2. Additional information on the use of louvered screen on the balconies is required. It is challenging to view this as a traditional configuration of genuine materials for a balcony design. Photo examples of this application may assist in clarifying intent.
3. While shutters are not required, when they are proposed they must be applied in a consistent manner. Add shutters to the all windows that can accept them. (UDO Section 5.15.6.A. and Section 5.15.5.F.4.c.)
4. On the West Elevation, consider adding a bracket to the extended roof over the stairs to provide a similar feature to the bracket used on the lower east elevation roofs.
5. The Application notes the chimney as being brick, but the plans do not show a chimney. Provide additional information to clarify if a chimney is proposed.

1. See Development Plan Amendment for Transportation Comments. **Acknowledged.**
1. See Development Plan Amendment for Stormwater comments. **Acknowledged.**

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	December 5, 2018
PROJECT:	14 Church Street – New Construction
APPLICANT:	Ansley Manuel
PROJECT MANAGER:	Erin Schumacher, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Ansley Manuel on behalf of James Jeffcoat, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-18-11936.** A Certificate of Appropriateness to construct a mixed-use building of approximately 4,745 SF at 14 Church Street, in the Old Town Bluffton Historic District and zoned as Neighborhood Center – HD.

INTRODUCTION: In March of 2017 a Subdivision Application was approved by the Town of Bluffton creating a three lot subdivision accessed off of Church Street near the intersection of Boundary Street. The construction in this application is proposed on one of these newly created lots. A Final Development Plan was reviewed by the Development Review Committee (DRC) at the October 9, 2018 meeting and the Planning Commission at the October 24, 2018 meeting. All DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

The Applicant is proposing the construction of a 2½-story mixed-use structure of approximately 4,745 SF located in the Old Town Bluffton Historic District. The Applicant has indicated that there will be approximately 2,000 SF of commercial space on the first floor with 2 residential units on the upper floors. The structure is designed as a Main Street Building Type which is an allowable building type within the Neighborhood Center-HD zoning district.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by proposing a combined side-gable and hip roof a forward-facing shed dormer, and colonnade. Additional materials that are in keeping with the vernacular of Bluffton include the use of chamfered columns, a combination of horizontal lap siding and stucco, corner board trim, and the use of stucco on the first floor columns.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 7, 2018 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new mixed-use structure in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed mixed-use building adds to the district and helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of a Main Street Building Type and, with the exception of the front build-to, meets the setbacks and dimensional requirements for that building type. As there is an existing over-head power line located at the front of the property, the Applicant is requesting the building be placed 17 feet from the property line, which exceeds the required front build-to by 7 feet, be approved as submitted. Per UDO Section 5.15.5.F.6., exceptions to Build-to Lines may be granted where existing significant natural features are present, to preserve protected trees and to preserve the integrity of neighboring historic resources. Exceptions may also be granted to accommodate outdoor design features such as dining areas, open-air markets and public art features. Staff is requesting a determination if an exception to the build-to should be granted in this case.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed building will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.6.G.3. Building Walls. The UDO states that stucco over concrete masonry units or reinforced concrete is a permitted building wall material. The proposed plans show stucco at the first floor level over typical wood framing. This configuration is not permitted and must be revised to be over concrete masonry units or reinforced concrete to meet the requirements of the UDO.
 - 2) Section 5.15.6.E.3.a. Colonnades/Arcades. The UDO states that colonnade depth is required to be a minimum of 8 feet from the build-to-line to the inside column face. As proposed, the colonnade is 6 feet deep along the front of the building to the outside of the column face. To meet the requirements of the UDO the colonnade depth would need to be increased to 8 feet.
 - 3) Section 5.15.6.H. Columns, Piers, Railings, Balustrades. The UDO provides design standards for railings and balustrades; however, an architectural detail was not provided. A detail of the railing and balustrade must be provided to ensure that the design meets the standards set forth in the UDO.

- 4) Section 5.15.6.A and 5.15.5.F.4.c. Architectural Standards and Building Composition. The Applicant has proposed a building with louvered shutters on the Left, Right, and Rear elevation. While shutters are not required, when they are proposed they must be applied in a consistent manner. As such, shutters should also be added to the front elevation and to any other windows that will accept them.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new mixed-use structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.5.F.6. of the UDO, the HPC must determine that the proposed placement due to the existing power lines, which exceeds the allowed front build-to, is an appropriate purpose for an exception to be granted.
2. Per Section 5.15.6.G.3. of the UDO, the proposed stucco at the first floor must be revised to be over concrete masonry units or reinforced concrete to meet the requirements of the UDO.

3. Per Section 5.15.6.E.3.a. of the UDO, the depth of the colonnade along the front of the building must be increased to a minimum of 8 feet.
4. Per Section 5.15.6.H. of the UDO and the Applications Manual, provide an architectural detail of the railing and balustrade to ensure that the design meets the standards set forth in the UDO.
5. Per Sections 5.15.6.A and 5.15.5.F.4.c. of the UDO, shutters should be added to the front elevation and to any other windows that will accept them.
6. Per Section 3.6 of the UDO, all DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

ATTACHMENTS:

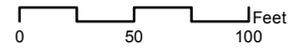
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. DRC Comments

14 Church Street Location Map

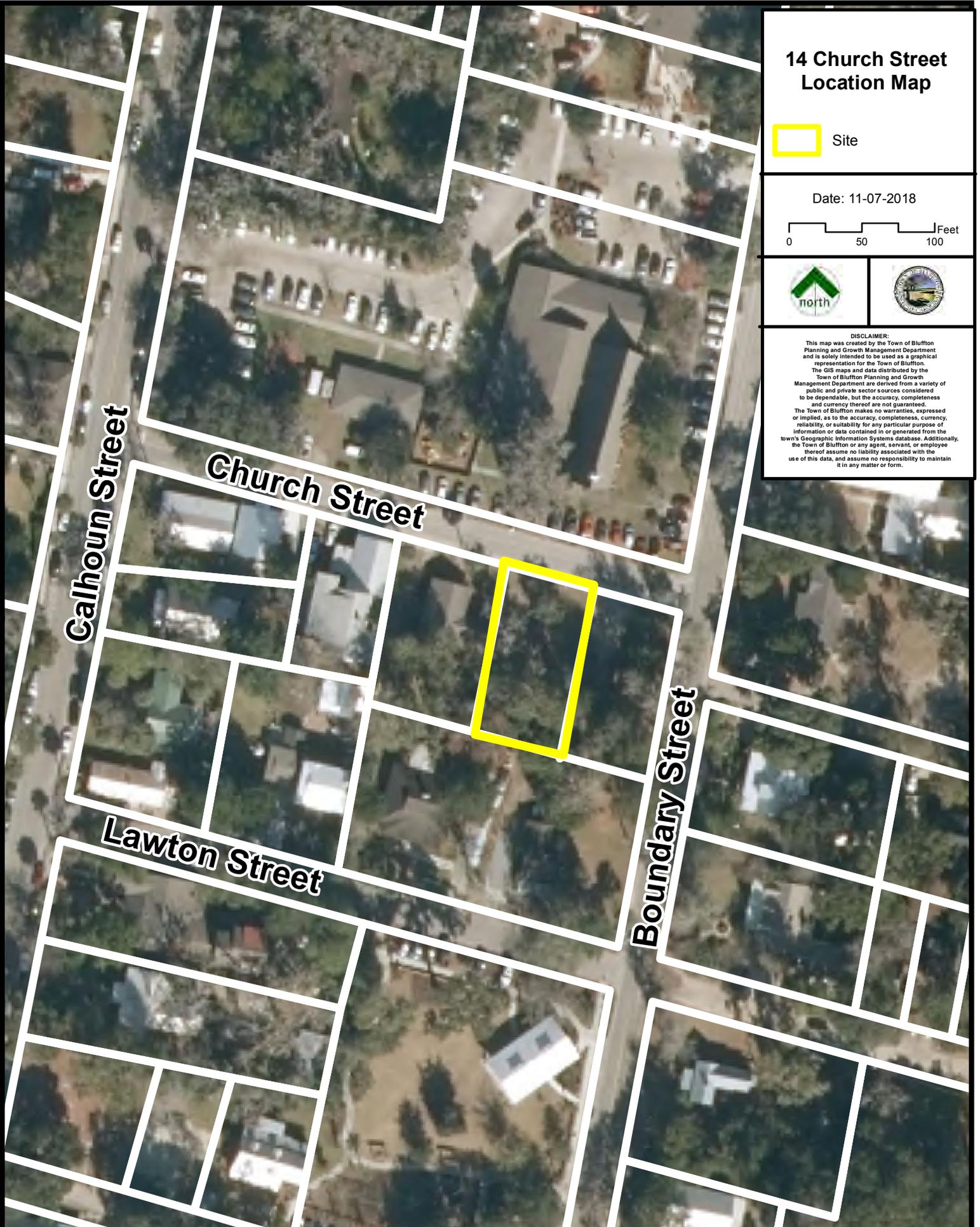


Site

Date: 11-07-2018



DISCLAIMER:
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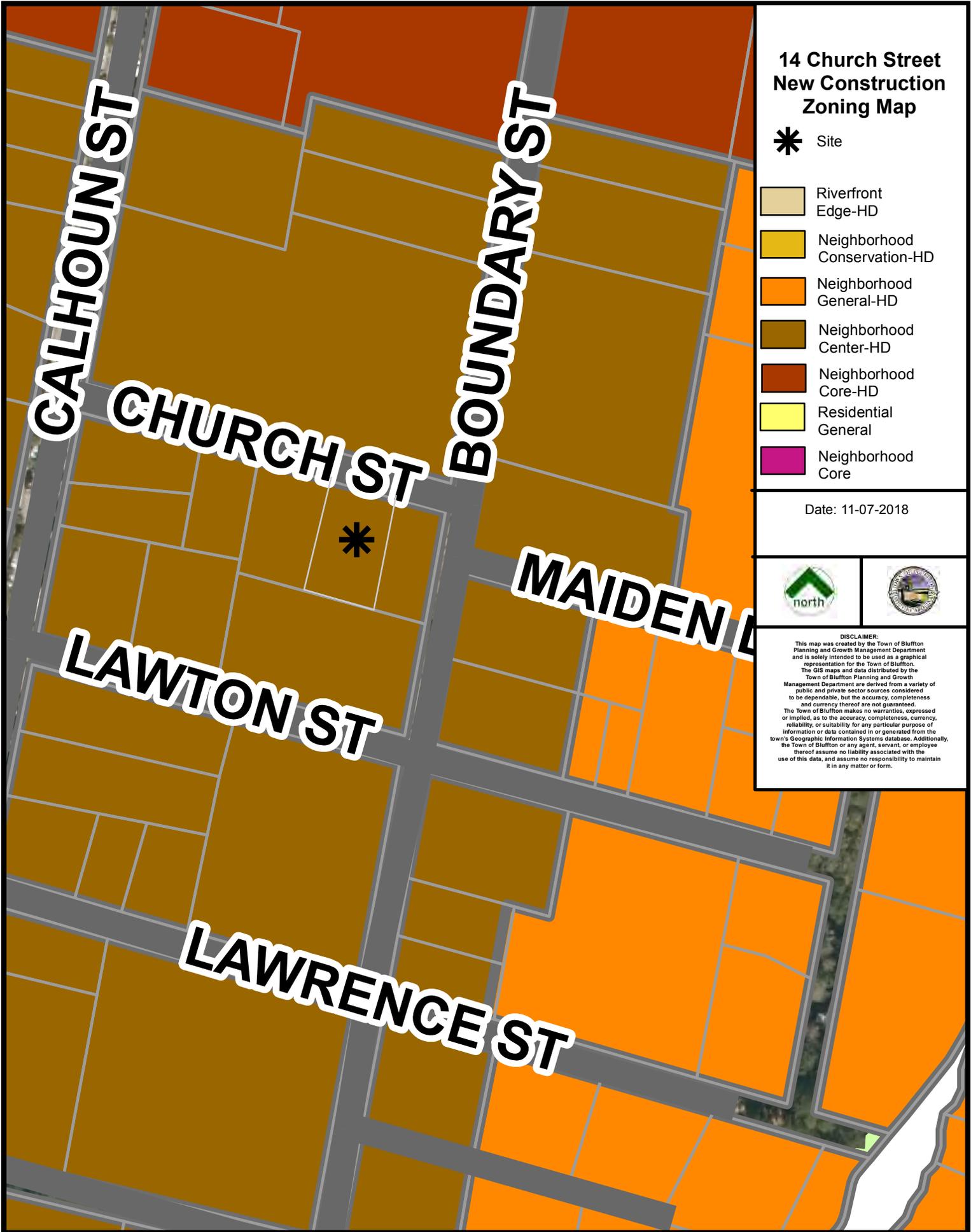


Calhoun Street

Church Street

Lawton Street

Boundary Street



14 Church Street New Construction Zoning Map

✱ Site

- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD
- Residential General
- Neighborhood Core

Date: 11-07-2018



DISCLAIMER:
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Project Narrative for 16 Church Street (Building B)

16 Church Street is the corner lot at the intersection of Boundary and Church Streets. It was recently created when 12 Church Street was split into three parcels under the guidance of Mr. Brian Pennell from Key Engineering. The property owner, Mr. James Jeffcoat, also owns 12 and 14 Church Street. The Bluffton General Store is located at 12 Church Street while the other two parcels are undeveloped.

14 Church Street (Building A) will most likely be developed first; however, our intentions are to plan a cohesive streetscape along Church Street with some common amenities such as the rear parking area and surrounding green space. It is important that the planning department also review 16 Church Street (Building B) at this time to provide insight into the future phase of development.

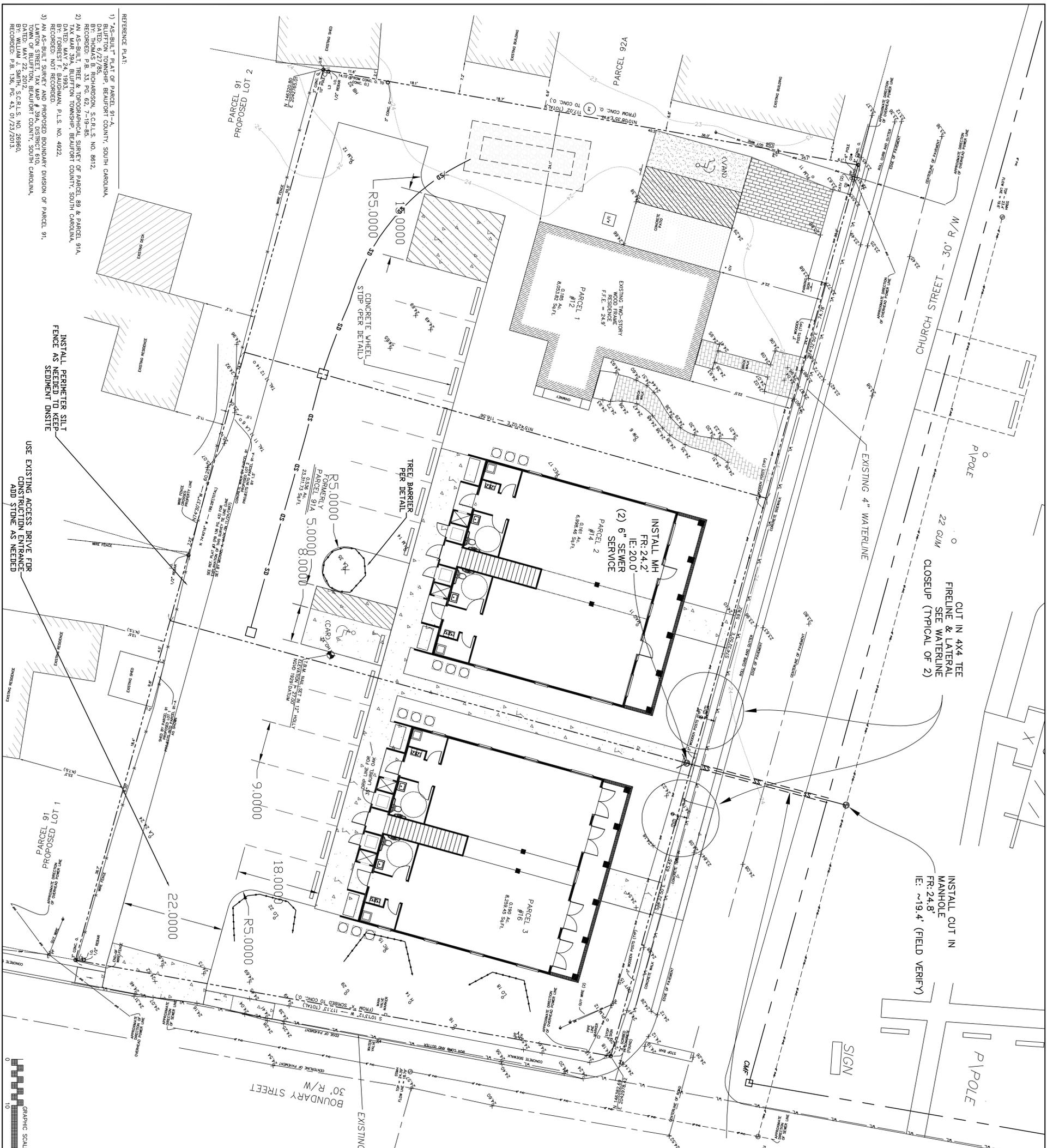
Building B will have three to four rental units. The ground floor can be lease in its entirety or split into two units. It will function as commercial space with a focus on retail or office use. The second and third floors are divided into two units and will function as residential apartments. The third floor allows the residential tenant to have a guest facility or home office.

The property is zoned as Neighborhood Center Historic District. The architectural form is the Main Street Building Type. The front setback is 0 to 10 feet. Note the existing overhead power lines along Church Street have an air easement. The side setbacks are 8 feet and rear setback is 25 feet. The building type allows 2 ½ stories.

Although the floor plans are similar both Building A and B, the elevations will show the public two differing exteriors through the use of varied finish materials, window and door patterns, roof lines and construction details. Both buildings have a piano nobile at the ground floor level. This is a classic approach to the street façade of commercial below and residential above.

Our design team, made up of the property owner, architect, landscape architect and civil engineer, find this proposal to be an exciting addition to the thriving downtown rental market. It follows the demands of our times as our youth and retired are taking advantage of the benefits of living and working in the center of town. We hope the building will provide a range of possibilities for its tenants.

Ansley Hester Manuel, Architect



NOTES

- 1) HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, 1985 EDITION, AS AMENDED, AND THE SURVEY IS CLASSIFIED AS A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE G, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- 3) BENCHMARK, SPOT ELEVATIONS AND CONTOURS BASED ON NAD 1929 DATUM.
- 4) BEARING AND STATE PLANE COORDINATES SHOWN WERE ESTABLISHED FROM GPS OBSERVATIONS. SEE REFERENCE PLAT #1 FOR RECORD BEARINGS.
- 5) BUILDING SETBACKS WHICH EXIST FOR THIS LOT SHOWN OR NOT SHOWN ARE FOR INFORMATION ONLY AND SHOULD BE VERIFIED THROUGH APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 6) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 7) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY. THE DATE OF SURVEY IS THE DATE THIS DOCUMENT IS PROVIDED AS OF MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 8) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

JACK & BORE FOR 35 LF OF 8" SEWER MAIN C900 (SDR 26) FPVC AT 1.0% MIN WITH 28 LF OF WELDED 16" STEEL CASING ASTM A139 (PER BWSA REQUIREMENTS)

LEGEND:

THESE SIZES ARE INCHES IN DIAMETER

- CONC. O. CONTOUR ELEVATION
- TE.M. CONCRETE MONUMENT, OLD (FOUND)
- R/W. TEMPORARY BENCH MARK
- R/W. RIGHT-OF-WAY
- A.C. ACRES
- B.S.L. BUILDING SETBACK LINE
- A/C. AIR CONDITIONING UNIT
- CATV. CABLE TELEVISION BOX
- SMK. SKIMMER (PAN-COIT)
- F.H. FIRE HYDRANT
- I.C.V. IRRIGATION CONTROL VALVE
- P.P. POWER POLE
- P.T. PROGRAM TANK
- SS.H. SANITARY SEWER MANHOLE
- D.W. DRAINAGE
- O. GUM
- H.B. HACKBERRY
- H.O. HOLLY
- L.A. LAUREL OAK
- M.A.G. MAGNOLIA
- P.E.C. PECAN
- P.M.A. PALM
- P.M.R. RED CEDAR
- T.A.L. TALLOW

PREPARED FOR: JAMES W. JEFFCOAT & MICHELE R. JEFFCOAT
 ADDRESS: #12 CEDAR STREET
 TAX PARCEL ID: NO. R010-039-00A-0391A-0000
 BOUNDARY, ASBUILT
 TREE & TOPOGRAPHIC
 SURVEY OF

PARCEL 91-A, CHURCH STREET
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'-0"
 DATE: 12/02/2016
 JOB NO: SC160206

SURVEYING CONSULTANTS
 17 Shopton Pike, Suite C, Bluffton, SC 29906
 SC Telephone: (843) 615-3894 FAX: (843) 615-3905
 GA Telephone: (678) 856-2775
 WWW.SurveyingConsultants.com
 Email: Surveying@surveyingconsultants.com

<p>12 CHURCH STREET MIXED USE COMMERCIAL BLUFFTON, SOUTH CAROLINA PREPARED FOR JAMES JEFFCOAT</p> <p>UTILITY, STAKING AND PAVEMENT MARKING PLAN</p>	<p>KEY ENGINEERING, Inc. P.O. BOX 2569 BLUFFTON, SOUTH CAROLINA 29910 PH (843) 227-3031 / FAX (843) 757-9031</p>	<p>DESIGNED BY: BPP</p> <p>DRAWN BY: BPP</p> <p>DATE: 1/12/18</p> <p>SCALE: 1"=10'</p> <p>PROJECT NO: 17113</p> <p>C.02</p>
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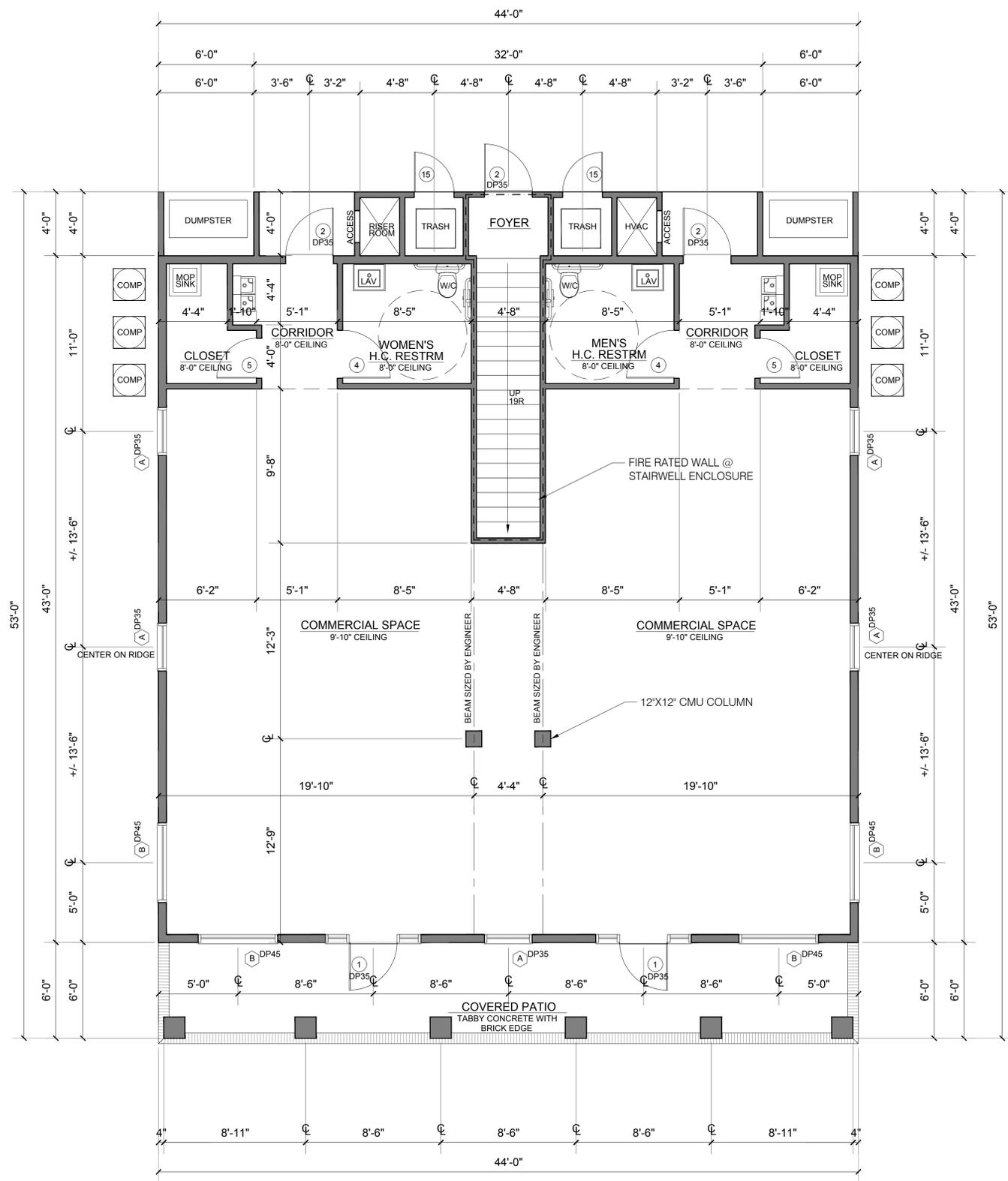


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REVIEW SET

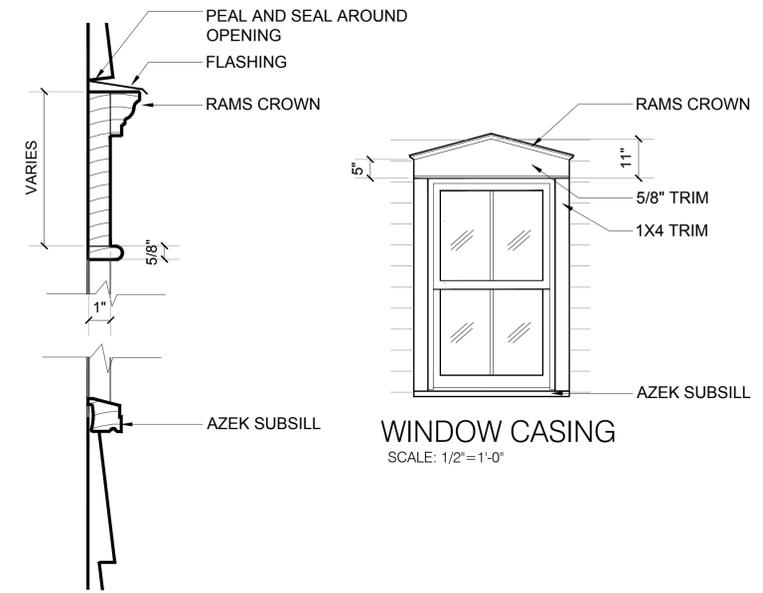
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 138 Burnt Church Road, Bluffton, South Carolina 29910 physical
 104 Pritchard Street, Bluffton, South Carolina 29910 mailing
 843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
 14 Church Street
 Bluffton, South Carolina 29910
FIRST FLOOR PLAN

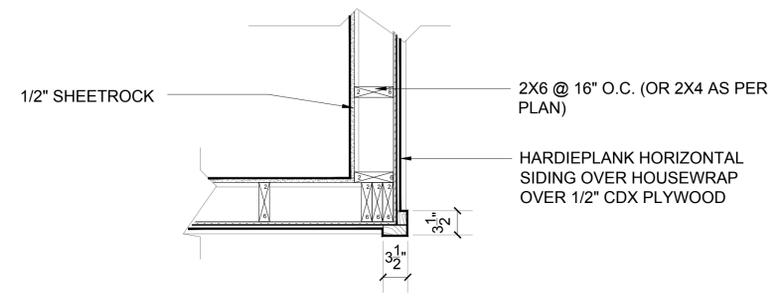
SHEET
A1



A FIRST FLOOR PLAN
A1 SCALE: 1/4"=1'-0"



B PEDIMENT WINDOW TRIM DETAIL
A1 SCALE: 3"=1'-0"



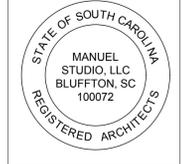
C TYPICAL CORNER PLAN DETAIL
A1 SCALE: 1"=1'-0"

DOOR SCHEDULE				
DOOR #	WIDTH & HEIGHT	STYLE	REMARKS	LITES
1	3'-0" X 8'-0"	FULL GLASS	OUTSWING, 1'-4"X8'-0" SIDELIGHT EA SIDE	4
2	3'-0" X 6'-8"	HALF GLASS	OUTSWING	
3	3'-0" X 7'-0"	FULL GLASS	OUTSWING	
4	3'-0" X 6'-8"	COMPOSITE		
5	2'-6" X 6'-8"	COMPOSITE		
6	3'-0" X 7'-0"	COMPOSITE	FIRE RATED	
7	3'-0" X 7'-0"	COMPOSITE		
8	2'-8" X 7'-0"	COMPOSITE	POCKET	
9	2'-6" X 7'-0"	COMPOSITE		
10	5'-0" X 7'-0"	COMPOSITE	DOUBLE	
11	1'-6" X 7'-0"	COMPOSITE		
12	2'-0" X 7'-0"	GLASS	SHOWER	
14	5'-0" X 7'-0"	COMPOSITE	POCKET DOUBLE	
15	2'-6" X 6'-8"	LOUVER	OUTSWING	

ALL EXTERIOR DOORS TO BE METAL UNLESS OTHERWISE NOTED.
 ALL INTERIOR DOORS TO BE 5 PANEL COMPOSITE MATERIAL, MDF PREFERRED, UNLESS OTHERWISE NOTED.
 ALL GLASS TO BE IMPACT RESISTANT.
 FIRE RATED DOORS TO HAVE CLOSERS.

WINDOW SCHEDULE				
WINDOW	WIDTH & HEIGHT	STYLE	REMARKS	LITES
A	3'-0" X 6'-0"	DOUBLE HUNG		2/2
B	5'-0" X 6'-0"	FIXED		6
C	3'-0" X 5'-0"	DOUBLE HUNG	EGRESS REQUIRED	2/2
D	2'-4" X 3'-8"	DOUBLE HUNG		2/2
E	2'-6" X 4'-0"	CASEMENT		4

ALL WINDOWS ARE ALUMINUM CLAD EXTERIOR / WOOD INTERIOR.
 ALL GLASS TO BE IMPACT RESISTANT.
 DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER

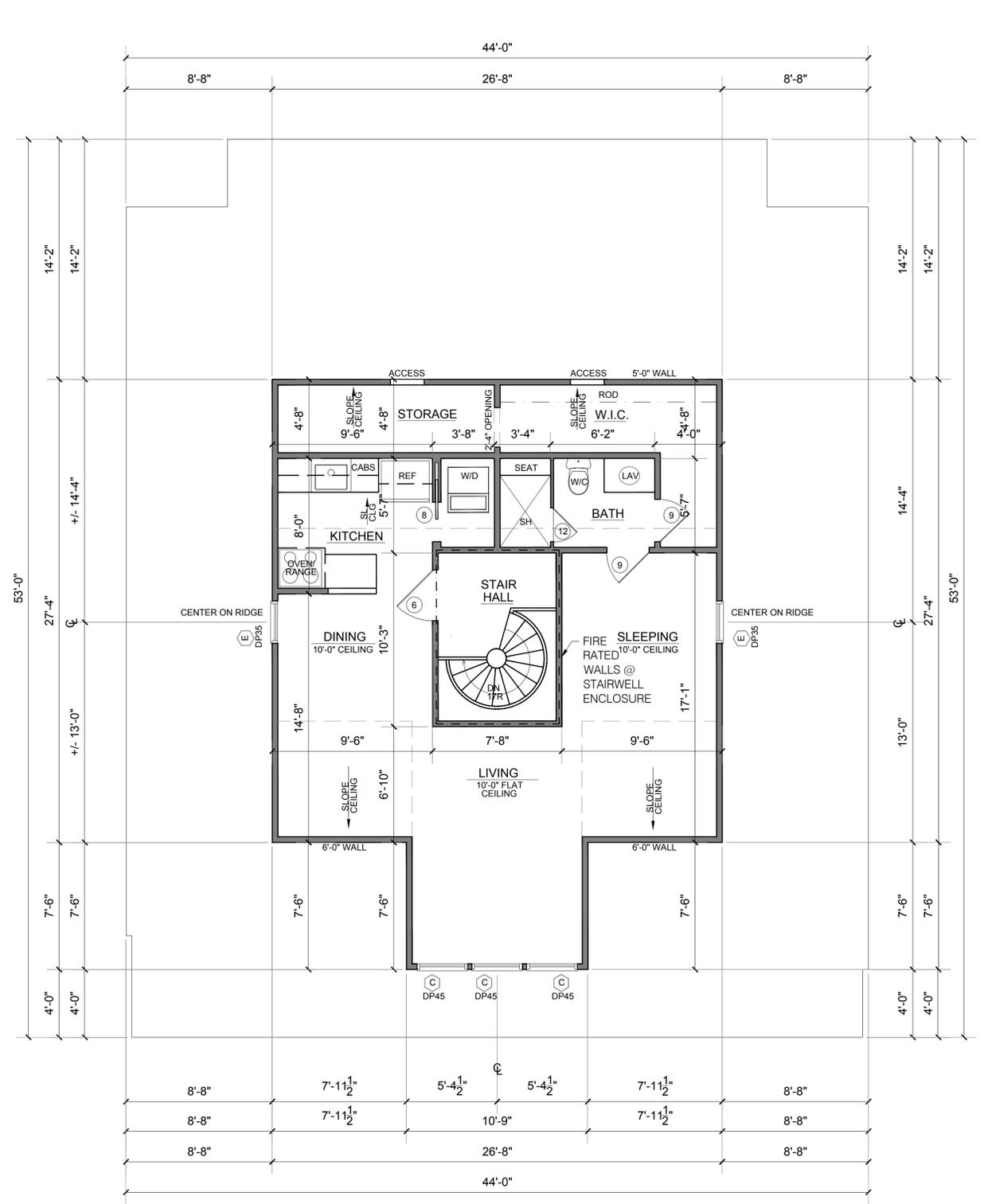
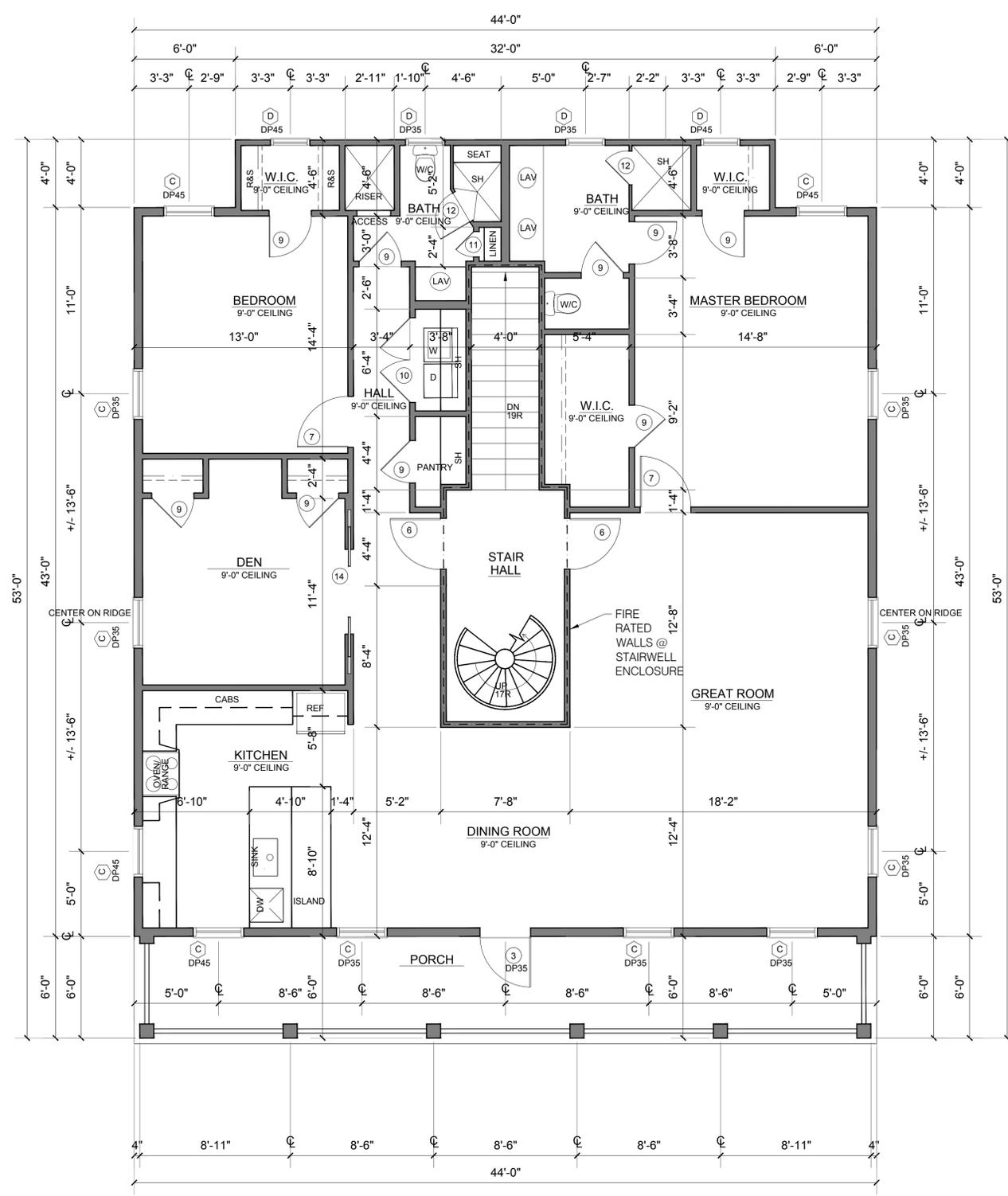


DATE :
11/15/18
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 138 Burnt Church Road, Bluffton, South Carolina 29910 physical
 104 Pritchard Street, Bluffton, South Carolina 29910 mailing
 843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELE JEFFCOAT
 14 Church Street
 Bluffton, South Carolina 29910
SECOND & THIRD FLR PLAN

SHEET
A2





DATE :
11/15/18
REVIEW SET

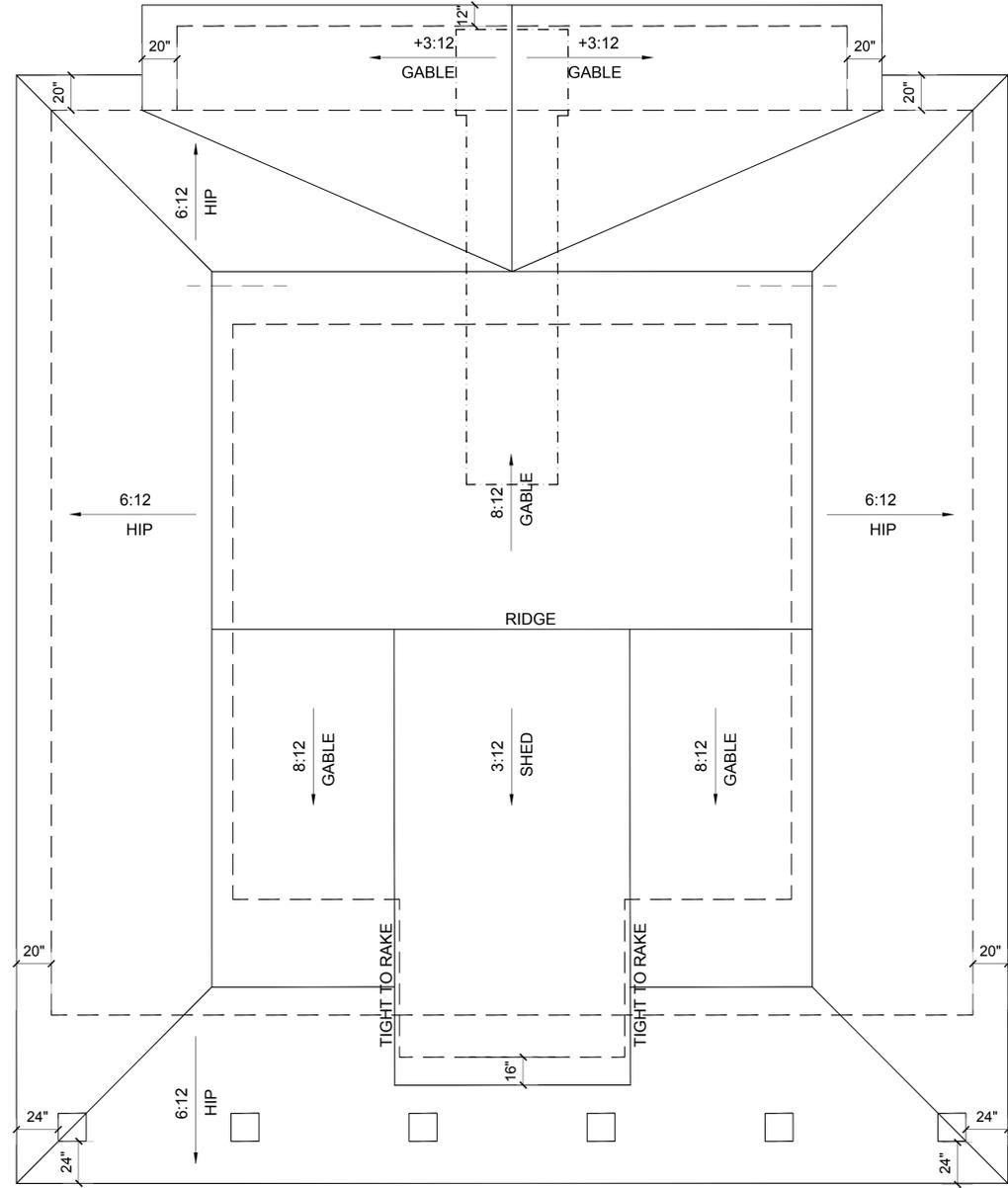
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
14 Church Street
Bluffton, South Carolina 29910

ROOF PLAN

SHEET

A3



A ROOF PLAN
A3 SCALE: 1/4"=1'-0"



DATE : 11/15/18
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Ansley Hester Manuel, Architect
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 104 Pritchard Street, Bluffton, South Carolina 29910 mailing
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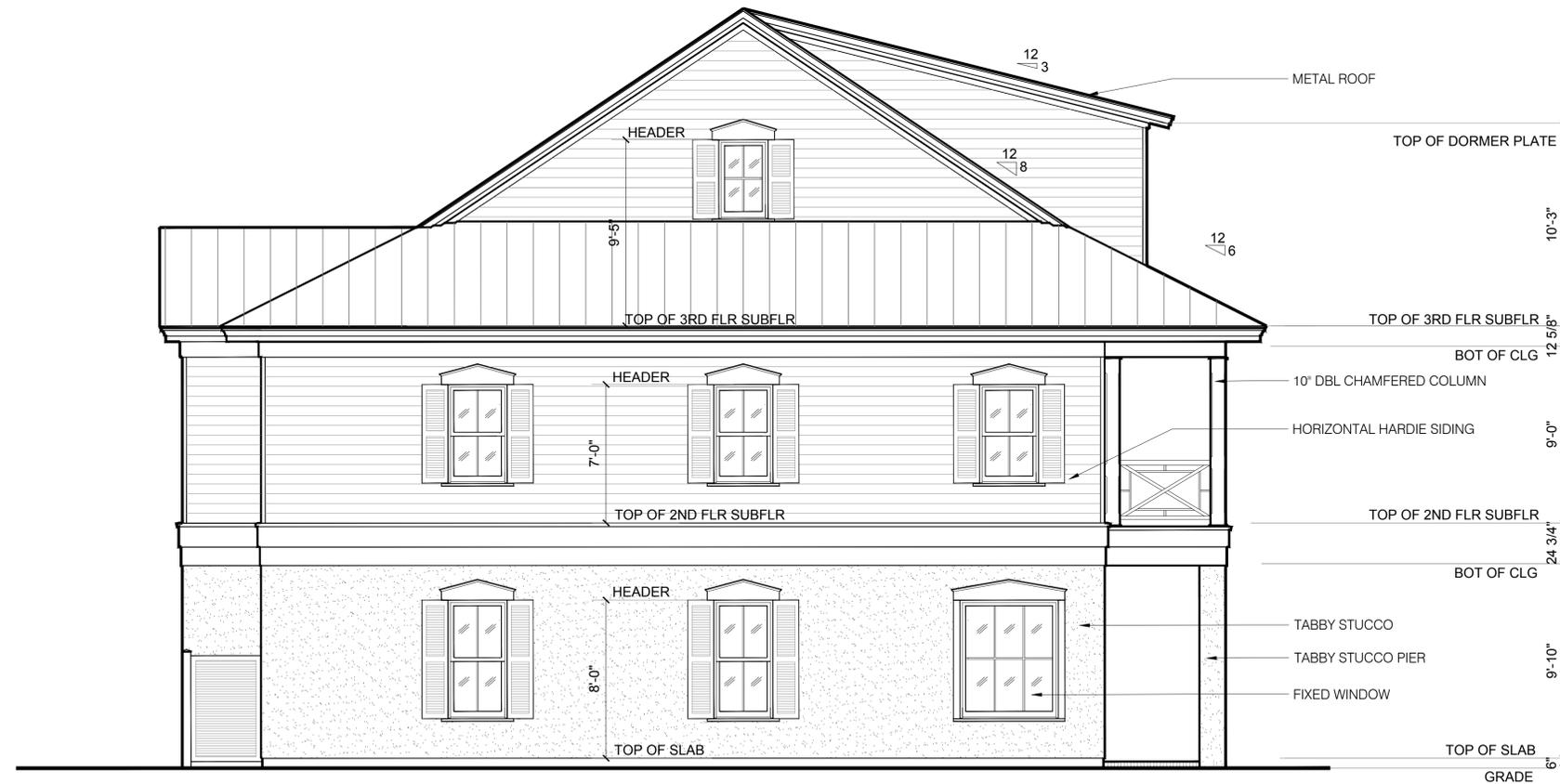
COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
 14 Church Street
 Bluffton, South Carolina 29910
ELEVATIONS

SHEET

A4



A CHURCH ST. ELEVATION
A4 SCALE: 1/4"=1'-0"



B LEFT ELEVATION
A4 SCALE: 1/4"=1'-0"



DATE : 11/15/18
REVIEW SET

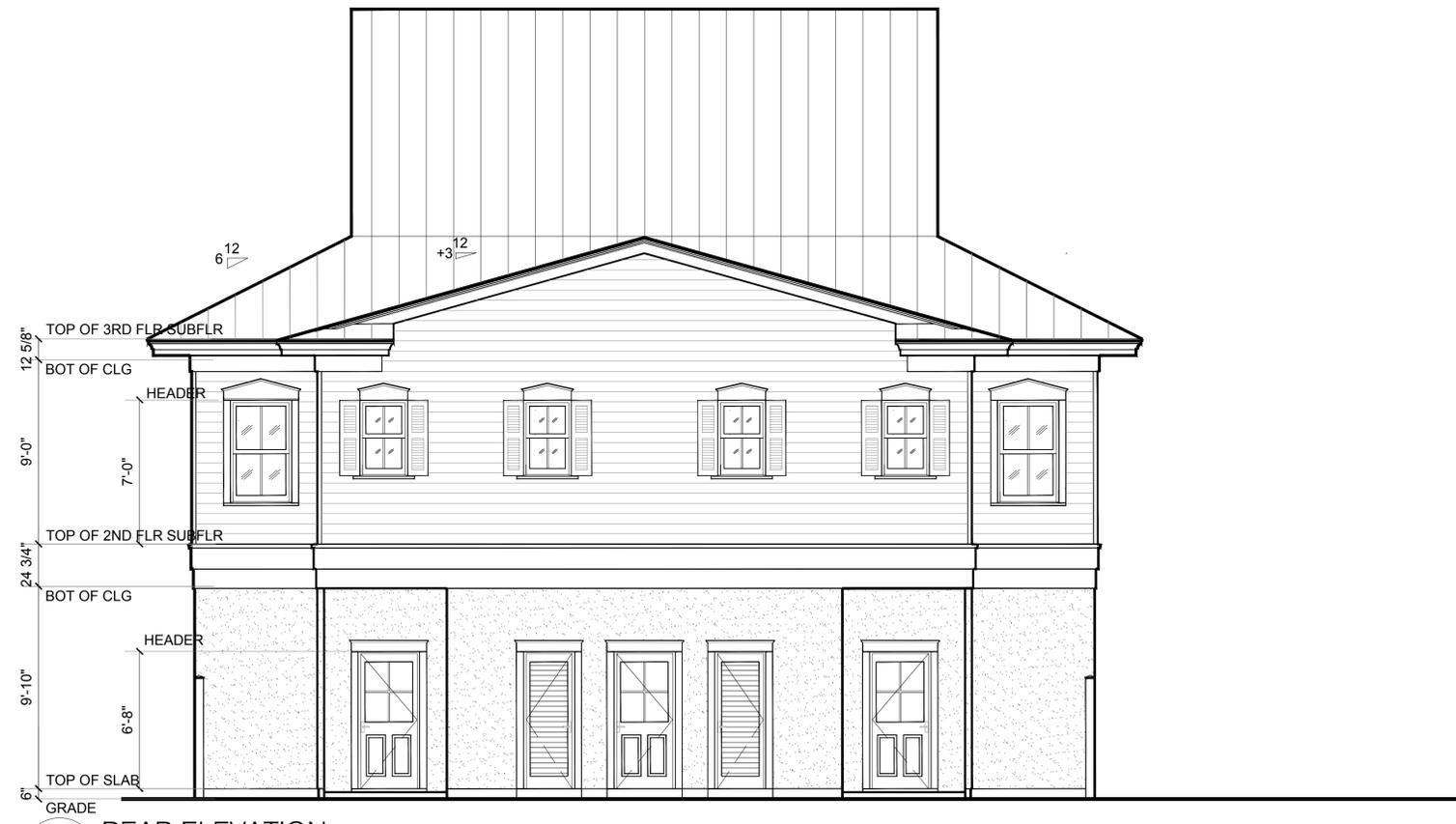
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Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
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COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
14 Church Street
Bluffton, South Carolina 29910

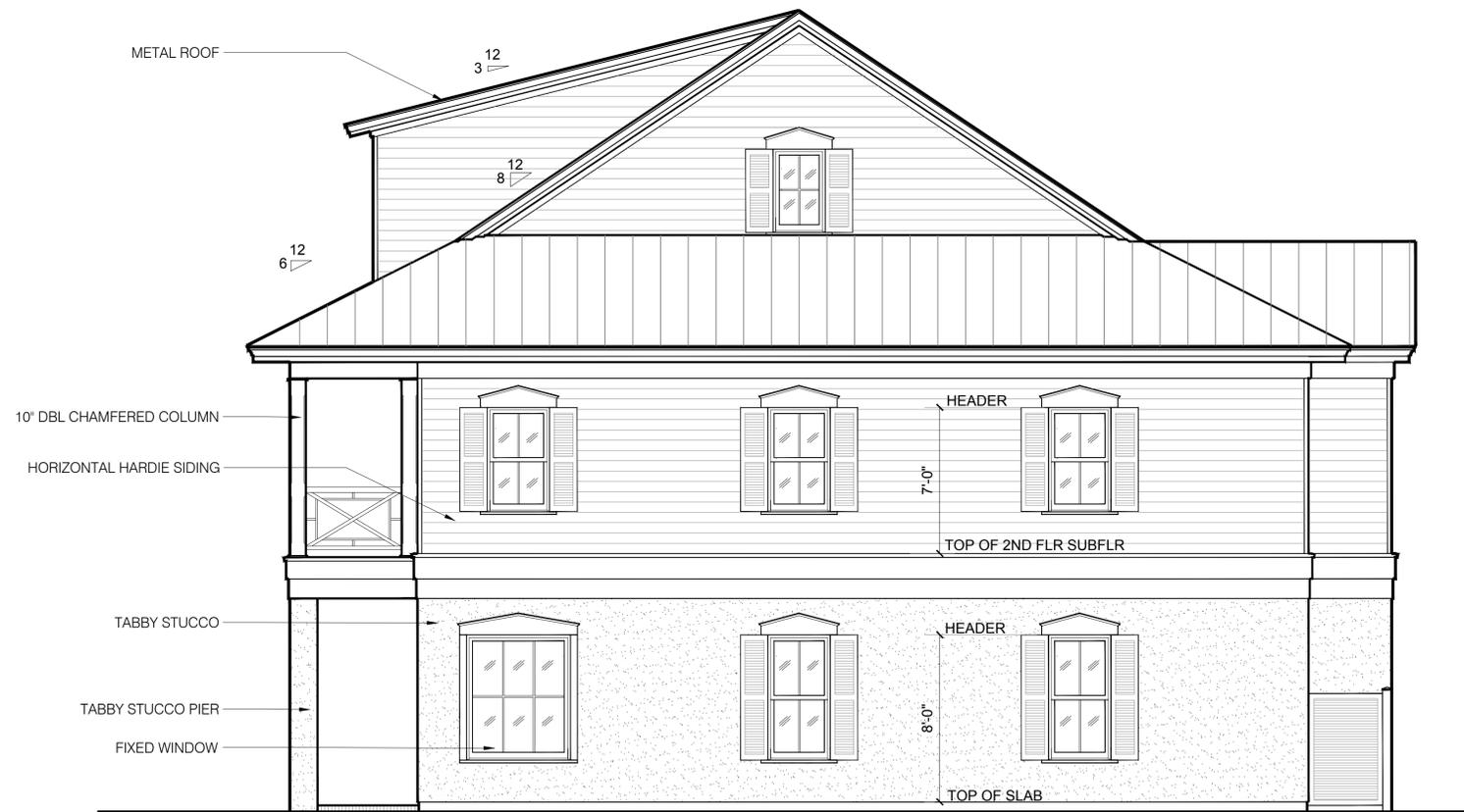
ELEVATIONS

SHEET

A5



A REAR ELEVATION
A5 SCALE: 1/4"=1'-0"



B GENERAL STORE ELEVATION
A5 SCALE: 1/4"=1'-0"

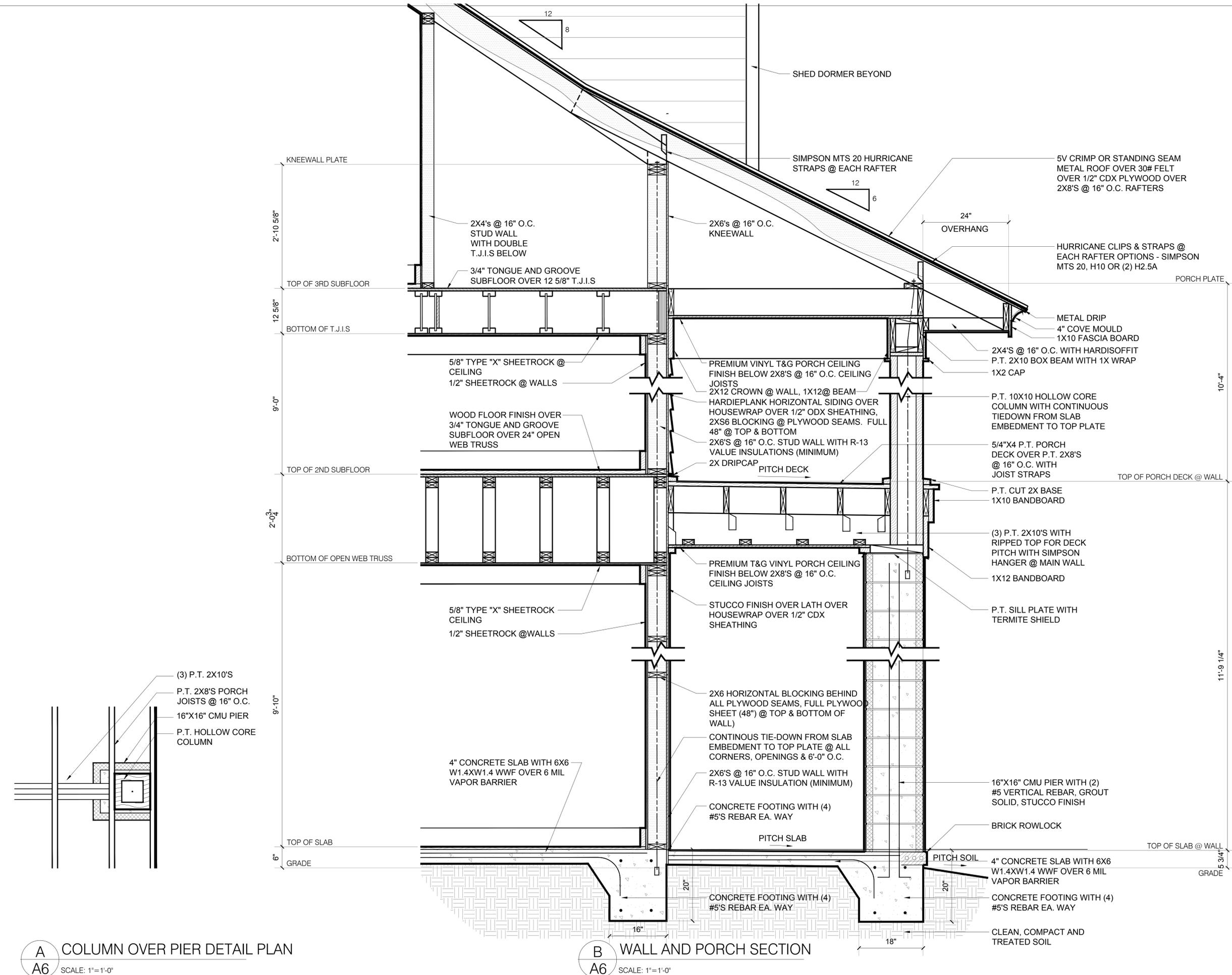


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Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
14 Church Street
Bluffton, South Carolina 29910
WALL SECTIONS

SHEET
A6





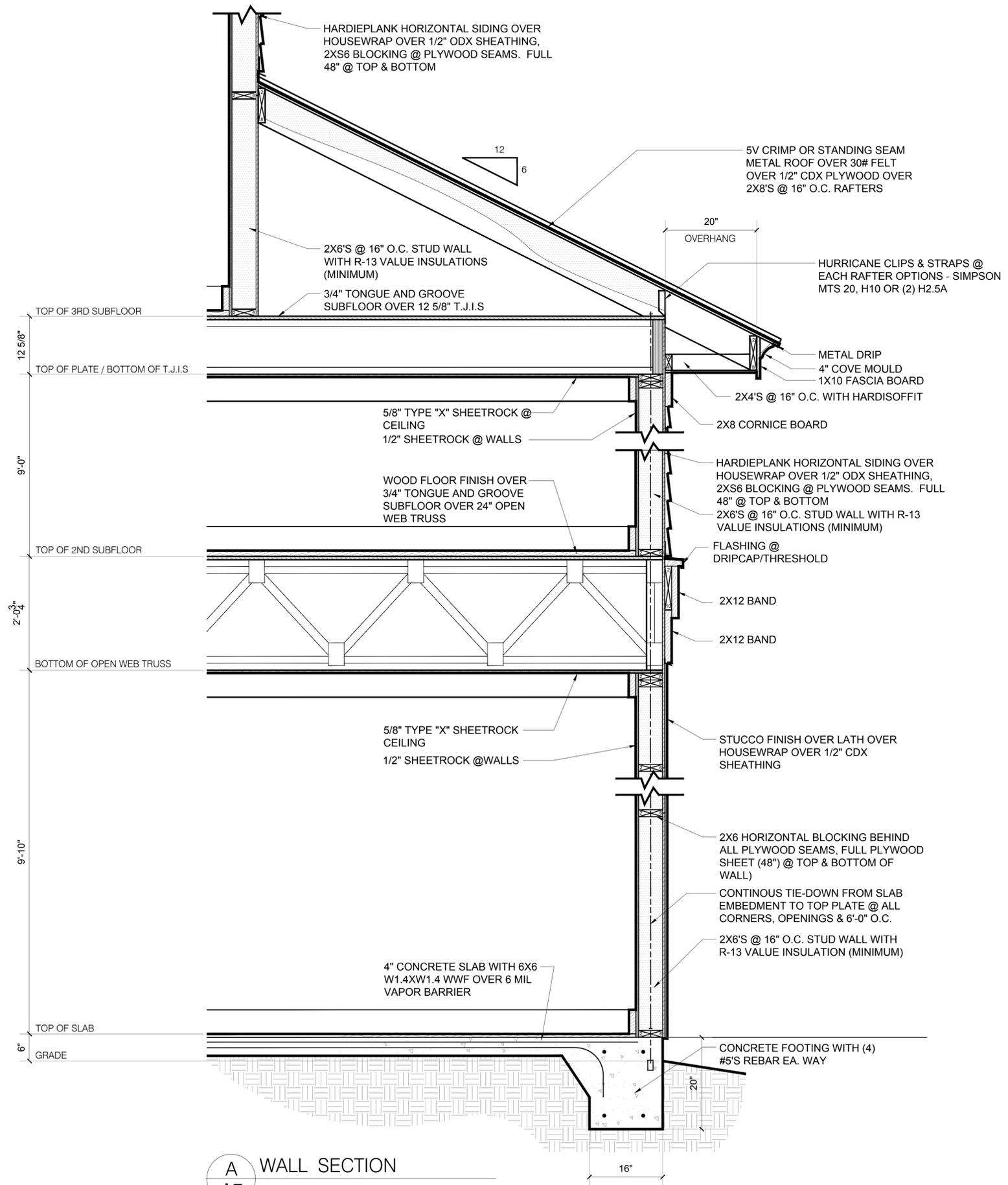
DATE : 11/15/18
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 138 Burnt Church Road, Bluffton, South Carolina 29910 physical
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COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
 14 Church Street
 Bluffton, South Carolina 29910
 WALL SECTIONS

SHEET

A7



A WALL SECTION
A7 SCALE: 1"=1'-0"



PLAN REVIEW COMMENTS FOR COFA-04-18-011936

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type: Historic District **Apply Date:** 04/24/2018
Plan Status: Active **Plan Address:** 12 Church St
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R610 039 00A 0384 0000
Plan Description: The Applicant is proposing to construct two mixed use building with similar floor plans, but different elevations, details and finish materials.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the May 7th meeting.

Staff Review (HD)

Submission #: 1 Recieved: 04/24/2018 Completed: 05/04/2018

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	05/04/2018	Erin Schumacher	Approved with Conditions

Comments:

- For the final application provide a landscape plan noting foundation plantings, street tree locations, proposed tree removal, and any landscaping proposed for buffering. (Applications Manual)
- Regardless of the health or condition, a Town of Bluffton tree removal permit is required for the removal of any tree , 8 inches in diameter at breast height (DBH). (UDO Section 3.22.2.A.)
- For the final application provide architectural details of the railing and baluster, a typical window detail, corner board and water table trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
- Provide additional information to clarify the proposed type of metal roofing material (5V and standing seam are permitted). (UDO Section 5.15.6.)
- Colonnade depth is required to be 8 ft. minimum from the build-to-line to the inside column face and 18" from the outside column face to the curb.. As proposed, the colonnade is less than 6 ft. deep from build-to-line to inside of column face. Revise colonnade to meet the minimal depth requirements. (UDO Section 5.15.6.E.3.a.)
- The proposed building placement is 16' from the front property line. This does not meet the front build-to requirement of 0'-10' for the Main Street Building Type and must be revised to meet the dimensional standards of the UDO. (UDO Section 5.15.5.F.6.)
- As this proposed activities constitute development, it requires a development plan to be submitted to the Development Review Committee (DRC). All comments from the DRC review must be addressed prior to the issuance of a Certificate of Appropriateness. (UDO Section 3.10.2.A.)

Recommendation: Per the UDO, building heights and widths shall be visually similar to those in the neighboring vicinity and be consistent with the scale, form, and building proportion of the surrounding neighborhood. To better relate to the smaller scaled structure on Lot 1, consider revising the roofline/massing of the structure to appear less bulky and more responsive the surrounding structures. As well, please provide a streetview massing study with your final application to assist the HPC in understanding the spatial relationships/interplay of the 3 building. (UDO Section 5.15.F.1.a. and Section 3.18.3.D.)

Addressing Review	04/24/2018	Carl Norris	Approved with Conditions
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Comments:

- Address for parcel/structure is 14 CHURCH ST.
- Address for individual units:
 1st Floor Commercial - 14 CHURCH ST., UNIT-1A & UNIT-1B
 2nd Floor 2-Story Residential - 14 CHURCH ST., UNIT-2A & UNIT-2B

Transportation Department Review - HD	05/04/2018	Kevin Icard	Approved
---------------------------------------	------------	-------------	----------

Comments:

- Comments will be provided during the Development Plan Review process regarding parking, access, and circulation.

Comments:

1. Comments will be provided during the Development Plan Review process.

Beaufort Jasper Water and Sewer
Review

04/26/2018

Dick Deuel

Approved

Comments:

1. Water/sewer design under review by BJWSA.

HPRC Review

04/26/2018

Erin Schumacher

Approved

Comments:

1. For final application, provide material call-outs and additional architectural details. (Applications Manual)

Plan Review Case Notes:

HISTORIC PRESERVATION COMMISSION



STAFF REPORT

Department of Growth Management

MEETING DATE:	December 5, 2018
PROJECT:	16 Church Street – New Construction
APPLICANT:	Ansley Manuel
PROJECT MANAGER:	Erin Schumacher, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Ansley Manuel on behalf of James Jeffcoat, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-18-11938.** A Certificate of Appropriateness to construct a mixed-use building of approximately 5,015 SF at 16 Church Street, in the Old Town Bluffton Historic District and zoned as Neighborhood Center – HD.

INTRODUCTION: In March of 2017 a Subdivision Application was approved by the Town of Bluffton creating a three lot subdivision accessed off of Church Street near the intersection of Boundary Street. The construction in this application is proposed on one of these newly created lots. A Final Development Plan was reviewed by the Development Review Committee (DRC) at the October 9, 2018 meeting and the Planning Commission at the October 24, 2018 meeting. All DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

The Applicant is proposing the construction of a 2½-story mixed-use structure of approximately 5,015 SF located in the Old Town Bluffton Historic District. The first floor is proposed for commercial use while the upper floors are proposed for residential use. The structure is designed as a Main Street Building Type which is an allowable building type within the Neighborhood Center-HD zoning district.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by proposing a side-gabled structure with a wide forward-facing gable dormer, colonnade, and exposed rafter tails. Additional materials that are in keeping with the vernacular of Bluffton include the use of chamfered columns, a combination of horizontal lap and shingle siding, corner board trim, and the use of brick on the first floor columns.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 7, 2018 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.18.3.B.** Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new mixed-use structure in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed mixed-use building adds to the district and helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of a Main Street Building Type and, with the exception of the front build-to, meets the setbacks and dimensional requirements for that building type. As there is an existing over-head power line located at the front of the property, the Applicant is requesting the building be placed at 17 feet from the property line, which exceeds the required front build-to by 7 feet, be approved as submitted. Per UDO Section 5.15.5.F.6., exceptions to Build-to Lines may be granted where existing significant natural features are present, to preserve protected trees and to preserve the integrity of neighboring historic resources. Exceptions may also be granted to accommodate outdoor design features such as dining areas, open-air markets and public art features. Staff is requesting a determination if an exception to the build-to should be granted in this case.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed building will be in conformance with applicable provisions provided in Article 5:
- 1) Section 5.15.6.E.3.a. Colonnades/Arcades. The UDO states that colonnade depth is required to be a minimum of 8 feet from the build-to-line to the inside column face. As proposed, the colonnade is 6 feet deep along the front of the building to the outside of the column face. To meet the requirements of the UDO the colonnade depth would need to be increased to 8 feet.
 - 2) Section 5.15.6.H. Columns, Piers, Railings, Balustrades. The UDO provides design standards for railings and balustrades; however, an architectural detail was not provided. A detail of the railing and balustrade must be provided to ensure that the design meets the standards set forth in the UDO.
 - 3) Section 5.15.6.F.2.c. Architectural Elements. The site planning of the building currently shows 3 HVAC compressors flanking the rear corners of each side of the building. The UDO states that air conditioner compressors shall only be located in rear yards or sideyards not facing side streets. As such, the compressors on the Boundary St. Elevation must be relocated to the rear or side yard not facing the street.

- 4) Section 5.15.6.A and 5.15.5.F.4.c. Architectural Standards and Building Composition. The Applicant has proposed a building with louvered shutters on the Rear Elevation only. While shutters are not required, when they are proposed they must be applied in a consistent manner. As such, shutters should also be added to the front elevation and to any other windows that will accept them.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new mixed-use structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.5.F.6. of the UDO, the HPC must determine that the proposed placement due to the existing power lines, which exceeds the allowed front build-to, is an appropriate purpose for an exception to be granted.
2. Per Section 5.15.6.E.3.a. of the UDO, the depth of the colonnade along the front of the building must be increased to a minimum of 8 feet.

3. Per Section 5.15.6.H. of the UDO and the Applications Manual, provide an architectural detail of the railing and balustrade to ensure that the design meets the standards set forth in the UDO.
4. Per Section 5.15.6.F.2.c. of the UDO, the three A/C compressors on the Boundary St. side of the building must be relocated to the rear or side yard not facing the street.
5. Per Sections 5.15.6.A and 5.15.5.F.4.c. of the UDO, shutters should be added to all windows that will accept them.
6. Per Section 3.6 of the UDO, all DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

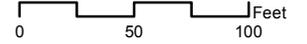
ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. DRC Comments

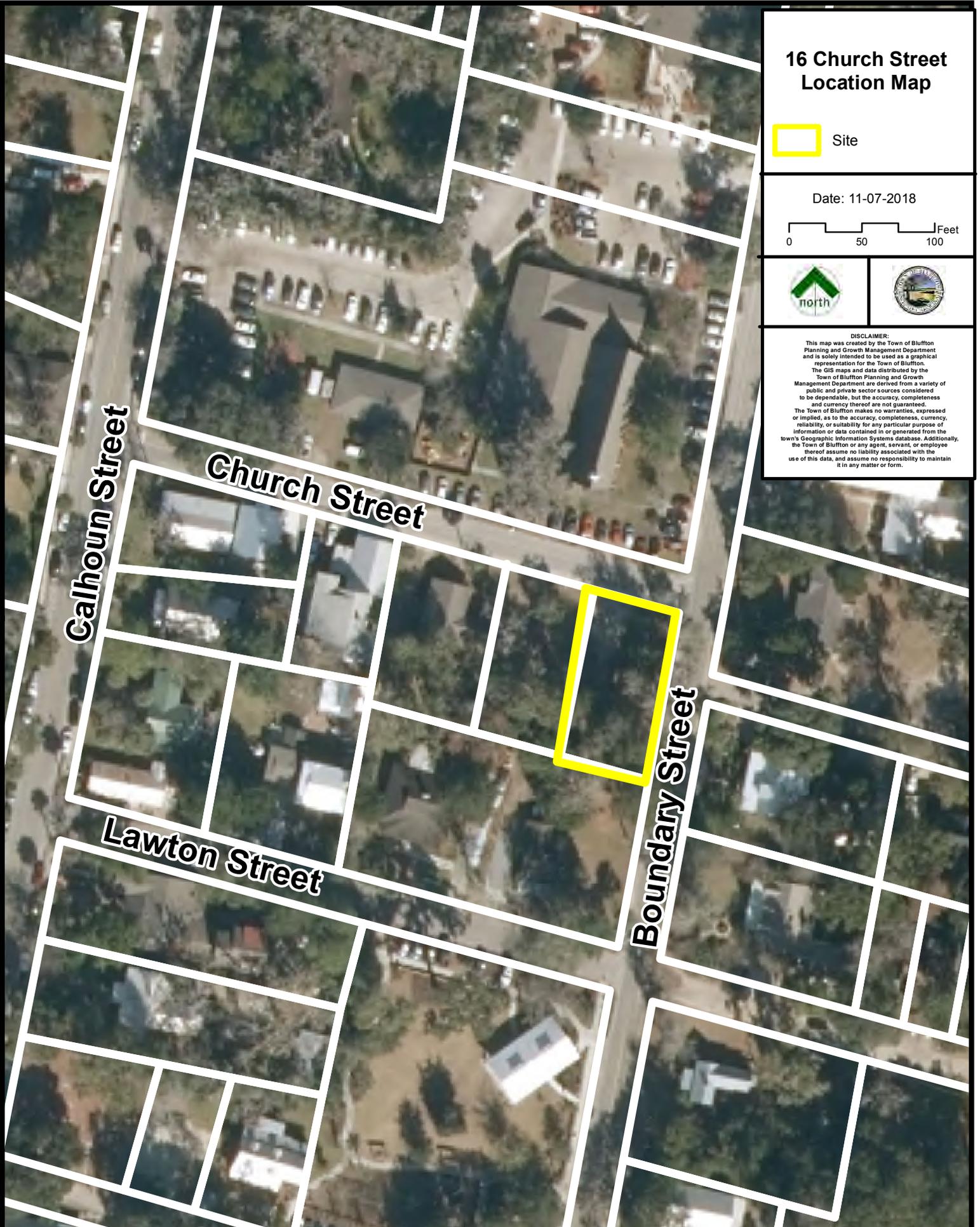
16 Church Street Location Map



Date: 11-07-2018



DISCLAIMER:
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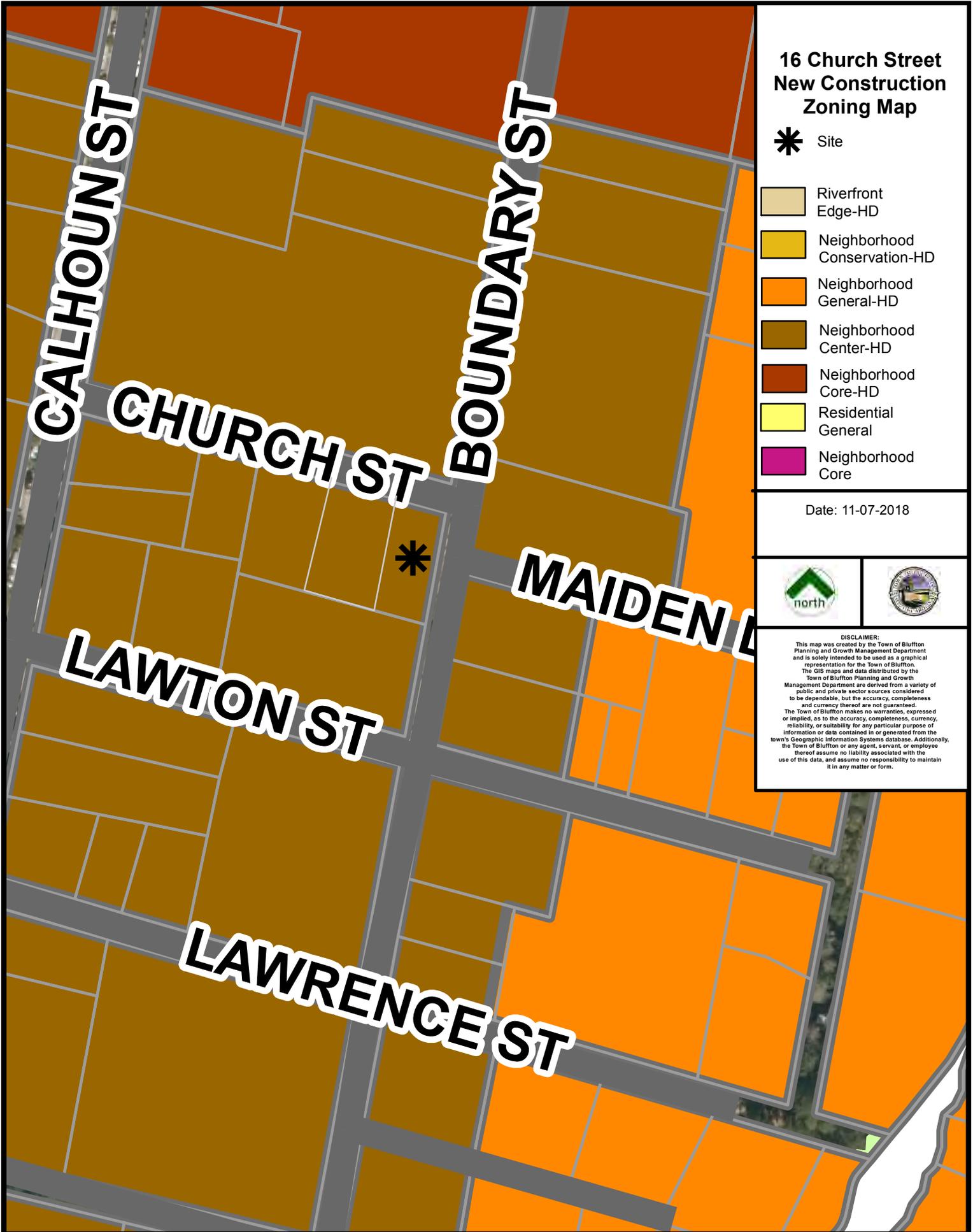


Calhoun Street

Church Street

Lawton Street

Boundary Street



16 Church Street New Construction Zoning Map

✱ Site

- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD
- Residential General
- Neighborhood Core

Date: 11-07-2018



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Project Narrative for 16 Church Street (Building B)

16 Church Street is the corner lot at the intersection of Boundary and Church Streets. It was recently created when 12 Church Street was split into three parcels under the guidance of Mr. Brian Pennell from Key Engineering. The property owner, Mr. James Jeffcoat, also owns 12 and 14 Church Street. The Bluffton General Store is located at 12 Church Street while the other two parcels are undeveloped.

14 Church Street (Building A) will most likely be developed first; however, our intentions are to plan a cohesive streetscape along Church Street with some common amenities such as the rear parking area and surrounding green space. It is important that the planning department also review 16 Church Street (Building B) at this time to provide insight into the future phase of development.

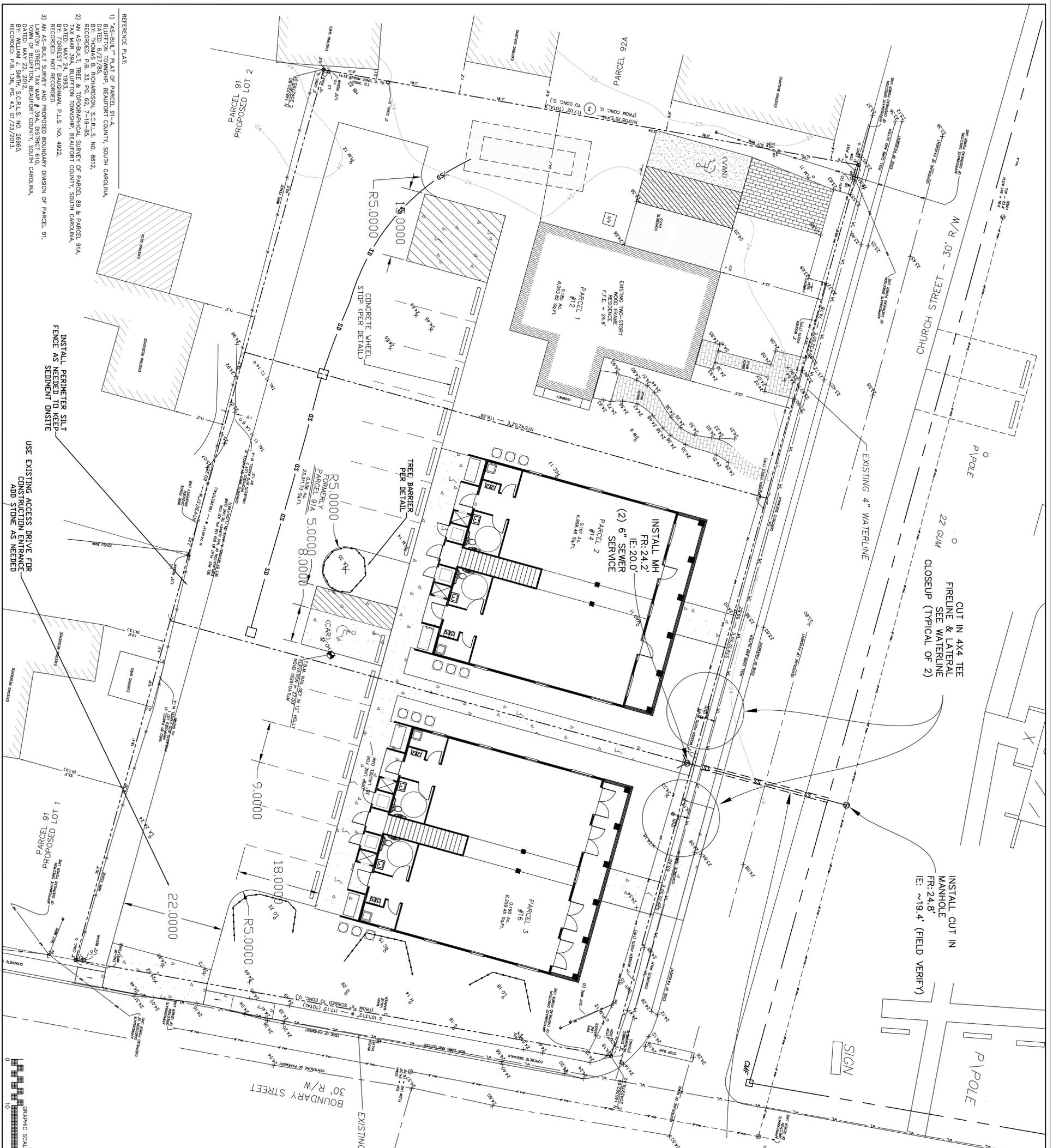
Building B will have three to four rental units. The ground floor can be lease in its entirety or split into two units. It will function as commercial space with a focus on retail or office use. The second and third floors are divided into two units and will function as residential apartments. The third floor allows the residential tenant to have a guest facility or home office.

The property is zoned as Neighborhood Center Historic District. The architectural form is the Main Street Building Type. The front setback is 0 to 10 feet. Note the existing overhead power lines along Church Street have an air easement. The side setbacks are 8 feet and rear setback is 25 feet. The building type allows 2 ½ stories.

Although the floor plans are similar both Building A and B, the elevations will show the public two differing exteriors through the use of varied finish materials, window and door patterns, roof lines and construction details. Both buildings have a piano nobile at the ground floor level. This is a classic approach to the street façade of commercial below and residential above.

Our design team, made up of the property owner, architect, landscape architect and civil engineer, find this proposal to be an exciting addition to the thriving downtown rental market. It follows the demands of our times as our youth and retired are taking advantage of the benefits of living and working in the center of town. We hope the building will provide a range of possibilities for its tenants.

Ansley Hester Manuel, Architect



NOTES

- 1) HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, 1987 EDITION, AS AMENDED, AND THAT I AM A LICENSED SURVEYOR AS SPECIFIED THEREIN. ALSO THERE ARE NO OBVIOUS APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE G, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- 3) BENCHMARK, SPOT ELEVATIONS AND CONTOURS BASED ON NAD 1929 DATUM.
- 4) BEARING AND STATE PLANE COORDINATES SHOWN WERE ESTABLISHED FROM GPS OBSERVATIONS. SEE REFERENCE PLAT #1 FOR RECORD BEARINGS.
- 5) BUILDING SETBACKS WHICH EXIST FOR THIS LOT SHOWN OR NOT SHOWN ARE FOR INFORMATION ONLY. THEY SHOULD BE VERIFIED THROUGH APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 6) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 7) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY. THE DATE OF SURVEY IS THE DATE THIS DOCUMENT IS PROVIDED AS OF MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 8) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

LEGEND:

THESE SIZES ARE INCHES IN DIAMETER

- CONC. O. CONCRETE MONUMENT, OLD (FOUND)
- TE.M. TEMPORARY BENCH MARK
- R/W RIGHT-OF-WAY
- A.C. ACRES
- B.S.L. BUILDING SETBACK LINE
- A/C AIR CONDITIONING UNIT
- CATV CABLE TELEVISION BOX
- SMK SKYMER CLEAN-OUT
- F.H. FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- PT POWER POLE
- PT PROGRAM TANK
- SSM SANITARY SEWER MANHOLE
- DW DRAINAGE
- O OAK
- GUM GUM
- H.H. HACKBERRY
- HO HOLLY
- LA LAUREL OAK
- LA LARGO
- MAG MAGNOLIA
- PEC PECAN
- PLM PALM
- RC RED CEDAR
- TAL TALLOW

PREPARED FOR: JAMES W. JEFFCOAT & MICHELE R. JEFFCOAT

ADDRESS: #12 CEDAR STREET
BOUNDARY ASBUILT
TREE & TOPOGRAPHIC
SURVEY OF

TAX PARCEL ID: NO. R010-039-00A-0391A-0000

PARCEL 91-A, CHURCH STREET

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

DATE: 12/02/2016 JOB NO: SC160206

SCALE: 1" = 10'-0"

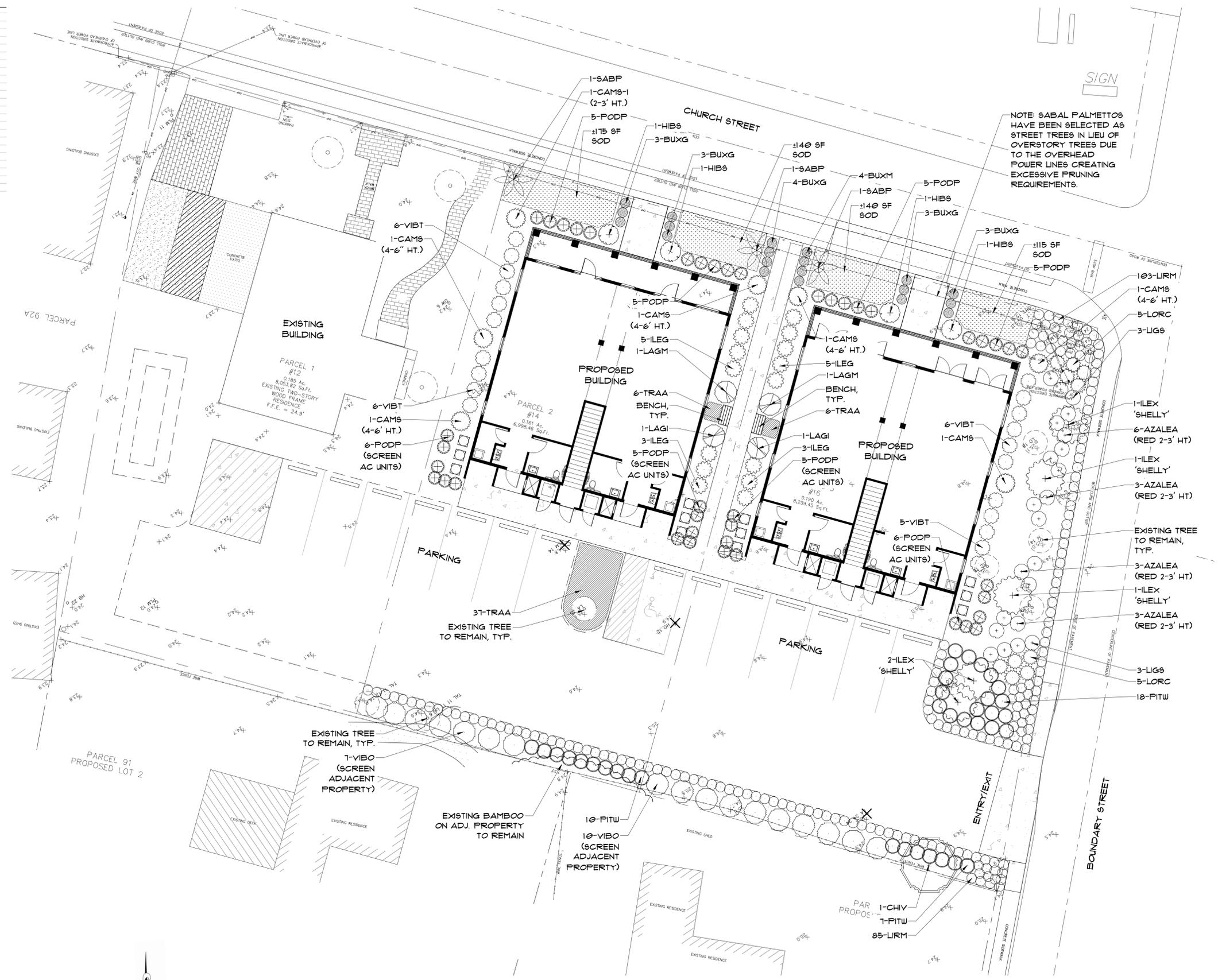
SURVEYING CONSULTANTS

17 Shopton Pike, Suite C, Bluffton, SC 29906
SC Telephone: (843) 615-3894 FAX: (843) 615-3905
GA Telephone: (602) 856-2775
WWW.SURVEYINGCONSULTANTS.COM
Email: Surveying@surveyingconsultants.com

<p>12 CHURCH STREET MIXED USE COMMERCIAL BLUFFTON, SOUTH CAROLINA PREPARED FOR JAMES JEFFCOAT</p> <p>UTILITY, STAKING AND PAVEMENT MARKING PLAN</p>	<p>KEY ENGINEERING, Inc. P.O. BOX 2569 BLUFFTON, SOUTH CAROLINA 29910 PH (843) 227-3031 / FAX (843) 757-9031</p>	<p>DESIGNED BY: BPP DRAWN BY: BPP DATE: 1/12/18 SCALE: 1"=10' PROJECT NO: C.02</p>	<p>NO. _____ BY _____ DATE _____</p> <p>REVISIONS</p>
--	---	--	---

Plant Schedule

Quantity	Abbreviation	Botanical Name	Common Name	Container	Height	Spread	Notes
Trees							
1	CHIV	Chionanthus virginicus	White Fringe Tree				
2	LAMI	Lagerstroemia indica	Best Red' Cape Myrtle		5-7'		
3	SABP	Sabal Palmetto	Cabbage Palm		8-10'		
Shrubs							
15	AZAL	Azalea	Dwarf Azalea		2-3'		Red Flowering
22	BUXG	Buxus 'Green Gem'	Dwarf Boxwood		2-3'		
1	CAMS-1	Camellia sasanqua	Sasanka camellia		2-3'		Red Flowering
5	CAMS	Camellia sasanqua	Sasanka camellia		4-6'		Red Flowering
4	HIBS	Hibiscus syriacus 'Helene'	Helene Rose Of Sharon		5-7'		
16	ILEG	Ilex glabra 'Compacta'	Inkberry		2-3'		
5	ILEX	Ilex 'Shelly'	Shelly Holly		5-7'		
6	LIGS	Ligustrum sinense 'Sunshine'	Sunshine Ligustrum		2'		
10	LORC	Loropetalum chinense 'Shang-hi' PP18331	Purple Diamond' Semi Dwarf Loropetalum		1'		
18	PITT	Pittosporum tobira 'Wheeler's Dwarf' -VARIEGATED	Dwarf Pittosporum 'Wheeler's Dwarf'		2'		Variegated
42	PODP	Podocarpus macrophyllus 'Pringle's Dwarf'	Pringle's Dwarf' Podocarpus		2'		
17	VIBO	Viburnum odoratissimum	Sweet Viburnum		6'		
23	VIBT	Viburnum tridentatum 'Mrs. Schiller's Delight'	Dwarf Walter's Viburnum 'Ms. Schiller's Delight'		2-3'		
Vines/Climb/covers							
188	LIRM	Liriope muscari 'Big Blue'	Liriope		12"		
49	TRAA	Trachelospermum asiaticum	Asiatic Jasmine		6"		
570 SF	SOD	Sod					
4 000 SF	Mulch	Mulch	Pinacrew in Planting Area				



FINAL LANDSCAPE DEVELOPMENT PLANS
For

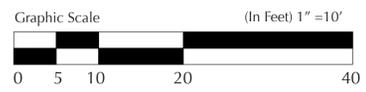
Jim Jeffcoat

14 & 16 Church Street
Bluffton, SC

October 16, 2018



Prepared By:
MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com

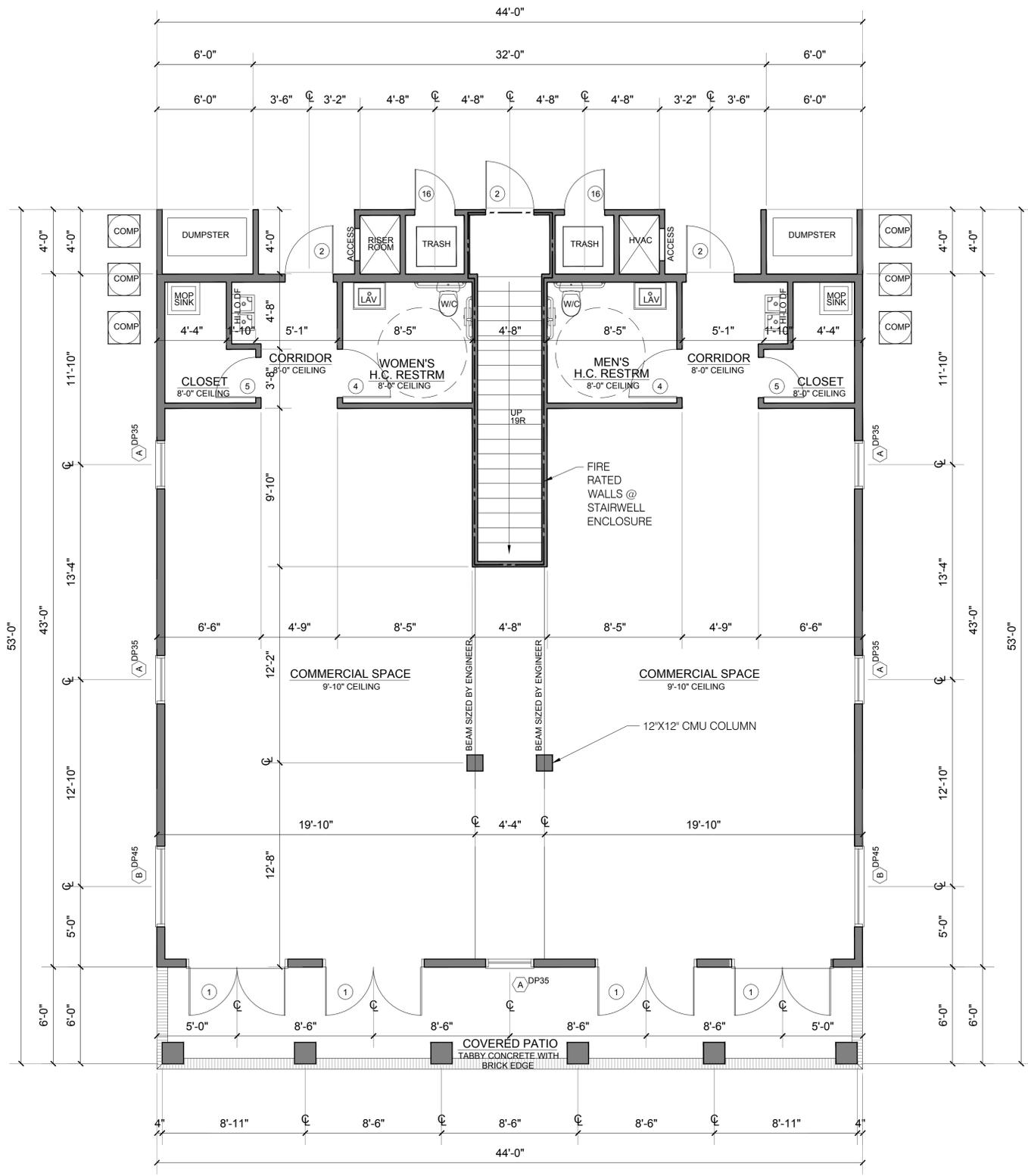




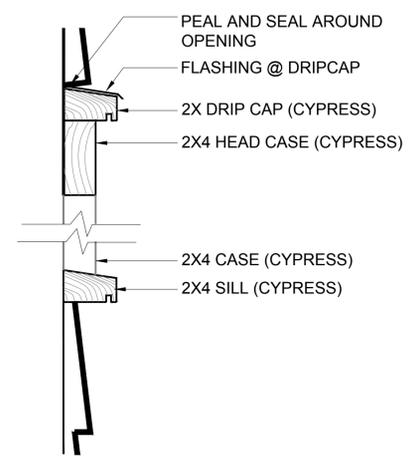
DATE : 11/16/18
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 138 Burnt Church Road, Bluffton, South Carolina 29910 physical
 104 Pritchard Street, Bluffton, South Carolina 29910 mailing
 843.338.8932 cell manuel.studio@aol.com

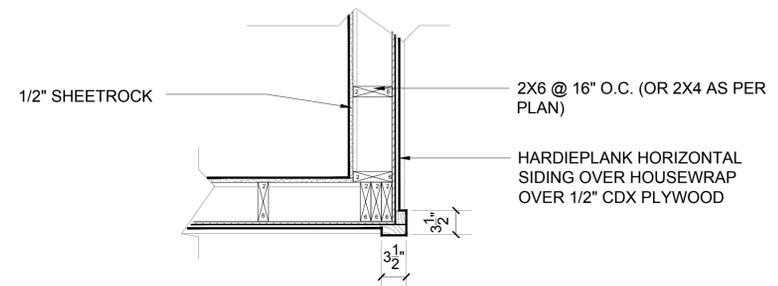
COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
 16 Church Street
 Bluffton, South Carolina 29910
FIRST FLOOR PLAN



A FIRST FLOOR PLAN
A1 SCALE: 1/4"=1'-0"



B WINDOW TRIM DETAIL
A1 SCALE: 3"=1'-0"



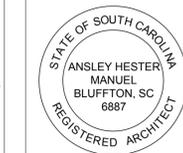
C TYPICAL CORNER PLAN DETAIL
A1 SCALE: 1"=1'-0"

DOOR SCHEDULE				
DOOR #	WIDTH & HEIGHT	STYLE	REMARKS	LITES
1	6'-0" X 8'-0"	FULL GLASS	OUTSWING, FRENCH DOUBLE DOOR, MAHOGANY (CONSULT OWNER)	6
2	3'-0" X 6'-8"	HALF GLASS	OUTSWING	4
3	3'-0" X 7'-0"	FULL GLASS	OUTSWING	
4	3'-0" X 6'-8"	COMPOSITE		
5	2'-6" X 6'-8"	COMPOSITE		
6	3'-0" X 7'-0"	COMPOSITE	FIRE RATED	
7	3'-0" X 7'-0"	COMPOSITE		
8	4'-0" X 7'-0"	COMPOSITE	DOUBLE	
9	2'-6" X 7'-0"	COMPOSITE		
10	5'-0" X 7'-0"	COMPOSITE	DOUBLE	
11	1'-6" X 7'-0"	COMPOSITE		
12	2'-0" X 7'-0"	GLASS	SHOWER	
13	6'-0" X 7'-0"	COMPOSITE	FIRE RATED, DOUBLE, LT. INSWING ACTIVE, RT. INSWING INACTIVE	
14	5'-0" X 7'-0"	COMPOSITE	POCKET DOUBLE	
15	3'-0" X 7'-0"	COMPOSITE	FRENCH DOUBLE	
16	2'-6" X 6'-8"	LOUVER	OUTSWING	
17	2'-8" X 7'-0"	COMPOSITE		

ALL EXTERIOR DOORS TO BE METAL UNLESS OTHERWISE NOTED.
 ALL INTERIOR DOORS TO BE 5 PANEL COMPOSITE MATERIAL, MDF PREFERRED, UNLESS OTHERWISE NOTED.
 ALL GLASS TO BE IMPACT RESISTANT.
 ALL FIRE RATED DOORS TO HAVE CLOSERS.

WINDOW SCHEDULE				
WINDOW	WIDTH & HEIGHT	STYLE	REMARKS	LITES
A	3'-0" X 5'-0"	FIXED		4
B	5'-0" X 5'-0"	FIXED		6
C	3'-0" X 5'-0"	CASEMENT	EGRESS REQUIRED	4
D	2'-4" X 3'-8"	CASEMENT		4
E	2'-6" X 5'-0"	CASEMENT		4
F	3'-0" X 3'-8"	CASEMENT		4
G	1'-6" X 5'-0"	CASEMENT		2

ALL WINDOWS ARE ALUMINUM CLAD EXTERIOR / WOOD INTERIOR.
 ALL GLASS TO BE IMPACT RESISTANT.
 DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER



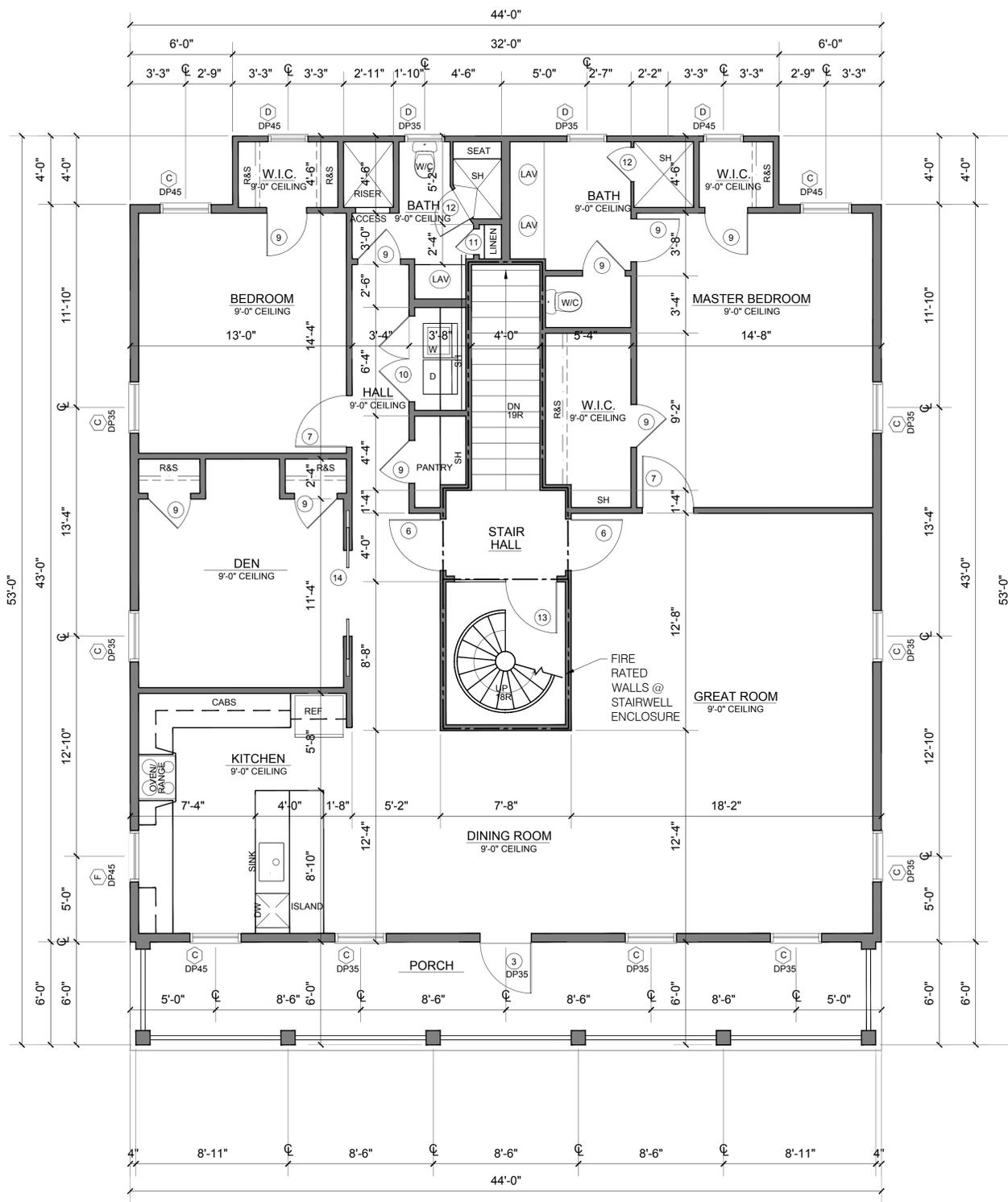
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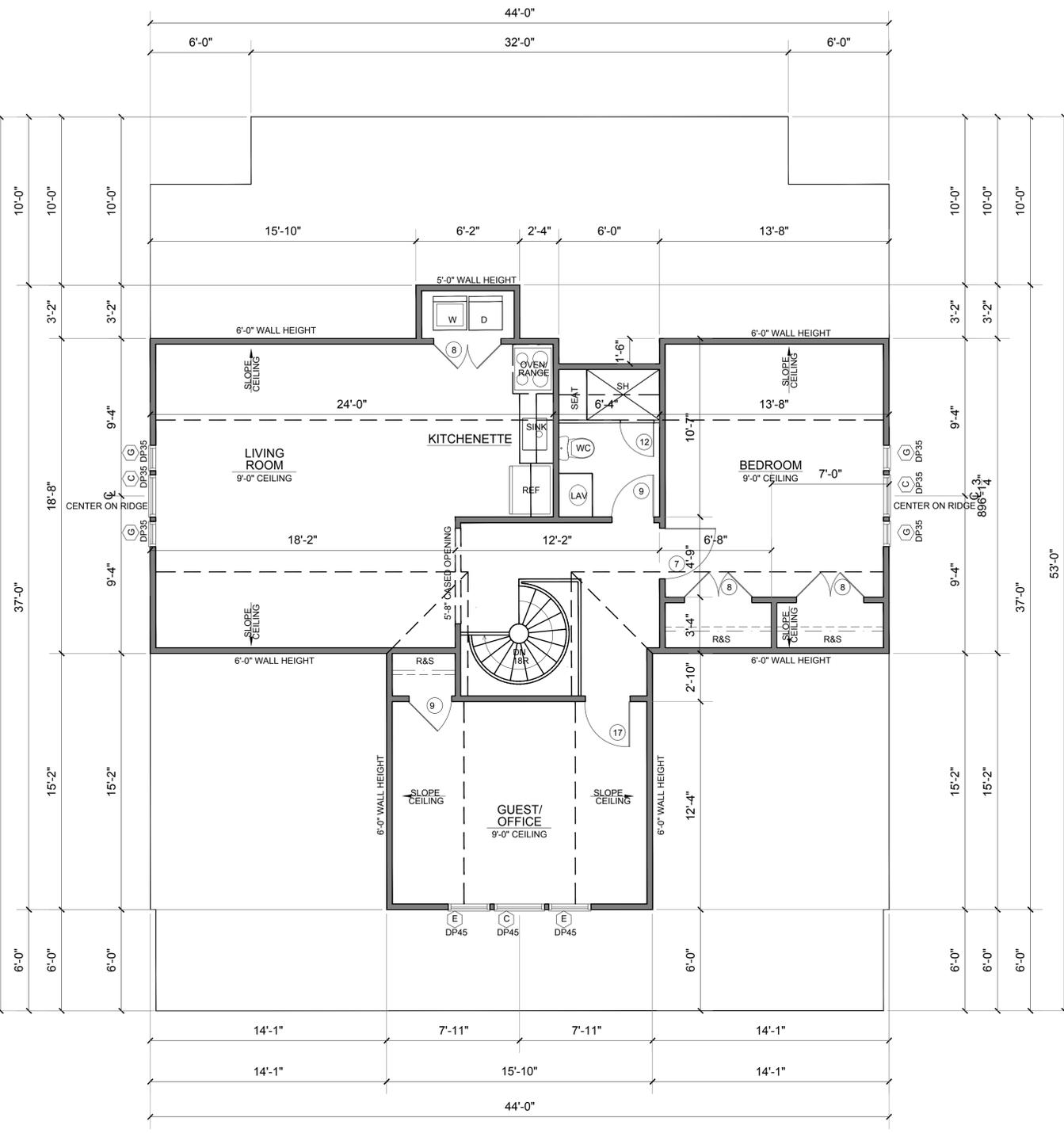
COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
SECOND & THIRD FLR PLAN

SHEET

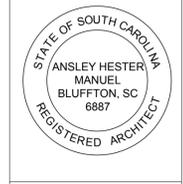
A2



A SECOND FLOOR PLAN
A2 SCALE: 1/4"=1'-0"



B THIRD FLOOR PLAN
A2 SCALE: 1/4"=1'-0"



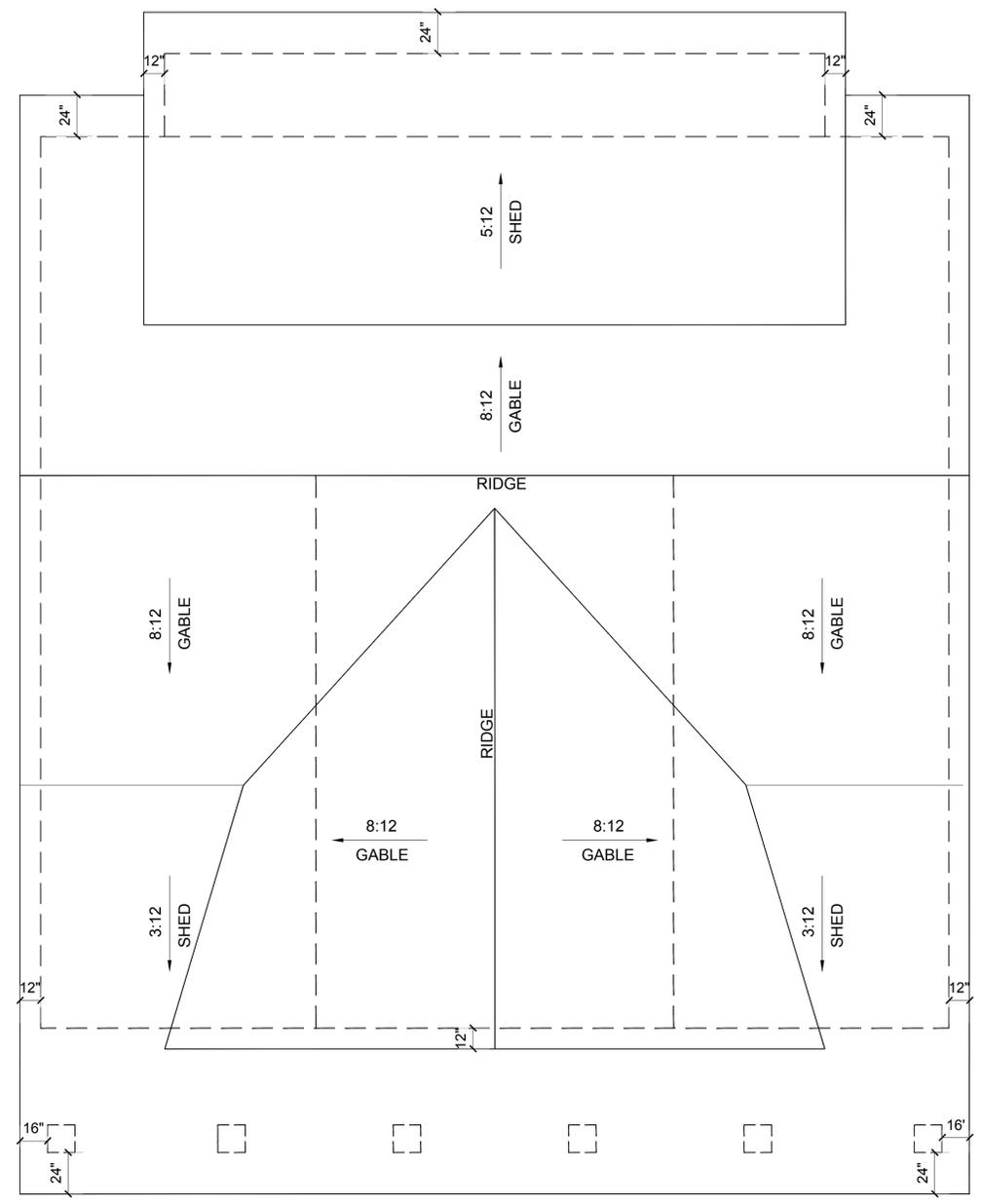
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Ansley Hester Manuel, Architect
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COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910

ROOF PLAN

SHEET
A3



A ROOF PLAN
A3 SCALE: 1/4" = 1'-0"

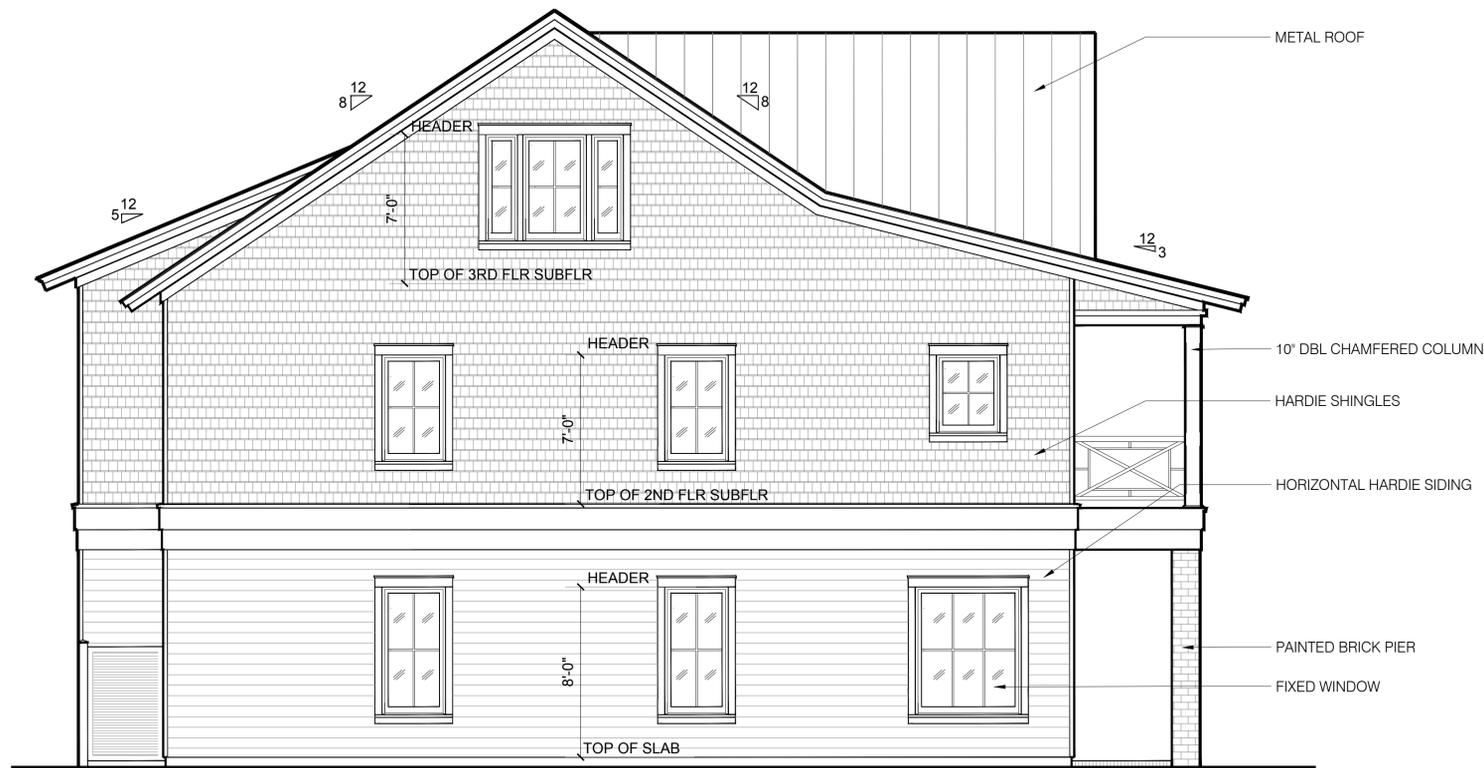


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A CHURCH ST. ELEVATION
A4 SCALE: 1/4"=1'-0"



B BOUNDARY ST. ELEVATION
A4 SCALE: 1/4"=1'-0"

COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
 16 Church Street
 Bluffton, South Carolina 29910

ELEVATIONS

SHEET

A4



DATE : 11/16/18
REVIEW SET

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 843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
 16 Church Street
 Bluffton, South Carolina 29910

ELEVATIONS

SHEET

A5



A REAR ELEVATION
A5 SCALE: 1/4"=1'-0"



B RIGHT ELEVATION
A5 SCALE: 1/4"=1'-0"

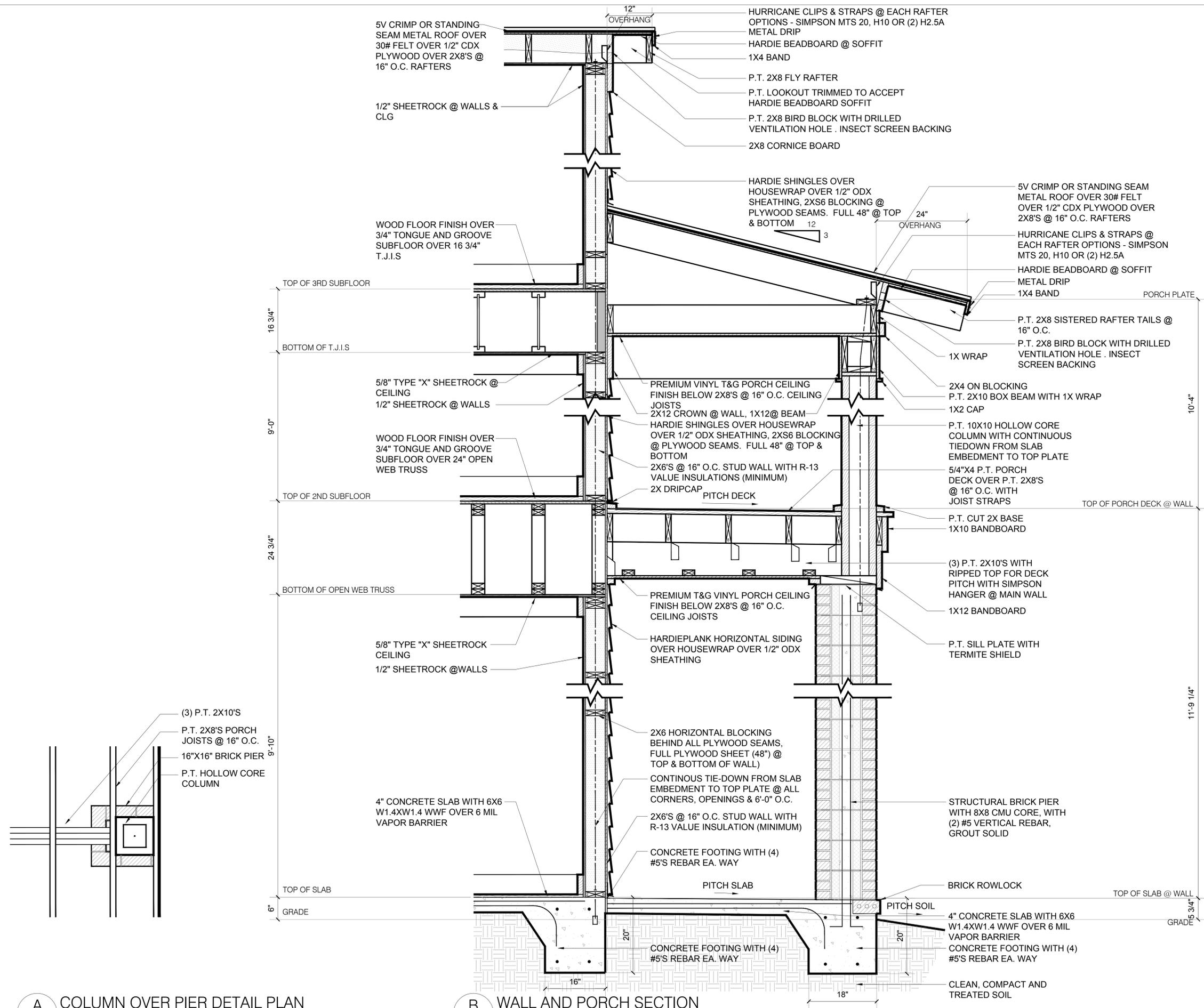


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COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
WALL SECTIONS

SHEET
A6



A COLUMN OVER PIER DETAIL PLAN
A6 SCALE: 1"=1'-0"

B WALL AND PORCH SECTION
A6 SCALE: 1"=1'-0"

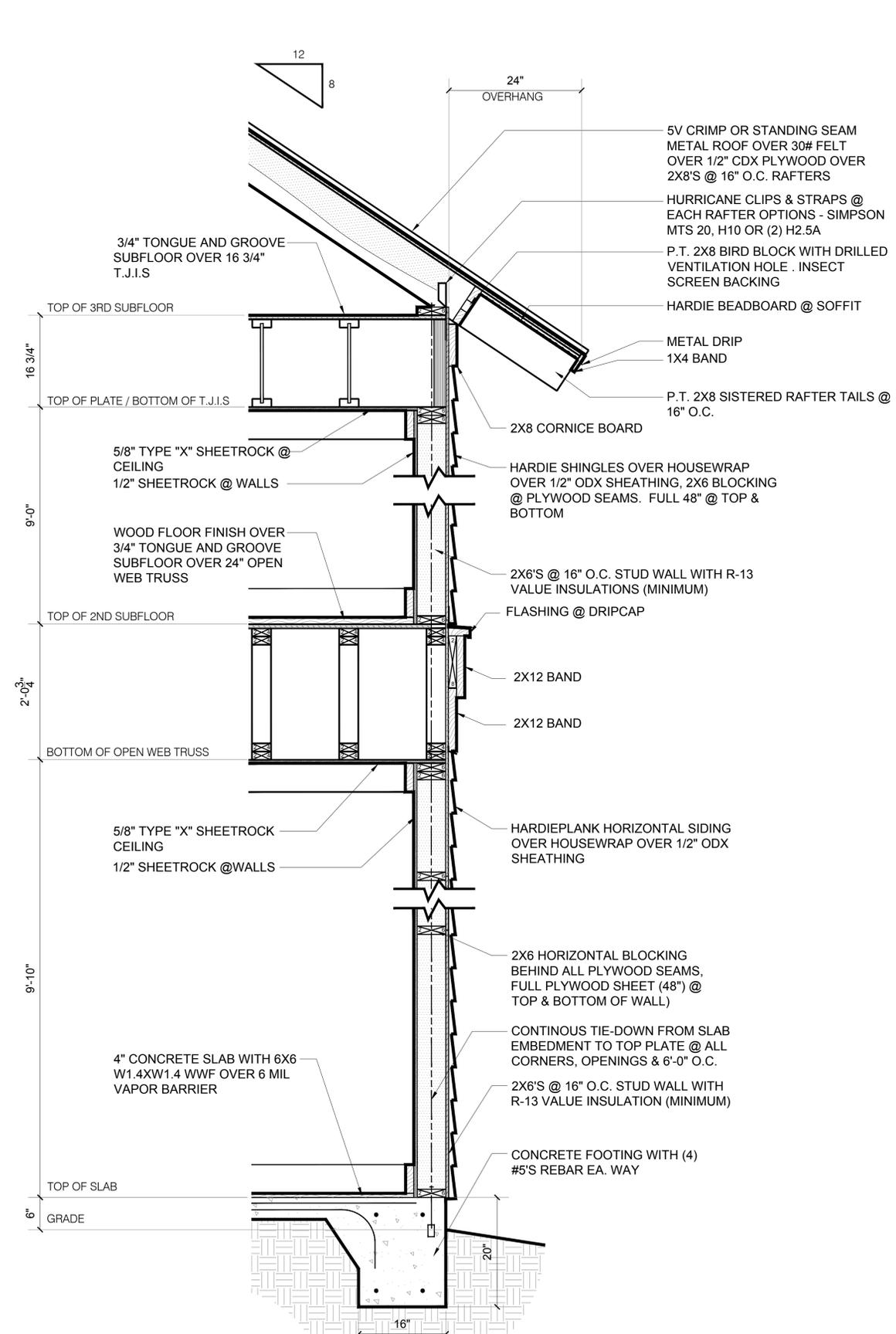


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REVIEW SET

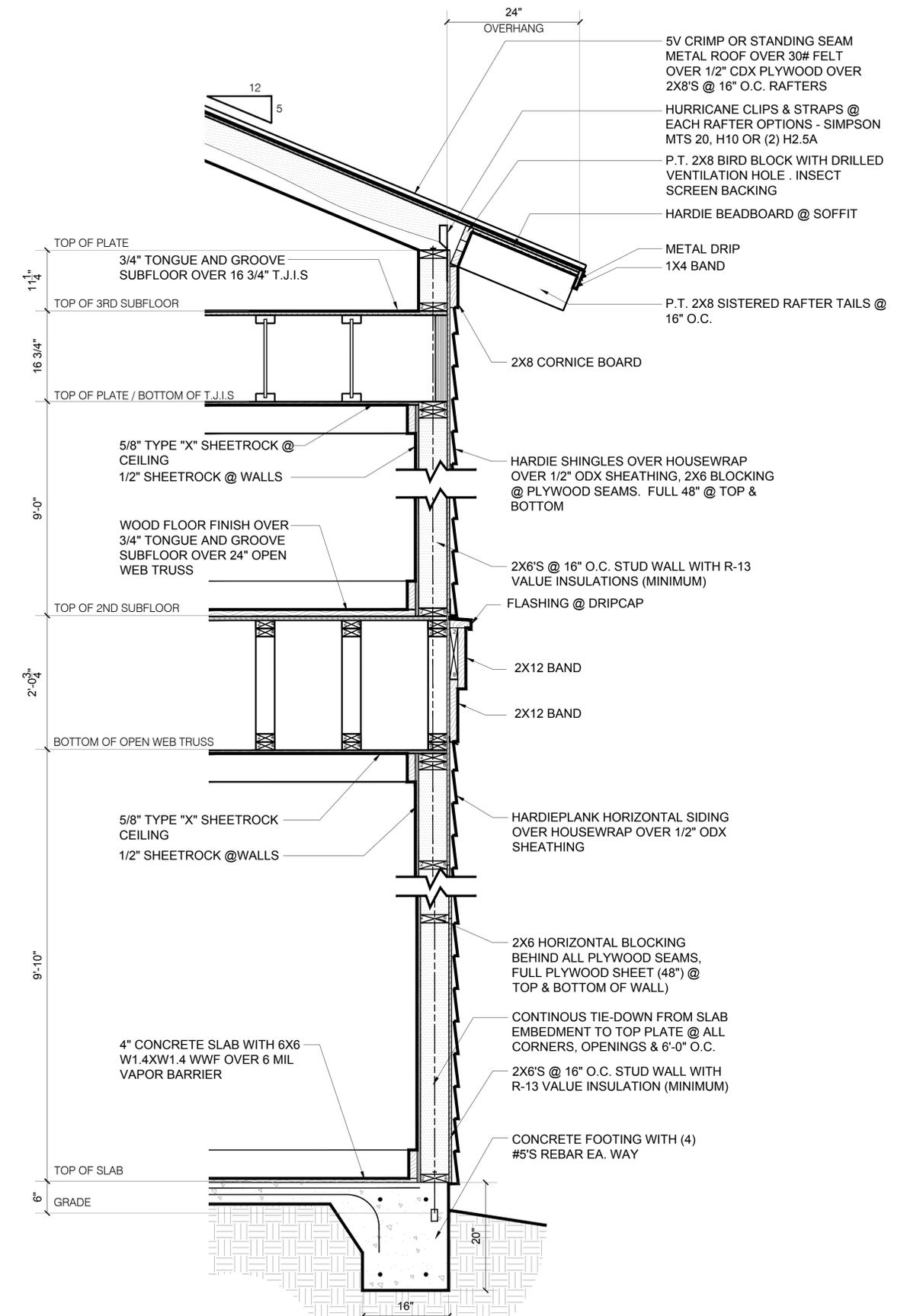
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COMMERCIAL BUILDING B for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
WALL SECTIONS

SHEET
A7



A WALL SECTION @ REAR
A7 SCALE: 1"=1'-0"



A WALL SECTION @ REAR SHED
A7 SCALE: 1"=1'-0"

PLAN REVIEW COMMENTS FOR COFA-04-18-011938



Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type: Historic District **Apply Date:** 04/24/2018
Plan Status: Active **Plan Address:** 12 Church St
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R610 039 00A 0384 0000
Plan Description: The Applicant is proposing to construct two mixed use buildings with similar floor plans but different elevations, details, and finish materials.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the May 7th meeting.

Staff Review (HD)

Submission #:	Received:	Completed:		
1	04/24/2018	05/04/2018		
Reviewing Dept.	Complete Date	Reviewer	Status	
Growth Management Dept Review (HD)	05/04/2018	Erin Schumacher	Approved with Conditions	
Comments:				
1. For the final application provide a landscape plan noting foundation plantings, street tree locations, proposed tree removal, and any landscaping proposed for buffering. (Applications Manual) 2. Regardless of the health or condition, a Town of Bluffton tree removal permit is required for the removal of any tree , 8 inches in diameter at breast height (DBH). (UDO Section 3.22.2.A.) 3. For the final application provide architectural details of the railing and baluster, a typical window detail, corner board and water table trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual) 4. Provide additional information to clarify the proposed type of metal roofing material (5V and standing seam are permitted). (UDO Section 5.15.6.) 5. Colonnade depth is required to be 8 ft. minimum from the build-to-line to the inside column face and 18" from the outside column face to the curb.. As proposed, the colonnade is less than 6 ft. deep from build-to-line to inside of column face. Revise colonnade to meet the minimal depth requirements. (UDO Section 5.15.6.E.3.a.) 6. The proposed building placement is 16' from the front property line. This does not meet the front build-to requirement of 0'-10' for the Main Street Building Type and must be revised to meet the dimensional standards of the UDO. (UDO Section 5.15.5.F.6.) 7. As this proposed activities constitute development, it requires a development plan to be submitted to the Development Review Committee (DRC). All comments from the DRC review must be addressed prior to the issuance of a Certificate of Appropriateness. (UDO Section 3.10.2.A.)				
Addressing Review	04/24/2018	Carl Norris	Approved with Conditions	
Comments:				
1. Address for parcel/structure is 16 CHURCH ST. 2. Address for individual units: 1st Floor Commercial - 16 CHURCH ST., UNIT-1A & UNIT-1B 2nd Floor 2-Story Residential - 16 CHURCH ST., UNIT-2A & UNIT-2B				
Transportation Department Review - HD	05/04/2018	Kevin Icard	Approved	
Comments:				
1. Comments will be provided during the Development Plan Review process regarding parking, access, and circulation.				
Watershed Management Review	05/04/2018	William Baugher	Approved	
Comments:				
1. Comments will be provided during the Development Plan Review process.				

Comments:

1. Water/sewer design under review by BJWSA.

HPRC Review

04/26/2018

Erin Schumacher

Approved

Comments:

1. For final application, provide material call-outs and additional architectural details. (Applications Manual)

Plan Review Case Notes:

TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION
Rotary Community Center / Oscar Frazier Park, 11 Recreation Court
Wednesday, December 5, 2018 Minutes

Present: Hank McCracken, Chairperson; Will Guenther; Marge Blair; Bruce Trimbur; Joe Mascetti
Absent: Chris Epps, Vice Chairperson; Chuck Dulcie
Staff: Erin Schumacher, Principal Planner - Historical Preservation & Urban Design; Katie Peterson, Senior Planner; Kevin Icard, Planning & Community Development Manager; Victoria Smalls, Growth Management Coordinator; Richardson LaBruce, Town Attorney

I. CALL TO ORDER

McCracken called the meeting to order at 6:04 p.m.

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

V. ADOPTION OF AGENDA

Commissioner Trimbur made a motion to adopt the December 5, 2018, Historic Preservation Commission meeting agenda. Commissioner Guenther seconded the motion. All were in favor and the motion passed.

VI. ADOPTION OF MINUTES

Commissioner Guenther made a motion to adopt the October 3, 2018, Historic Preservation Commission meeting minutes. Commissioner Trimbur seconded the motion. All were in favor and the motion passed.

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA

There was no public comment for items not on the agenda.

VIII. OLD BUSINESS

No old business.

IX. NEW BUSINESS**1. FOR ACTION**

A. Removal of Contributing Structure Status: A request by Jamie Guscio on behalf of Elizabeth Guscio (Elizabeth Fund LLC.) for the subject property, which is identified by Beaufort County Tax Map Number R610 039 00A 161D 0000 at 75 Bridge Street and zoned as Neighborhood Conservation-HD, for a recommendation to remove the existing structure from the 2008 Historic Resources Survey as a Contributing Structure. The recommendation will be forwarded to Town Council.

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Commissioner Trimbur made a motion to keep the existing structure on the 2008 Historic Resources Survey as a Contributing Structure. Commissioner Guenther seconded the motion, and the motion passed with a vote of 3 to 2 with Commissioner Blair and Commissioner Mascetti not in favor.

B. Certificate of Appropriateness: A request by Ansley H. Manuel on behalf of James W. Jeffcoat, for approval of a Certificate of Appropriateness to allow the construction of a mixed-use building of approximately 5,015 SF at 16 Church Street, in the Old Town Bluffton Historic District and zoned as Neighborhood Center – HD. (COFA-4-18-11938) (Staff – Erin Schumacher)

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Commissioner Guenther made a motion that the request for approval of the construction of a mixed-use building of approximately 5,015 SF on the property identified as 16 Church Street (COFA-4-18-11938) be approved with the following conditions:

1. Per Section 5.15.5.F.6. of the UDO, the HPC determined that the proposed placement, which exceeds the allowed front build-to, is an appropriate purpose for an exception to be granted due to the existing power lines and recommends that it be approved by the UDO Administrator.
2. Per Section 5.15.6.E.3.a. of the UDO, the depth of the colonnade along the front of the building must be increased to a minimum of 8 feet.
3. Per Section 5.15.6.H. of the UDO and the Applications Manual, provide an architectural detail of the railing and balustrade to ensure that the design meets the standards set forth in the UDO.
4. Per Section 5.15.6.F.2.c. of the UDO, the three A/C compressors and utilities, meters and service apparatus proposed on the Boundary St. side of the building must be relocated to the side yard not facing the street.

5. Per Sections 5.15.6.A and 5.15.5.F.4.c. of the UDO, shutters should be added to all windows that will accept them or removed from all windows for consistency.
6. Per Section 3.6 of the UDO, all DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.
7. A massing study to revise the scale of the structure shall be provided for the Historic Preservation Review Committee (HPRC) to review.

Commissioner Blair seconded the motion. All were in favor and the motion passed.

C. Certificate of Appropriateness: A request by Ansley H. Manuel on behalf of James W. Jeffcoat, for approval of a Certificate of Appropriateness to allow the construction of a mixed-use building of approximately 4,745 SF at 14 Church Street, in the Old Town Bluffton Historic District and zoned as Neighborhood Center – HD. (COFA-4-18-11936) (Staff – Erin Schumacher)

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Commissioner Guenther made a motion that the request for the construction of a mixed-use building of approximately 4,745 SF on the property identified as 14 Church Street (COFA -4-18-11936) be approved with the following conditions:

1. Per Section 5.15.5.F.6. of the UDO, the HPC determined that the proposed placement, which exceeds the allowed front build-to, is an appropriate purpose for an exception to be granted due to the existing power lines and recommends that it be approved by the UDO Administrator.
2. Per Section 5.15.6.G.3. of the UDO, the proposed stucco at the first floor be revised to be over concrete masonry units/reinforced concrete or to revised to a permitted material and submitted for the Historic Preservation Review Committee (HPRC) to review.
3. Per Section 5.15.6.E.3.a. of the UDO, the depth of the colonnade along the front of the building must be increased to a minimum of 8 feet.
4. Per Section 5.15.6.H. of the UDO and the Applications Manual, provide an architectural detail of the railing and balustrade to ensure that the design meets the standards set forth in the UDO.
5. Per Section 5.15.6.F.2.c. of the UDO, the three A/C compressors and utilities, meters and service apparatus proposed on the Boundary St. side of the building must be relocated to the side yard not facing the street.
6. Per Sections 5.15.6.A and 5.15.5.F.4.c. of the UDO, shutters should be added to all windows that will accept them or removed from all windows for consistency.

7. Per Section 3.6 of the UDO, all DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

Commissioner Trimbur seconded the motion. All were in favor and the motion passed.

D. Certificate of Appropriateness: A request by Pearce Scott Architects on behalf of Eugene Marks, for approval of a Certificate of Appropriateness to allow the development of a 2-story commercial building of approximately 3,090 SF located at 5766 Guildford Place (Lot 6) in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. (COFA-08-18-12348) (Staff – Erin Schumacher)

Chairman Hank McCracken recused himself from this agenda item.

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Commissioner Trimbur made a motion that the request for approval for construction of a 2-story commercial building of approximately 3,090 SF on the property identified as 5766 Guildford Place (Lot 6) (COFA-8-18-12348) be approved with the following conditions:

1. Per the Applications Manual, a landscape plan, noting foundation plantings, street tree locations, and other landscaping must be provided for review.
2. Per Section 3.22.2.A. of the UDO, a Town of Bluffton Tree Removal Permit must be submitted and approved for the removal of any tree, 8" (DBH) or greater, located on a commercially developed lot.

Commissioner Mascetti seconded the motion. All were in favor and the motion passed.

E. Certificate of Appropriateness. A request by Southern Coastal Homes, LLC., for approval of a Certificate of Appropriateness to allow the development of a 2-story single-family residential structure of approximately 2,580 SF with a detached Carriage House of approximately 515 SF located at 5774 Yaupon Road in the Stock Farm Development in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. (COFA-10-18-12461) (Staff – Katie Peterson)

Chairman Hank McCracken recused himself from this agenda item due to the fact that he has an economic interest in this matter.

Katie Peterson presented the information to the Commission, which is incorporated into these minutes.

Commissioner Trimbur made a motion to approve the request for a Certificate of Appropriateness to allow the development of a 2-story single-family residential structure of approximately 2,580 SF with a detached Carriage House of approximately 515 SF located at 5774 Yaupon Road be approved with the following conditions:

1. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.

Commissioner Blair seconded the motion. All were in favor and the motion passed.

F. Certificate of Appropriateness: A request by Kevin Quat, for approval of a Certificate of Appropriateness to allow for the development of a Bungalow Court consisting of 5 residential cottages of approximately 615 SF each located at 42 and 44 Wharf Street in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. (COFA-06-18-12081) (Staff – Erin Schumacher)

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Public Comments for 42 & 44 Wharf Street

- a) Vicky Foster, 40 Wharf Street. Stated that there is a 68-member signed petition against this development and that the use of hotel/motel in this setting is not permitted.
- b) Don Davis, 5764 Yaupon Road. Stated that he is new to these types of meetings, but he does not agree with the proposed plans for 42 & 44 Wharf Street

Commissioner Guenther made a motion to approve the Certificate of Appropriateness to allow the development of a Bungalow Court consisting of 5 residential cottages approximately 615 SF each located at 42 & 44 Wharf Street be approved with the following conditions:

1. Per Section 3.6 of the UDO, all Development Review Committee and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.
2. Per UDO Section 5.15.5.F.3.a., provide revised elevations with architectural variation to differentiate the structures from one another for the Historic Preservation Review Committee (HPRC) to review.

Commissioner Blair seconded the motion and the motion passed with a vote of 4 to 1 with Commissioner Mascetti not in favor.

G. Adoption of 2019 Historic Preservation Commission Meeting Dates. (Staff Presenting – Erin Schumacher)

Erin Schumacher presented the information to the Commission, which is incorporated into these minutes.

Commissioner Trimbur made the motion to approve the 2019 Historic Preservation Commission Meeting Dates as submitted. Commissioner Blair seconded the motion. The Board approved the 2019 dates.

X. DISCUSSION

NONE

XI. ADJOURNMENT

The December 5, 2018, Historic Preservation Commission meeting was adjourned at 8:33 p.m.

DRAFT



















ATTACHMENT 3



















ATTACHMENT 3a
APPROVED COFA

Lisa Sulka
Mayor

Larry Toomer
Mayor Pro Tempore

Marc Orlando
Town Manager



Council Members
Fred Hamilton
Dan Wood
Harry Lutz

Kimberly Chapman
Town Clerk

February 18, 2019

Ms. Ansley Manuel
Manuel Studio, LLC.
104 Pritchard Street
Bluffton, SC 29910
(843) 338-8932

Re: Certificate of Appropriateness 14 Church Street – New Construction

Dear Ms. Manuel:

On December 5, 2018, the Town of Bluffton Historic Preservation Commission approved the construction of a mixed-use building of approximately 4,745 SF on the property identified as 16 Church Street (COFA-4-18-11936) with the following conditions:

1. Per Section 5.15.5.F.6. of the UDO, the HPC determined that the proposed placement, which exceeds the allowed front build-to, is an appropriate purpose for an exception to be granted due to the existing power lines and recommends that it be approved by the UDO Administrator.
2. Per Section 5.15.6.G.3. of the UDO, the proposed stucco at the first floor be revised to be over concrete masonry units/reinforced concrete or to revised to a permitted material and submitted for the Historic Preservation Review Committee (HPRC) to review.
3. Per Section 5.15.6.E.3.a. of the UDO, the depth of the colonnade along the front of the building must be increased to a minimum of 8 feet.
4. Per Section 5.15.6.H. of the UDO and the Applications Manual, provide an architectural detail of the railing and balustrade to ensure that the design meets the standards set forth in the UDO.
5. Per Section 5.15.6.F.2.c. of the UDO, the three A/C compressors and utilities, meters and service apparatus proposed on the Boundary St. side of the building must be relocated to the side yard not facing the street.

6. Per Sections 5.15.6.A and 5.15.5.F.4.c. of the UDO, shutters should be added to all windows that will accept them or removed from all windows for consistency.
7. Per Section 3.6 of the UDO, all DRC and Planning Commission comments and conditions must be satisfied, and the Final Development Plan approved prior to the issuance of a Certificate of Appropriateness.

Updated project information to address the conditions above was submitted; therefore, Town Staff approved and stamped the site plan dated January 12, 2018 and the architectural plans dated February 8, 2019 and issued a final Certificate of Appropriateness.

Upon issuance, a Certificate of Appropriateness (COA) remains valid for two (2) years from this approval date (12/5/2018). If the project is not substantially complete within the time limit, the COA expires.

Please be advised that a COA is not a permit to begin construction. All necessary permits and licenses prior shall be obtained prior to commencing construction. Please contact the Town of Bluffton Customer Service Center at (843) 706-4522 if you have any questions.

Sincerely,



Erin Schumacher, AICP
Senior Planner - Historic Preservation & Urban Design
Department of Growth Management

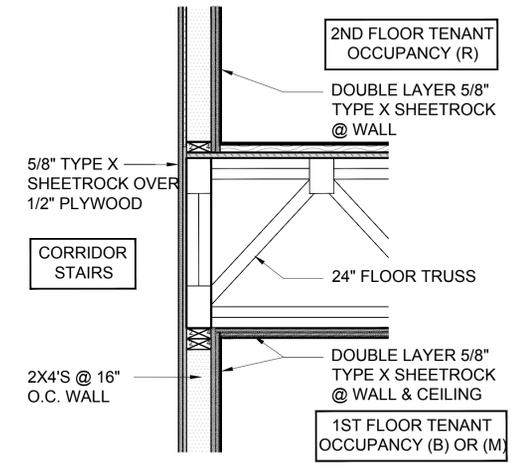


DATE :
2/8/19
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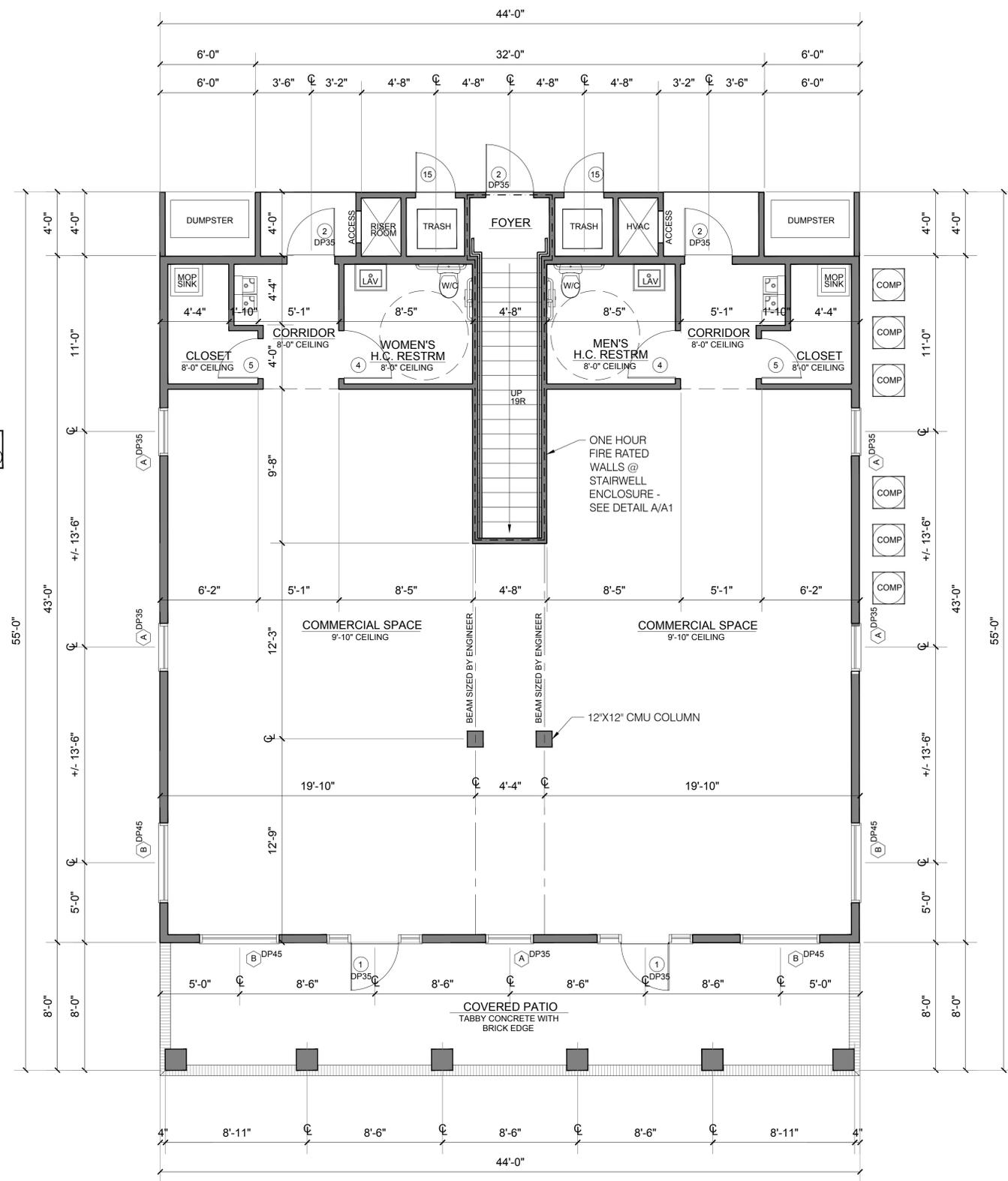
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
FIRST FLOOR PLAN

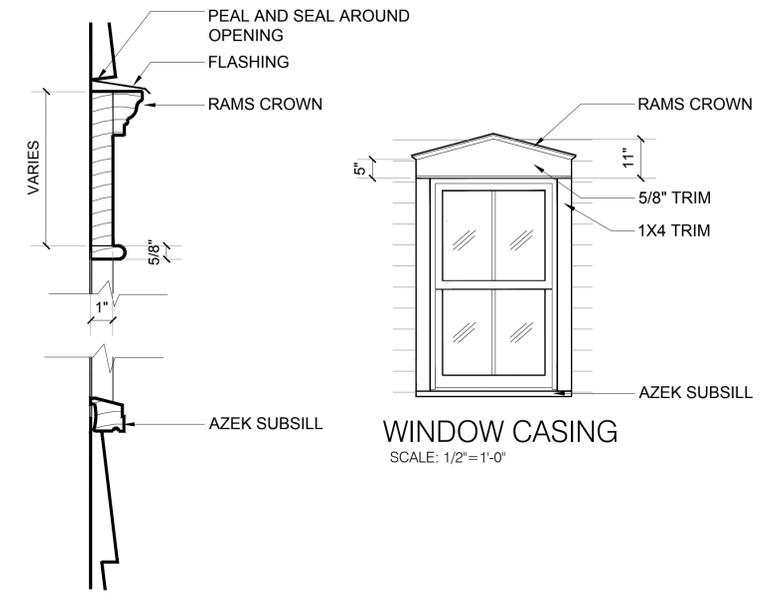
SHEET
A1



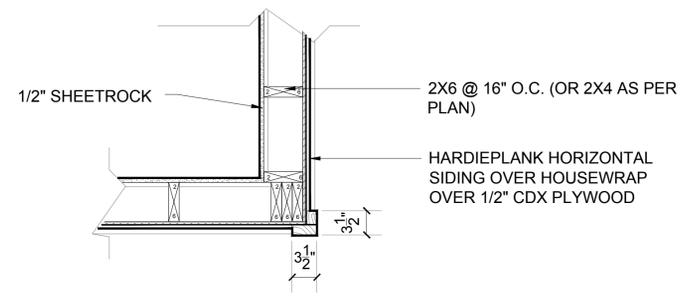
A
A1 SCALE: 1"=1'-0"



B
A1 SCALE: 1/4"=1'-0"



C
A1 SCALE: 3"=1'-0"



D
A1 SCALE: 1"=1'-0"

DOOR SCHEDULE				
DOOR #	WIDTH & HEIGHT	STYLE	REMARKS	LITES
1	3'-0" X 8'-0"	FULL GLASS	OUTSWING, 1'-4"X8'-0" SIDELIGHT EA SIDE	
2	3'-0" X 6'-8"	HALF GLASS	OUTSWING	4
3	3'-0" X 7'-0"	FULL GLASS	OUTSWING	
4	3'-0" X 6'-8"	COMPOSITE	OUTSWING	
5	2'-6" X 6'-8"	COMPOSITE		
6	3'-0" X 7'-0"	COMPOSITE	FIRE RATED - 20 MINUTE	
7	3'-0" X 7'-0"	COMPOSITE		
8	2'-8" X 7'-0"	COMPOSITE	POCKET	
9	2'-6" X 7'-0"	COMPOSITE		
10	5'-0" X 7'-0"	COMPOSITE	DOUBLE	
11	1'-6" X 7'-0"	COMPOSITE		
12	2'-0" X 7'-0"	GLASS	SHOWER	
14	5'-0" X 7'-0"	COMPOSITE	POCKET DOUBLE	
15	2'-6" X 6'-8"	LOUVER	OUTSWING	
16	2'-4" X 7'-0"	COMPOSITE	POCKET	
17	2'-6" X 7'-0"	COMPOSITE	POCKET	

ALL EXTERIOR DOORS TO BE METAL UNLESS OTHERWISE NOTED.
ALL INTERIOR DOORS TO BE 5 PANEL COMPOSITE MATERIAL, MDF PREFERRED, UNLESS OTHERWISE NOTED.
ALL GLASS TO BE IMPACT RESISTANT.
FIRE RATED DOORS TO HAVE CLOSERS.

WINDOW SCHEDULE				
WINDOW	WIDTH & HEIGHT	STYLE	REMARKS	LITES
A	3'-0" X 6'-0"	DOUBLE HUNG		2/2
B	5'-0" X 6'-0"	FIXED		6
C	3'-0" X 5'-0"	DOUBLE HUNG	EGRESS REQUIRED	2/2
D	2'-4" X 3'-8"	DOUBLE HUNG		2/2
E	2'-6" X 4'-0"	CASEMENT		4

ALL WINDOWS ARE ALUMINUM CLAD EXTERIOR / WOOD INTERIOR.
ALL GLASS TO BE IMPACT RESISTANT.
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER
7/8" MUNTIN WIDTH AND SIMULATED DIVIDED LITE.

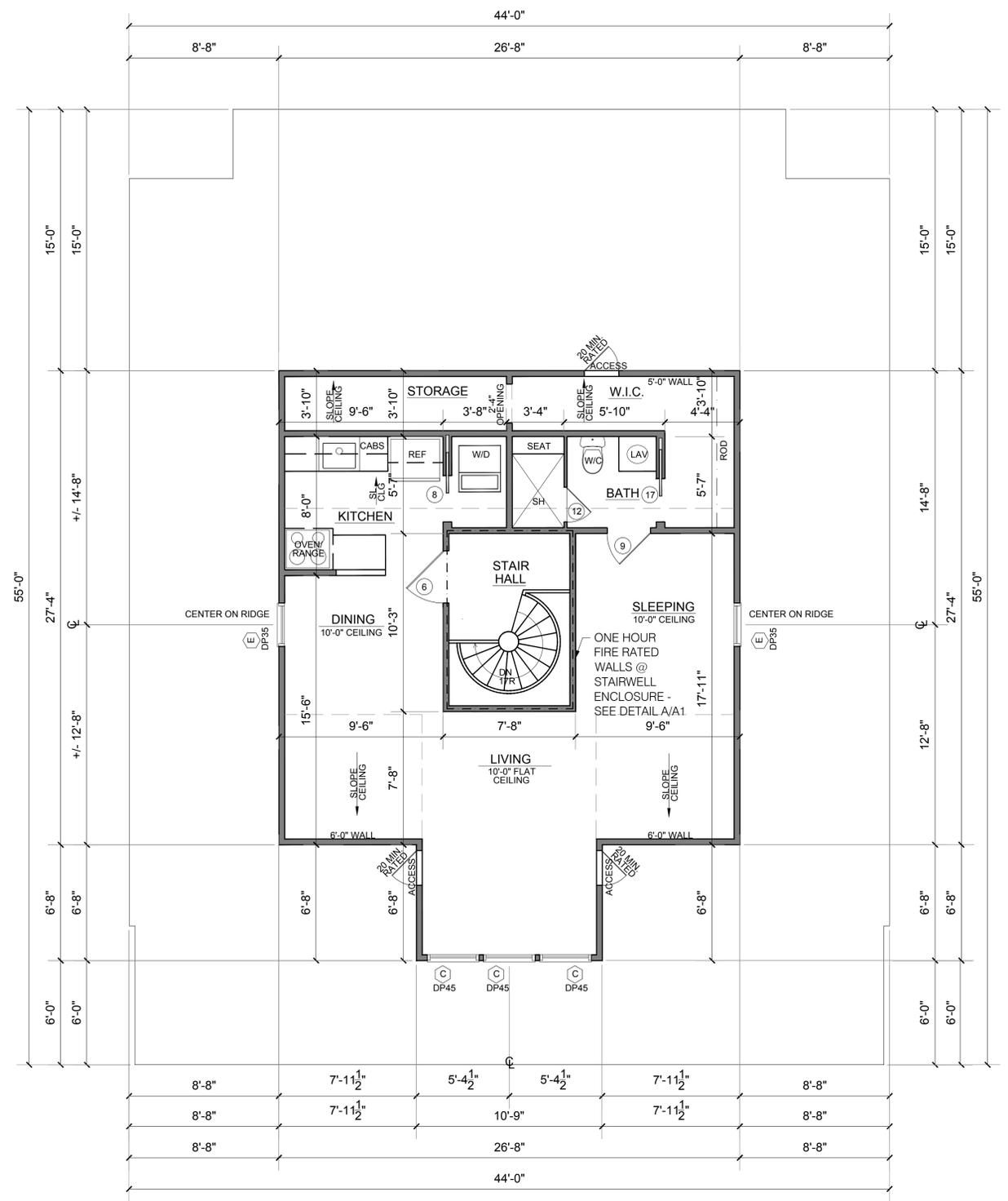
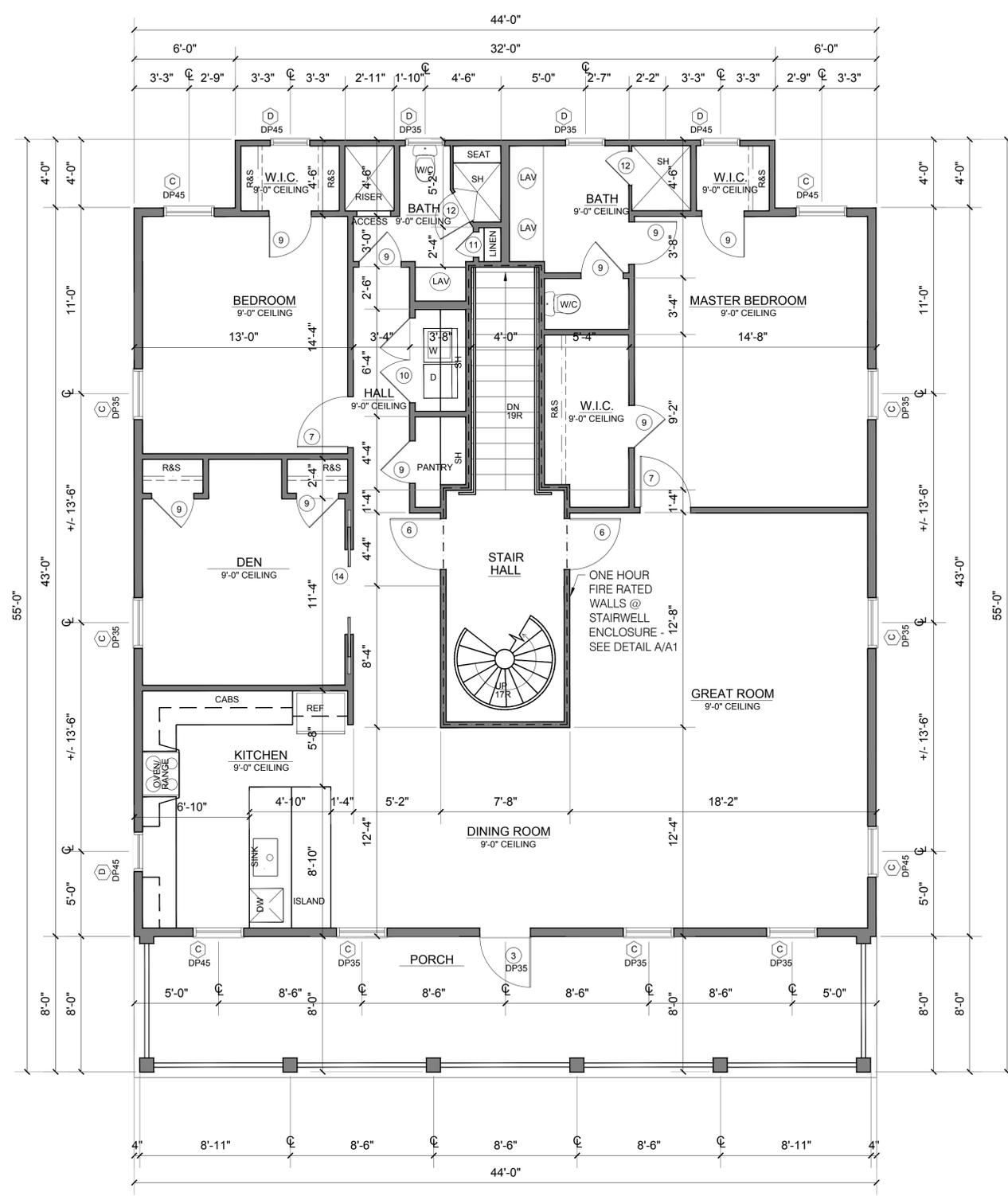


DATE :
2/8/19
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
SECOND & THIRD FLR PLAN

SHEET
A2





DATE :
2/8/19
REVIEW SET

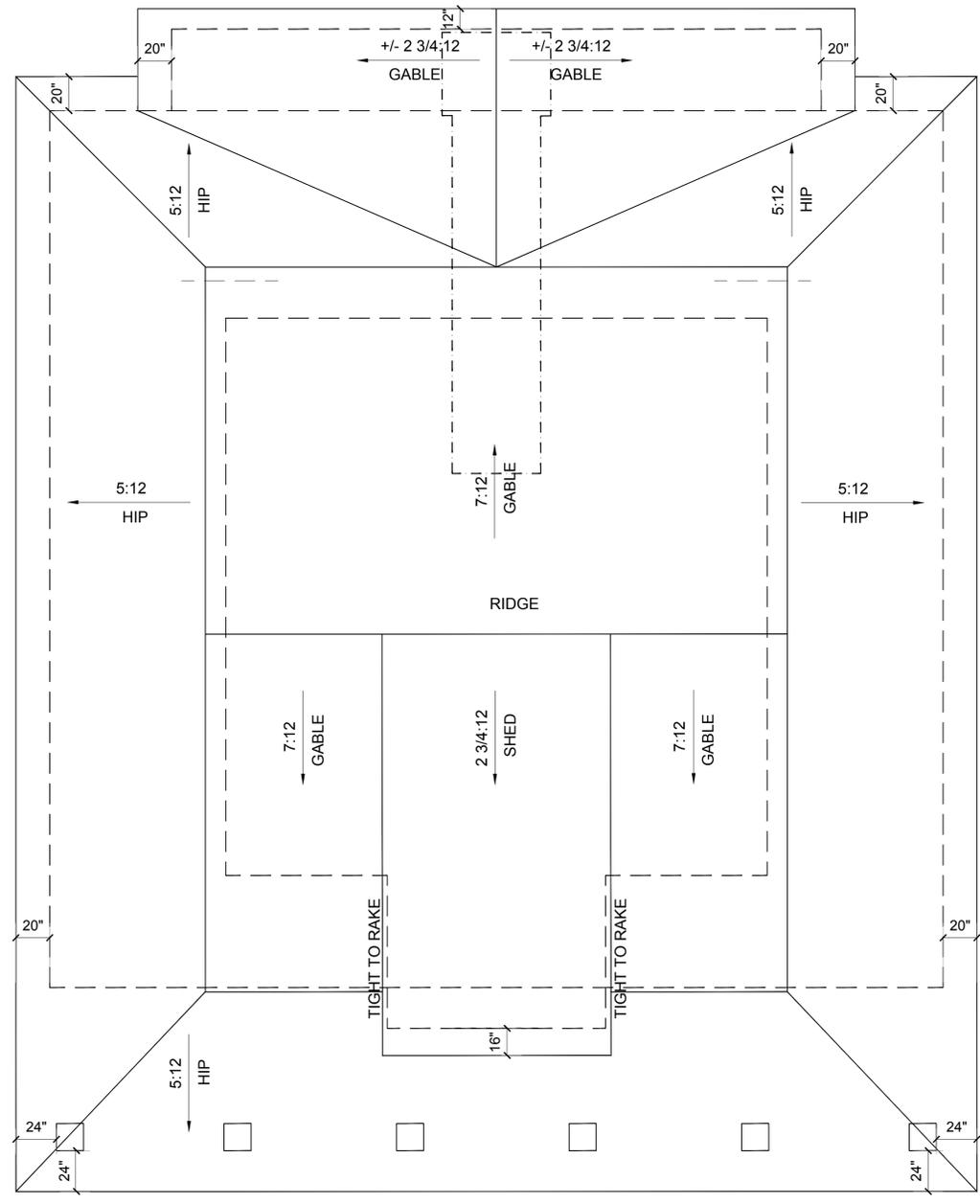
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910

ROOF PLAN

SHEET

A3



A ROOF PLAN
A3 SCALE: 1/4"=1'-0"



DATE :
2/8/19
REVIEW SET

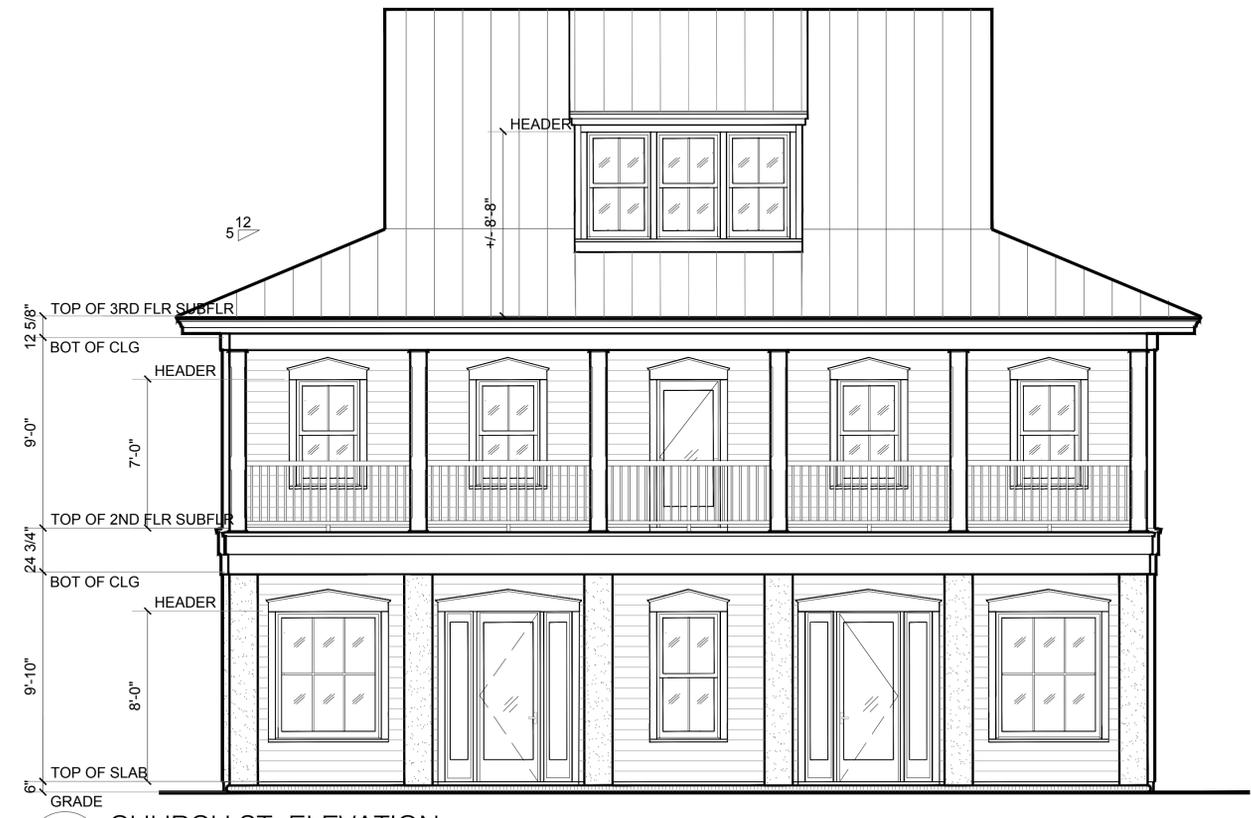
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
 138 Burnt Church Road, Bluffton, South Carolina 29910 physical
 104 Pritchard Street, Bluffton, South Carolina 29910 mailing
 843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
 16 Church Street
 Bluffton, South Carolina 29910

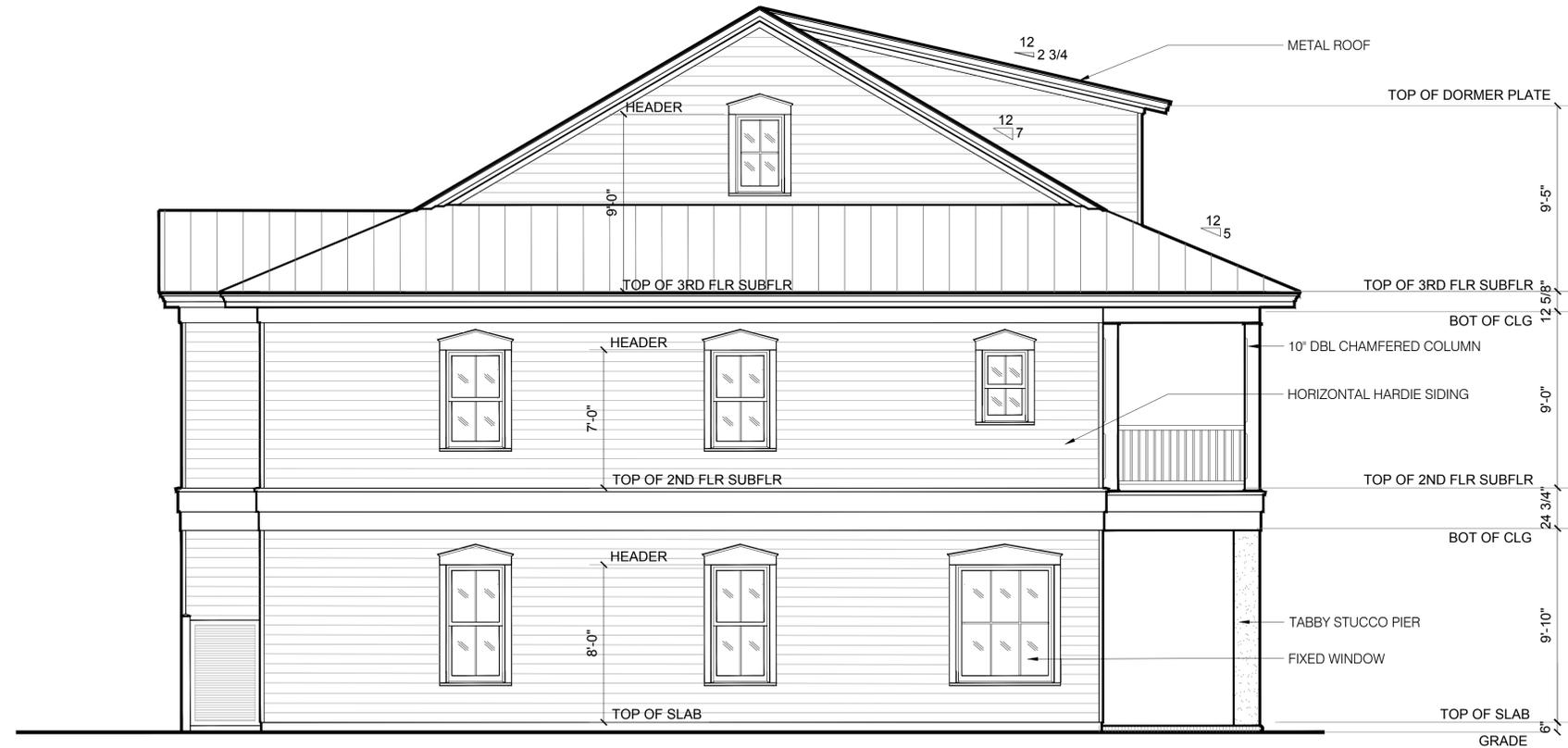
ELEVATIONS

SHEET

A4



A CHURCH ST. ELEVATION
A4 SCALE: 1/4"=1'-0"



B LEFT ELEVATION
A4 SCALE: 1/4"=1'-0"



DATE :
2/8/19
REVIEW SET

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COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina, 29910

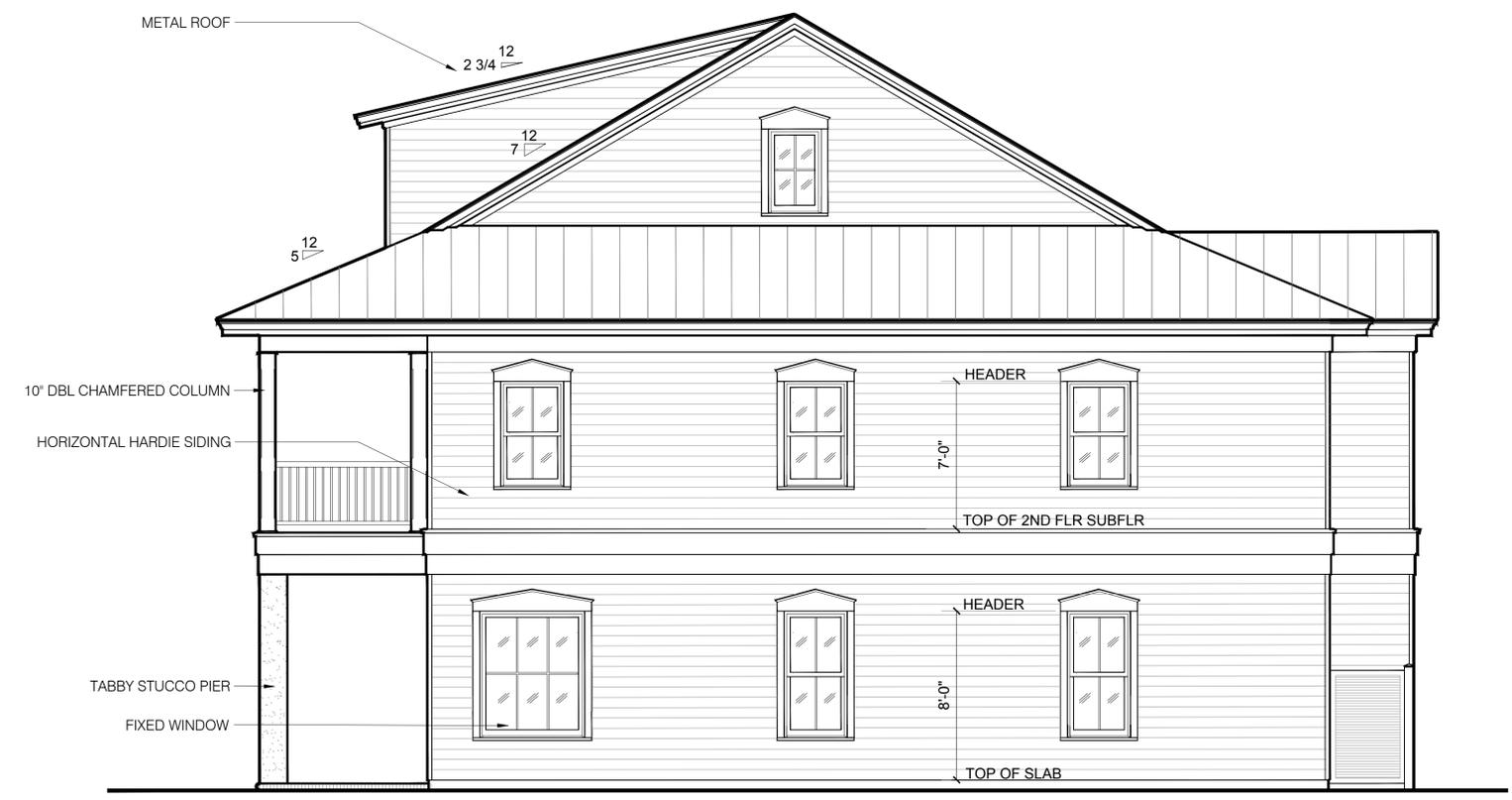
ELEVATIONS

SHEET

A5



A REAR ELEVATION
A5 SCALE: 1/4"=1'-0"



B GENERAL STORE ELEVATION
A5 SCALE: 1/4"=1'-0"

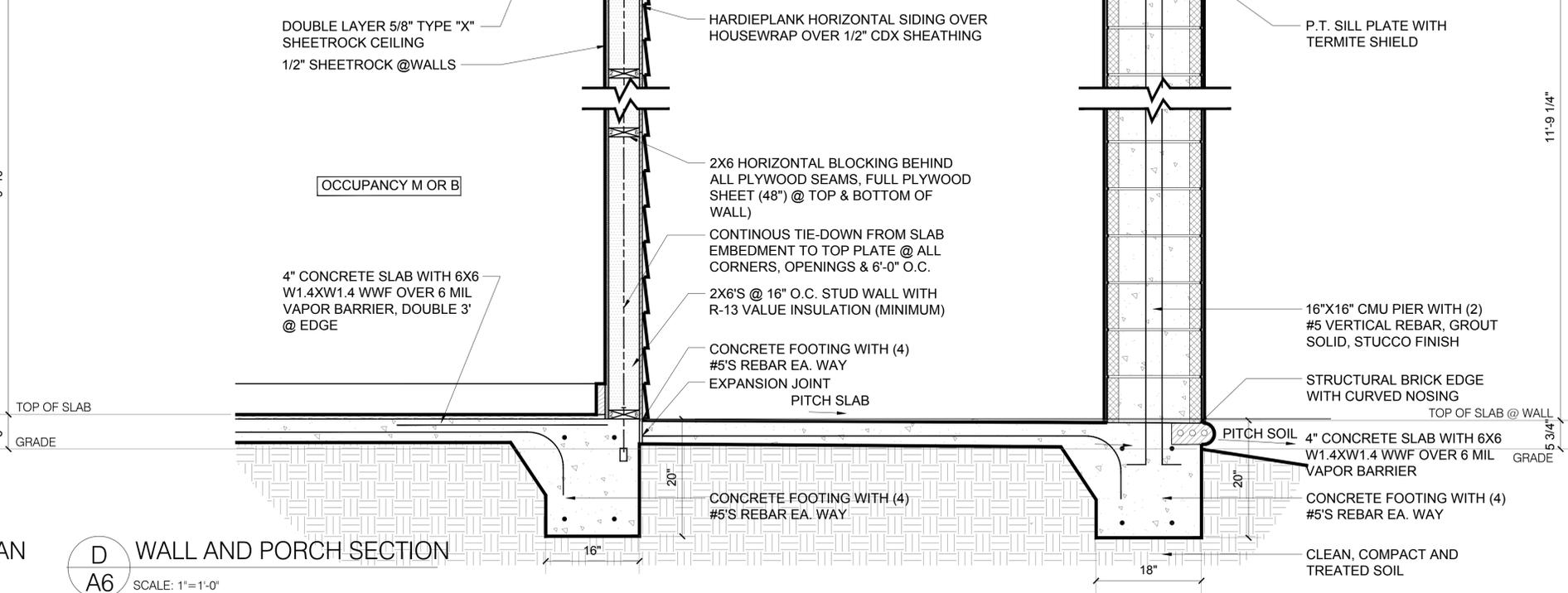
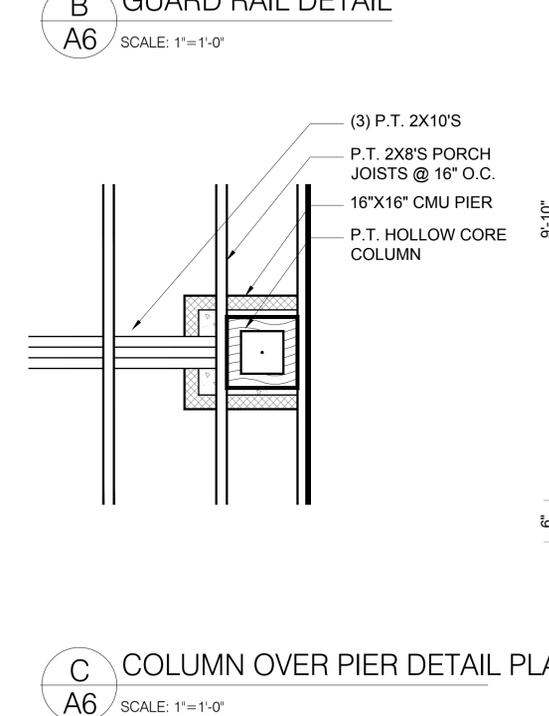
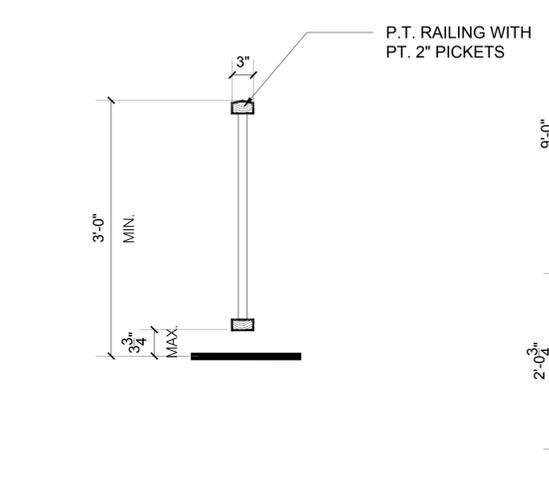
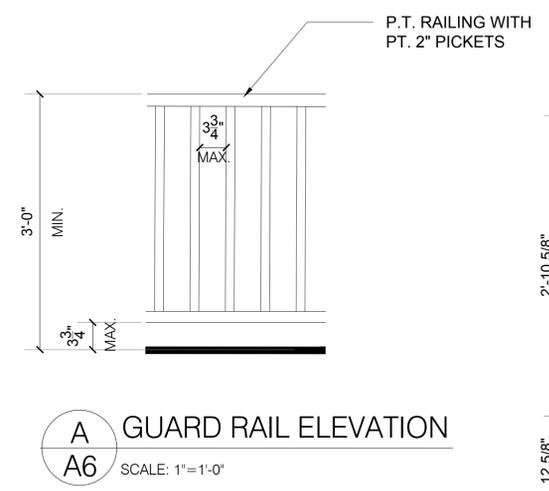
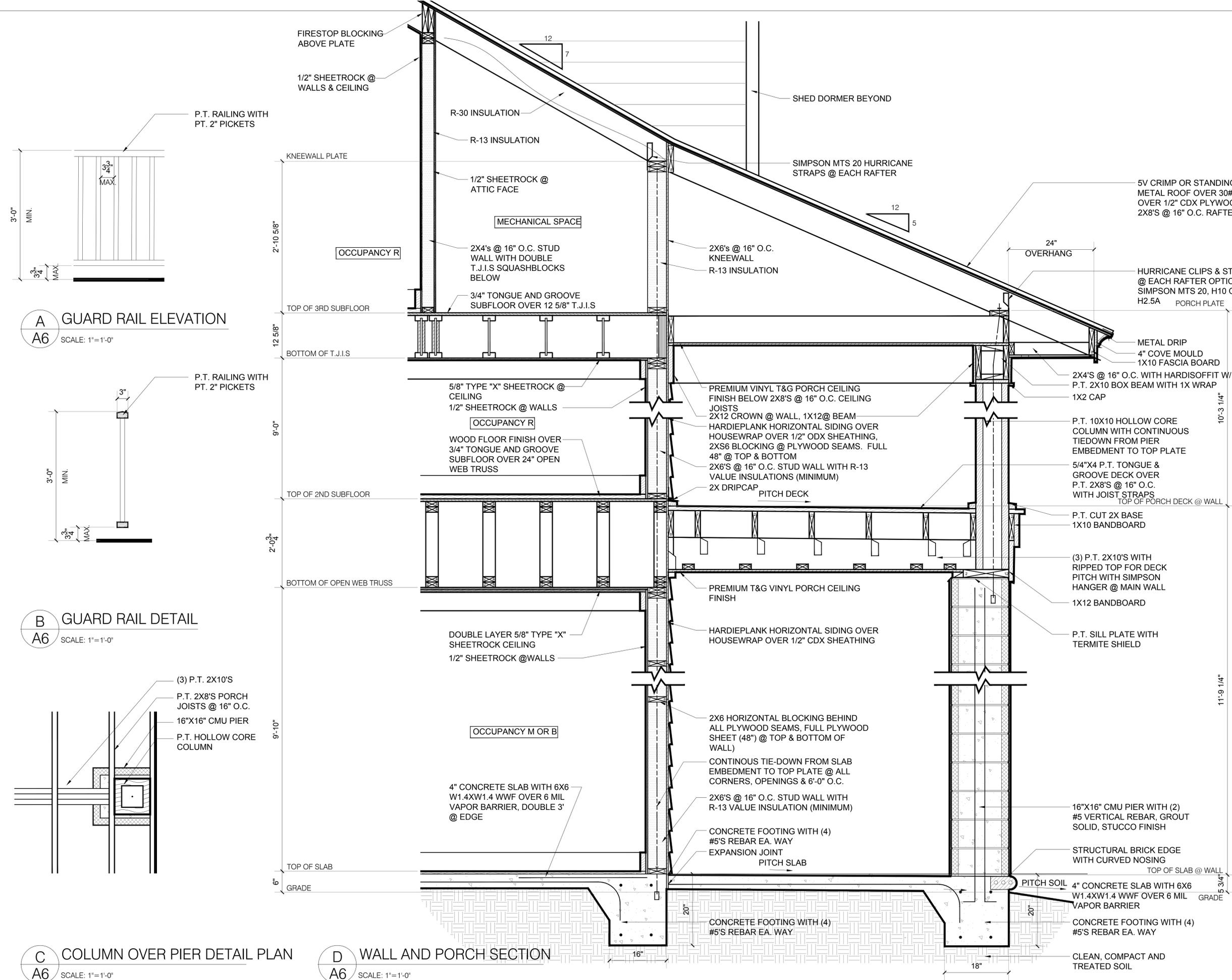


DATE :
2/8/19
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
WALL SECTIONS

SHEET
A6



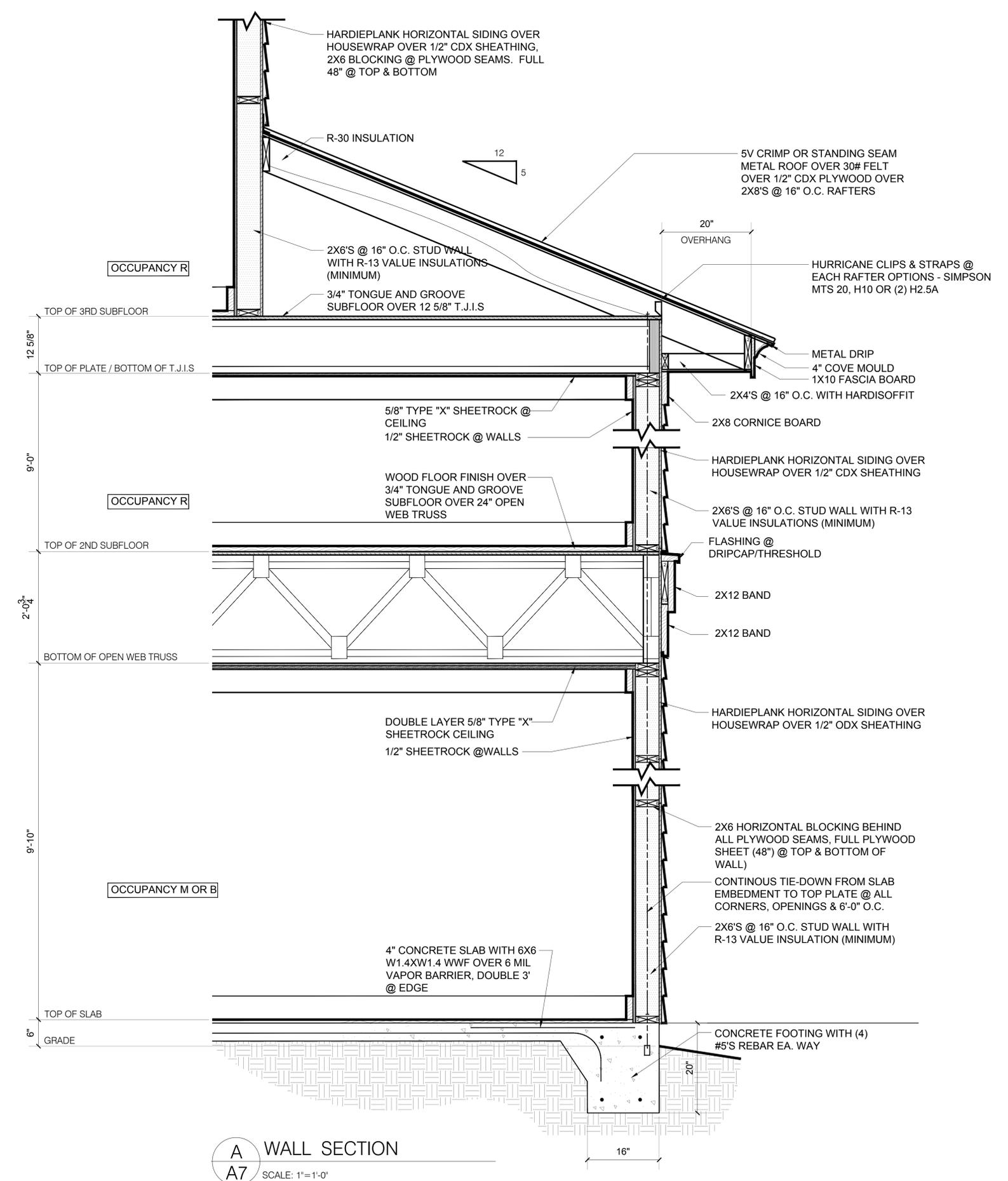


DATE :
2/8/19
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
WALL SECTIONS

SHEET
A7



A WALL SECTION
A7 SCALE: 1"=1'-0"

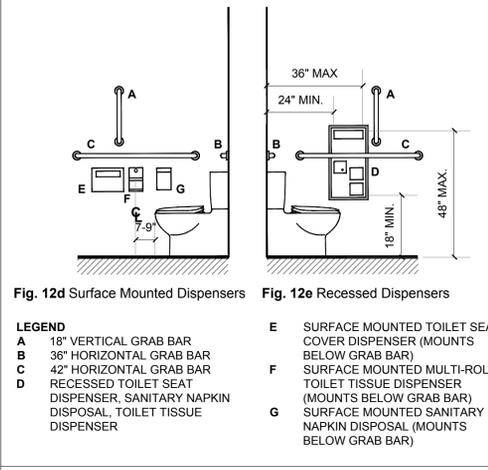
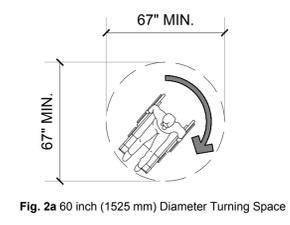
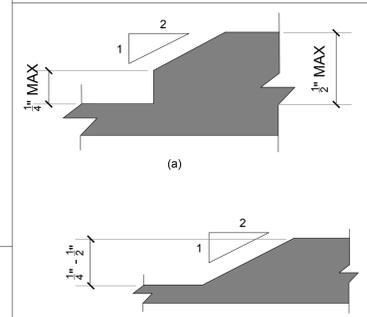
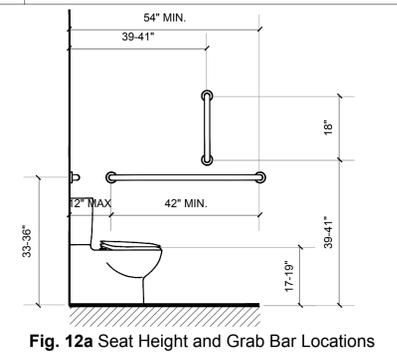
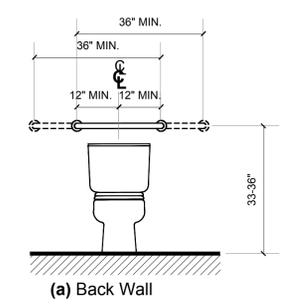
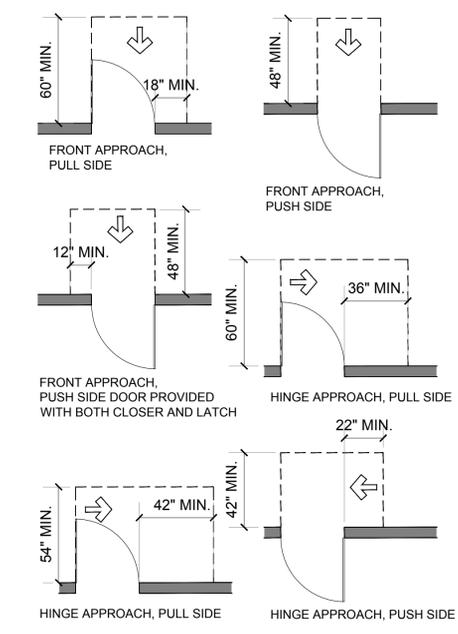
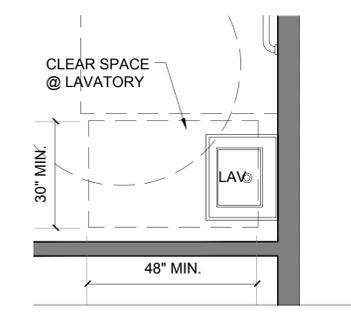
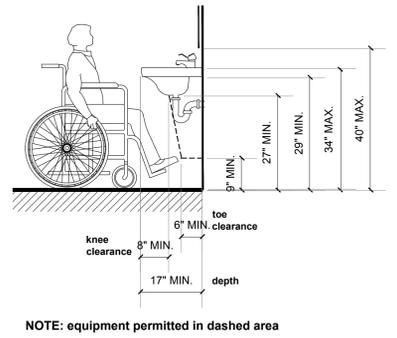


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REVIEW SET

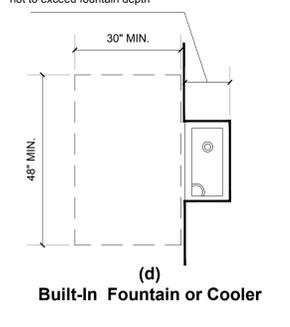
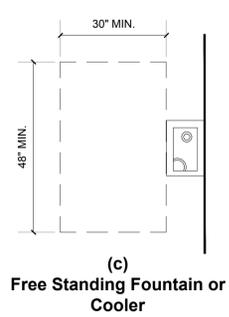
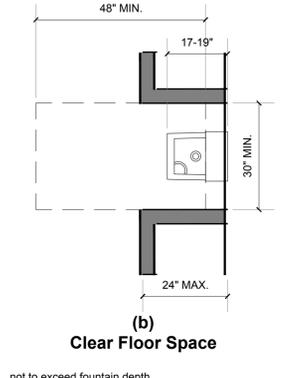
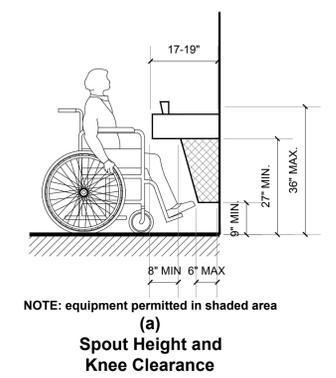
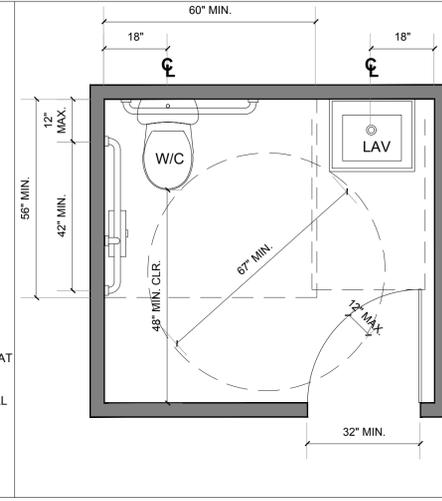
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COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
ENLARGED PLANS & ANSI ILLUSTRATIONS

Examples of Accessible Door Hardware			
Handle	Pull	Bar	Level



- LEGEND**
- A 18" VERTICAL GRAB BAR
 - B 36" HORIZONTAL GRAB BAR
 - C 42" HORIZONTAL GRAB BAR
 - D RECESSED TOILET SEAT DISPENSER, SANITARY NAPKIN DISPOSAL, TOILET TISSUE DISPENSER
 - E SURFACE MOUNTED TOILET SEAT COVER DISPENSER (MOUNTS BELOW GRAB BAR)
 - F SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER (MOUNTS BELOW GRAB BAR)
 - G SURFACE MOUNTED SANITARY NAPKIN DISPOSAL (MOUNTS BELOW GRAB BAR)



Jeffcoat's Commercial Building A

Physical Address
16 Church Street
Bluffton, South Carolina 29910

Property Owner
James and Michelle Jeffcoat

Applicable Codes
2015 International Building Code
2015 International Fire Code
2015 International Mechanical Code
2015 International Plumbing Code
2014 National Electrical Code

Project Description
New construction for mixed use building with commercial below and two residential apartments above.

Proposed Square Footage
Heated Square Footage = 4607 square feet
Porches = 704 square feet

First Story
Overall = 1915 square feet (includes walls)
Corridor Stairs = 89 square feet
Retail or Office Area = 1415 square feet
Closet = 32 square feet
Restroom = 59 square feet
Corridor = 43 square feet

Second Story
Overall = 2020 square feet (includes walls)
Residential = 1756 square feet
Stairhall/Stairs = 173 square feet

Third Story
Residential = 798 square feet

Proposed Construction Makeup
Wood-framed walls, floors and roof with concrete slab foundation.

Occupancy Classification
Section 310.4
Group R-2
Section 304
Group B
Section 309
Group M
Section 311.1.1
Accessory storage under 100 square feet can fall under main occupancy

Type of Construction
Section 602.5
Type VB

Allowable Building Height
Table 504.3
Type VB for R-2, B and M with sprinklers is limited to 60 feet height.

Allowable Numbers of Stories
Section 504.2
Mixed occupancy heights for applicable occupancies.
Table 504.4
Type VB for R-2 with sprinklers is limited to three stories.
Type VB for B with sprinklers is limited to three stories.
Type VB for M with sprinklers is limited to two stories.

Allowable Building Area
Table 506.2
Based on S1 sprinklers
Group R-2 Type VB is allowed 28,000 square feet.
Group B Type VB is allowed 36,000 square feet.
Group M Type VB is allowed 36,000 square feet.

Fire Resistance Rating Requirements for Building Elements
Table 601

Type VB construction requires zero hours for the structural frame, exterior and interior bearing walls, exterior and interior nonbearing walls, floor construction and roof construction.

Minimum Number of Exits or Access to Exits per Story
Table 1006.3.1
Two Exits Required
Table 1006.3.2(1)
One exit permitted if travel distance less than 125 feet and limited to four dwelling units.
Table 1006.2.1
Maximum occupant load per space is 10 occupants

Maximum Exit Access Travel Distance
Table 1017.2
Group R and M = 250 feet
Group B = 300 feet

Maximum Floor Area per Occupant
Table 1004.1.2
First Floor Business
1549 square feet/100 gross = 16 Occupants
First Floor Mercantile
1549 square feet/60 gross = 26 occupants
Second Floor Residential
1756 square feet/200 gross = 9 occupants
Third Floor Residential
672 square feet/200 gross = 4 occupants

Required Separation of Occupancies
Table 508.4
No Separation is Required Between Occupancies B and M
1 Hour Separation is Required Between Occupancy R and Occupancies B and M

Horizontal Assemblies
Section 711.2.4.1
Based on 508.4
1 Hour Rated between first and second floors.
Section 711.2.4.3 Exception
½ Hour Rated between second and third floors

Corridors
Table 1020.1
1/2 Hour Rated Walls

Manual Fire Alarm System
[F] 907.2.9.1
Required

Smoke Alarms
[F]907.2.11.2
Single or multiple station smoke alarms shall be interconnected and installed in the following locations.
1. On the ceiling area or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
2. In each room used for sleeping purposes.
3. In each story within a dwelling unit.

Sprinklers
Section [F]903.2.8
Required

Portable Fire Extinguishers
[F] 906.1
Required
See Exception for R2 locations.
Fire Marshal to determine number, location and type

Stove Hood
Residential Type

Means of Egress Illumination
Section 1008

Exit Signs
Section 1013

Doors
Section 1010

Door Operations and Hardware
Section 1010.1.9
Section 1010.1.9.3 (4)
Allows security latch, bolt or chain openable without key or tool for R2

Stairs
Section 1011

Handrails
Section 1014

Guards
Section 1015

Interior Finishes
Table 803.11
Class C and B Ratings Required - See Table for Locations

INDEX	
C-1	CODE ANALYSIS, INDEX
A-1	FIRST FLOOR PLAN & DETAILS
A-2	SECOND & THIRD FLOOR PLANS
A-3	ROOF PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	BUILDING SECTIONS
A-7	BUILDING SECTIONS
A-8	ANSI ILLUSTRATIONS



DATE :
2/8/19
REVIEW SET

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, South Carolina 29910 mailing
843.338.8932 cell manuel.studio@aol.com

COMMERCIAL BUILDING A for
JAMES AND MICHELLE JEFFCOAT
16 Church Street
Bluffton, South Carolina 29910
CODE ANALYSIS AND INDEX

SHEET
C-1

ATTACHMENT 4
CONCEPTUAL
HAS NOT BEEN REVIEWED BY
TOWN OF BLUFFTON STAFF



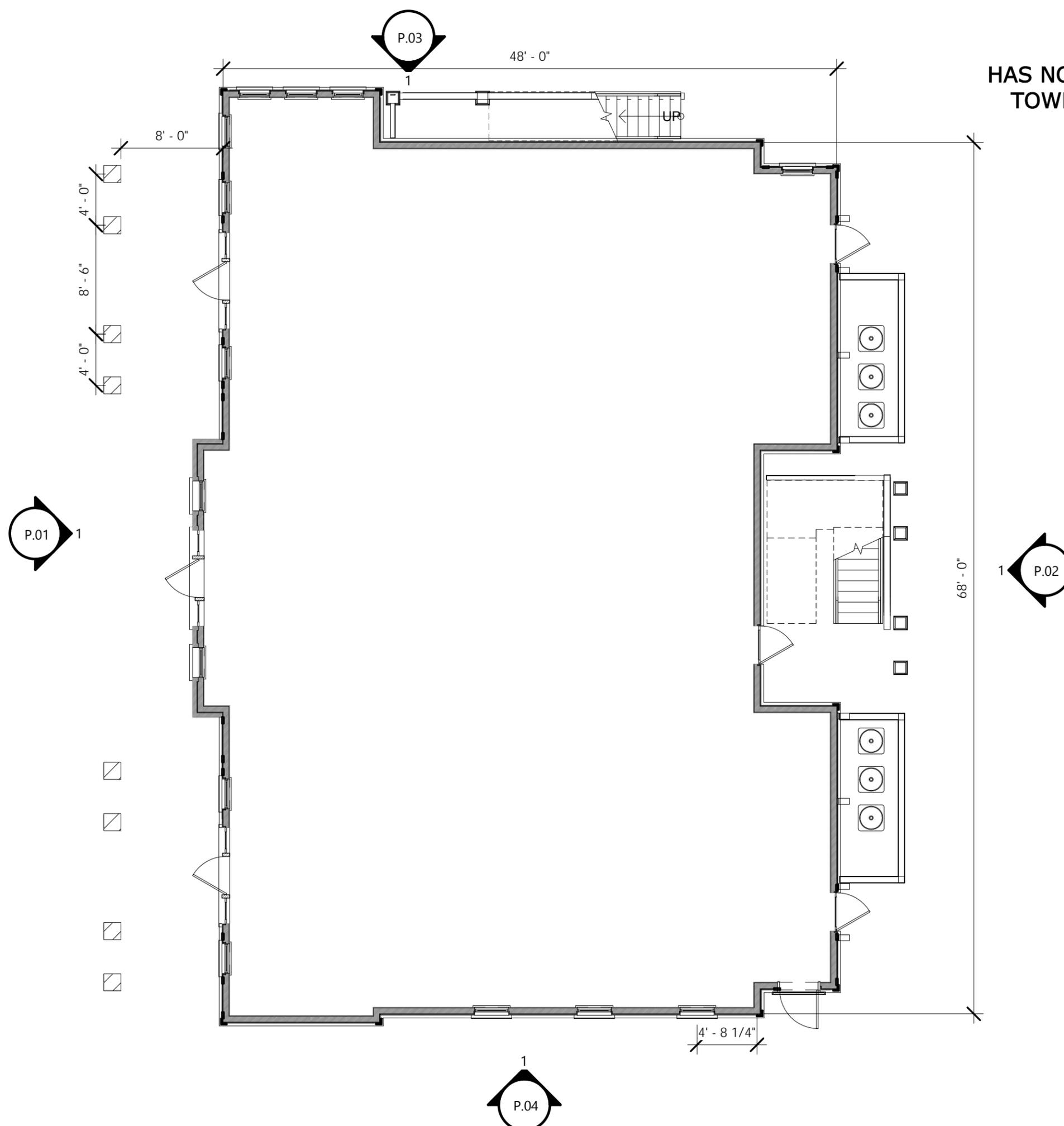
CALHOUN STREET ELEVATION CONCEPT
BUILDING NO.1



NORTH ELEVATION CONCEPT
BUILDING NO.1



EAST ELEVATION CONCEPT
BUILDING NO.1



① FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING 1

05/19/20



CALHOUN STREET ELEVATION CONCEPT
BUILDING NO.2



BRIDGE STREET ELEVATION CONCEPT
BUILDING NO. 2

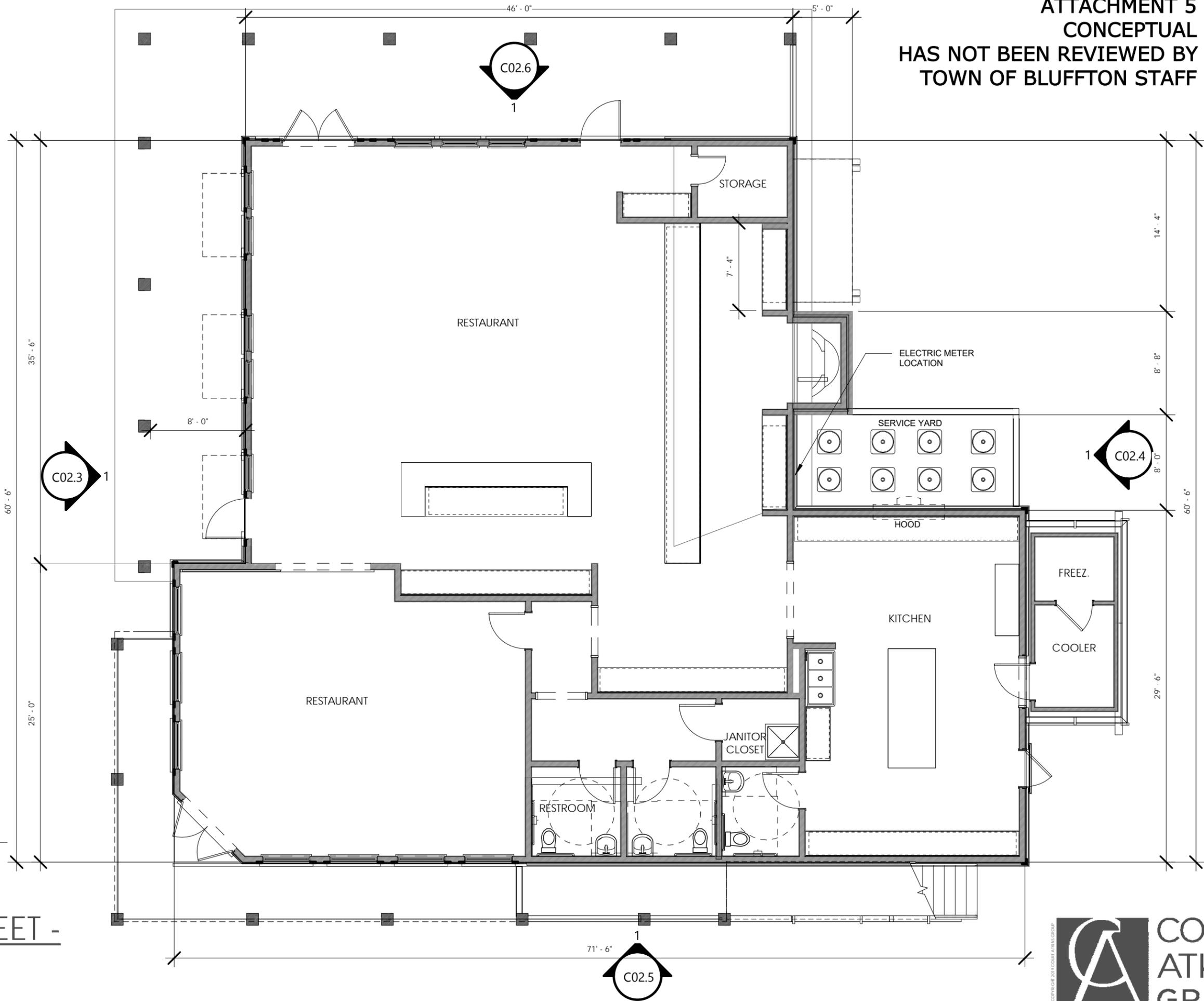


EAST ELEVATION CONCEPT
BUILDING NO.2



NORTH ELEVATION CONCEPT
BUILDING NO.2

ATTACHMENT 5
CONCEPTUAL
HAS NOT BEEN REVIEWED BY
TOWN OF BLUFFTON STAFF



① FIRST FLOOR PLAN
1/8" = 1'-0"

71 CALHOUN STREET -
BUILDING 2

05/04/2020





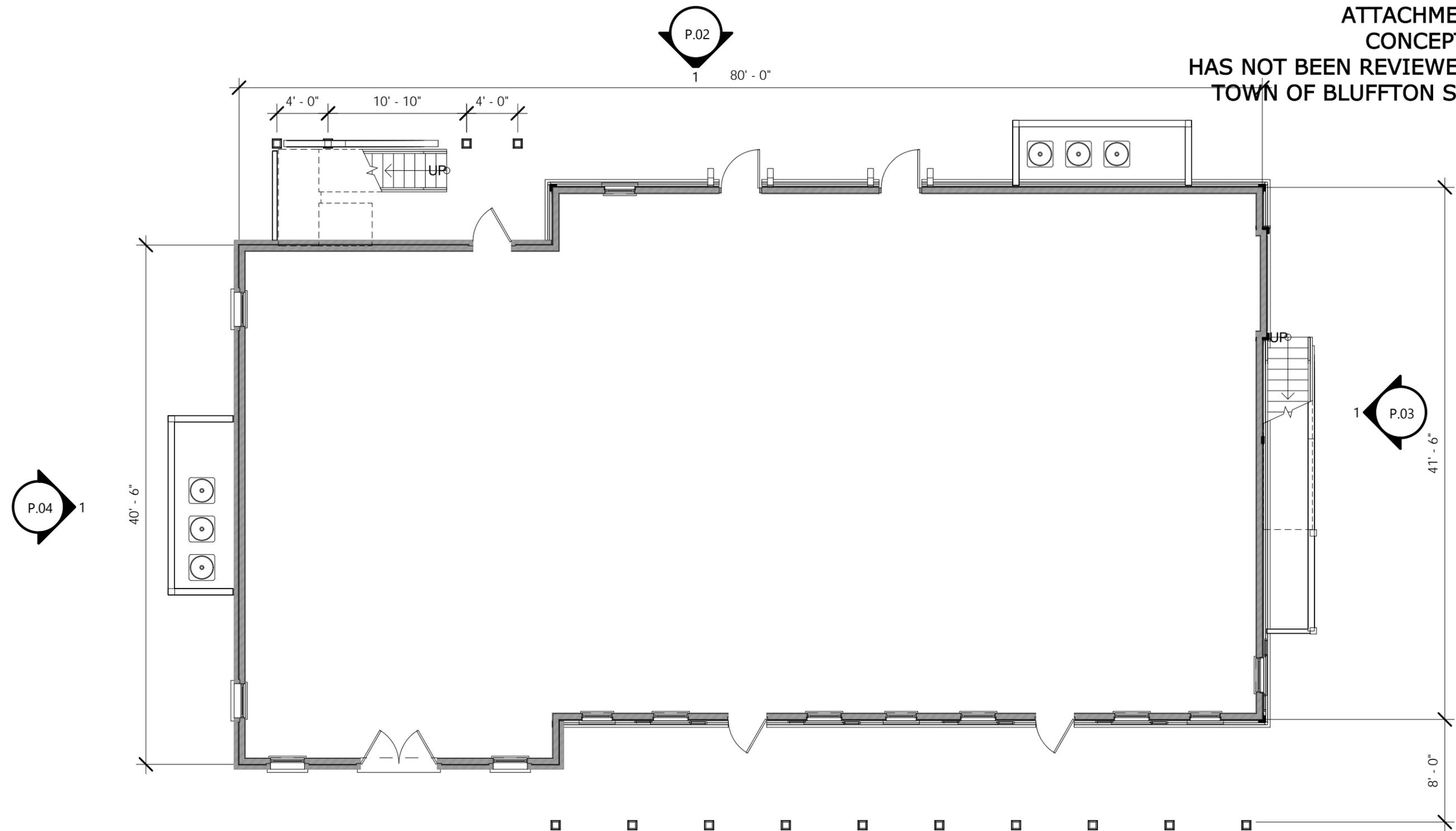
BRIDGE STREET ELEVATION CONCEPT
BUILDING NO.3



EAST ELEVATION CONCEPT
BUILDING NO.3



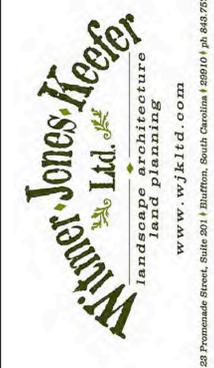
NORTH ELEVATION CONCEPT
BUILDING NO.3



① FIRST FLOOR PLAN
1/8" = 1'-0"

71 CALHOUN BUILDING 3

05/19/20



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SITE DEVELOPMENT PLANS FOR
71 CALHOUN STREET
 BLUFFTON, SOUTH CAROLINA

DATE: MAR. 06, 2020
 PROJECT NO.: 17126.01
 DRAWN BY: MY / JM
 CHECKED BY: WM

AMENDED D.R.C. SUBMITTAL PLAN,
 NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER

L500

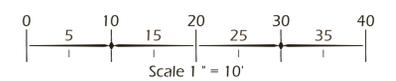
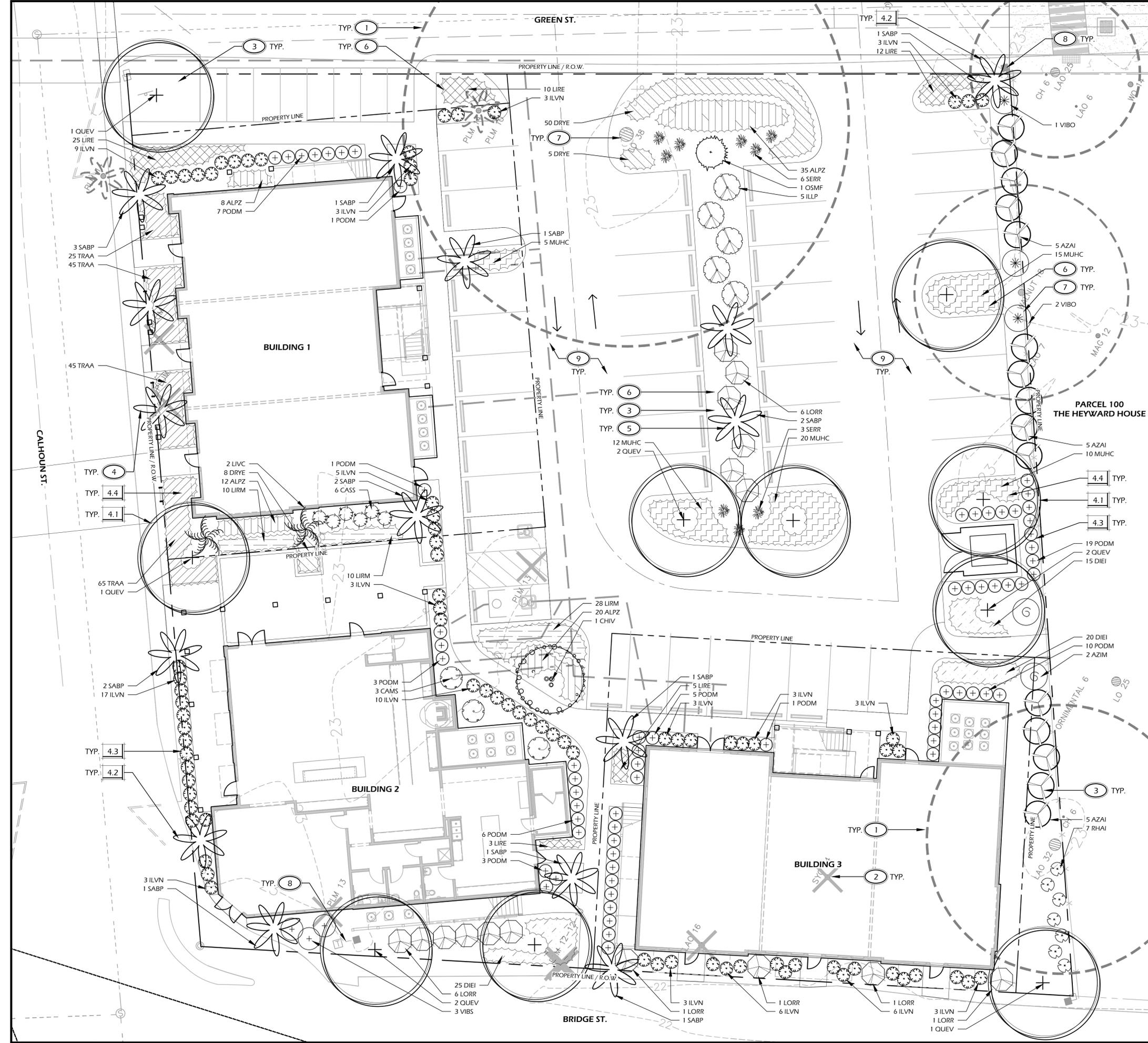
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L501
14.2	PALM TREE PLANTING	4/L501
14.3	SHRUB PLANTING	2/L501
14.4	GROUND COVER PLANTING	5/L501

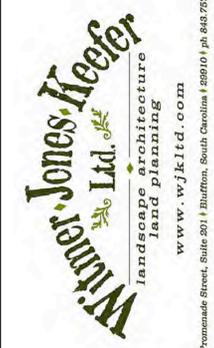
PLANT KEY LEGEND

TREES		
QUEV	Quercus virginiana	Live Oak
SABP	Sabal Palmetto	Cabbage Palm
UNDERSTORY TREES		
CHIV	Chionanthus virginicus	Fringe Tree
LIVC	Livistona chinensis	Chinese Fan Palm
SHRUBS		
AZAI	Azalea indica 'Formosa'	Formosa Azalea
AZIM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
CAMS	Camellia sasanqua	Sasanqua Camellia
CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Sasanqua Camellia
ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly
ILLP	Illicium parviflorum	Yellow Anise
LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower
OSMF	Osmanthus fragrans	Fragrant Tea Olive
PODM	Podocarpus macrophyllus	Podocarpus
RHAI	Rhaphiolepis indica	Indian Hawthorn
SERR	Serenoa repens	Saw Palmetto
VIBO	Viburnum odoratissimum	Sweet Viburnum
VIBS	Viburnum suspensum	Sandankwa Viburnum
ORNAMENTAL GRASSES & FERNS		
DRYE	Dryopteris erythrosora	Autumn Fern
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
ALPZ	Alpinia zerumbet	Variegated Shell Ginger
DIEI	Dietes iridioides	White African Iris
LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope
LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope
TRAA	Trachelospermum asiaticum	Asiatic Jasmine

PLANTING REFERENCE NOTES:

- 1 EXISTING TREES TO REMAIN.
- 2 EXISTING TREES TO BE REMOVED.
- 3 MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- 4 CENTER PALM TREES BETWEEN COLUMNS ON BUILDING 1.
- 5 ALL PARKING LOT PALM TREES SHALL BE PLACED IN LINE WITH EACH OTHER CENTERED IN THE MEDIAN.
- 6 ALL PARKING LOT MEDIAN PLANTINGS SHALL BE 12'-18" OFF EDGE OF ROAD / PARKING AREA AT TIME OF MATURITY.
- 7 CAREFULLY EXCAVATE PLANTING PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- 8 COORDINATE PLANTING LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
- 9 TWO WAY TRAFFIC, PERVIOUS PARKING, REFER TO CIVIL ENGINEERS PLANS.





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 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS FOR
71 CALHOUN STREET
 BLUFFTON, SOUTH CAROLINA

DATE: MAR. 06, 2020
 PROJECT NO.: 17126.01
 DRAWN BY: MY / JM
 CHECKED BY: WM

AMENDED D.R.C. SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

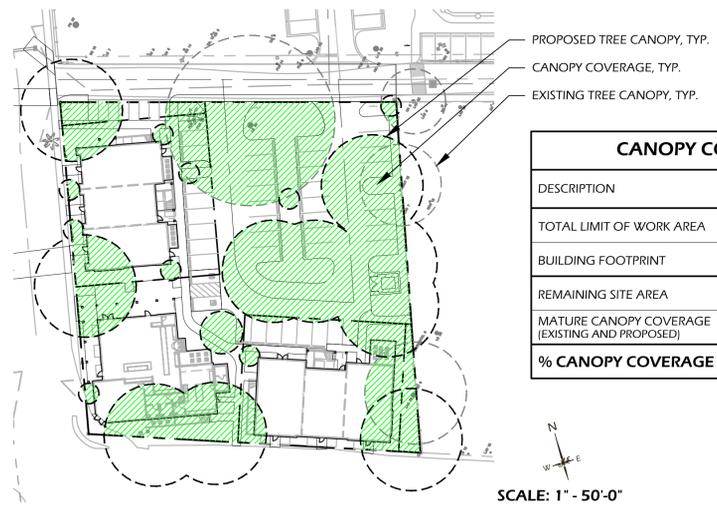
DRAWING NUMBER

L501

PLANT SCHEDULE:

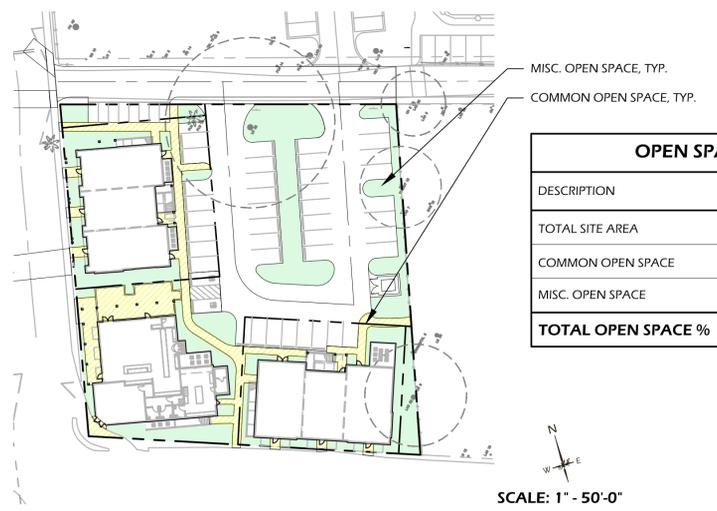
Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
9	QUEV	Quercus virginiana	Live Oak	12'-14'	5'-6'	Cont.	3"	Full
15	SABP	Sabal Palmetto	Cabbage Palm	14'-16'	-	Cont.	-	Refoliated
UNDERSTORY TREES								
1	CHIV	Chionanthus virginicus	Fringe Tree	6'-7'	3'-4'	30 gal.	-	Full
2	LIVC	Livistona chinensis	Chinese Fan Palm	4'-5'	2'-3'	15 gal.	-	Full
SHRUBS								
15	AZAI	Azalea indica 'Formosa'	Formosa Azalea	3'-4'	30'-36"	15 gal.	-	Full
2	AZIM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	3'-4'	30'-36"	15 gal.	-	Full
3	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full, Red Flowering Variety
6	CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Sasanqua Camellia	18"-24"	18"-24"	3 gal.	-	Full
86	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18"-24"	18"-24"	7 gal.	-	Full
5	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
16	LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
1	OSMF	Osmanthus fragrans	Fragrant Tea Olive	4'-5'	2'-3'	15 gal.	-	Full
53	PODM	Podocarpus macrophyllus	Podocarpus	36"-42"	24'-30"	15 gal.	-	Full
7	RHAI	Rhaphiolepis indica	Indian Hawthorn	24'-30"	24'-30"	7 gal.	-	Full
9	SERR	Serenoa repens	Saw Palmetto	24'-30"	18'-24"	15 gal.	-	Full
3	VIBO	Viburnum odoratissimum	Sweet Viburnum	3'-4'	30'-36"	15 gal.	-	Full
3	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
63	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
62	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
75	ALPZ	Alpinia zerumbet	Variegated Shell Ginger	12"-18"	8'-12"	1 gal.	24" O.C.	Full
60	DIEI	Dietes iridioides	White African Iris	12"-18"	8'-12"	1 gal.	24" O.C.	Full
55	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-16"	8'-12"	1 gal.	24" O.C.	Full
48	LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope	12"-16"	8'-12"	1 gal.	18" O.C.	Full
180	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
MULCH								
10,675	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

TREE CANOPY DIAGRAM:

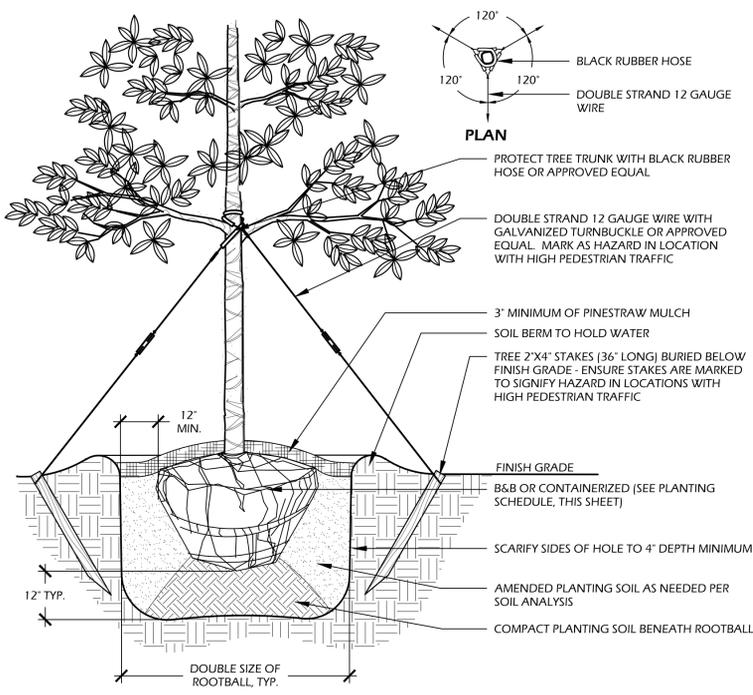


DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	39,350 S.F.
BUILDING FOOTPRINT	10,455 S.F.
REMAINING SITE AREA	28,895 S.F.
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	22,300 S.F.
% CANOPY COVERAGE (75% MIN.)	77%

OPEN SPACE DIAGRAM:

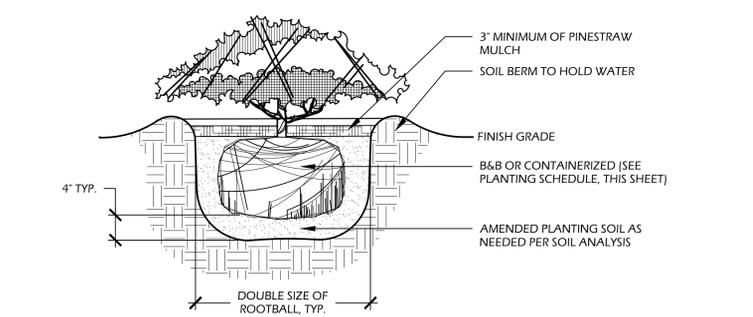


DESCRIPTION	SF	%	REQUIRED %
TOTAL SITE AREA	39,350		
COMMON OPEN SPACE	±4,213	10.7%	10
MISC. OPEN SPACE	±9,159	23.2%	10 MIN.
TOTAL OPEN SPACE %		33.9%	20



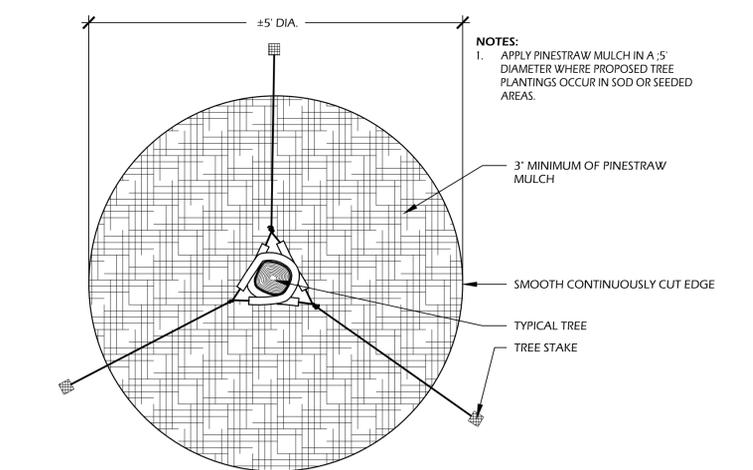
- NOTES:**
- TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
 SCALE: N.T.S.

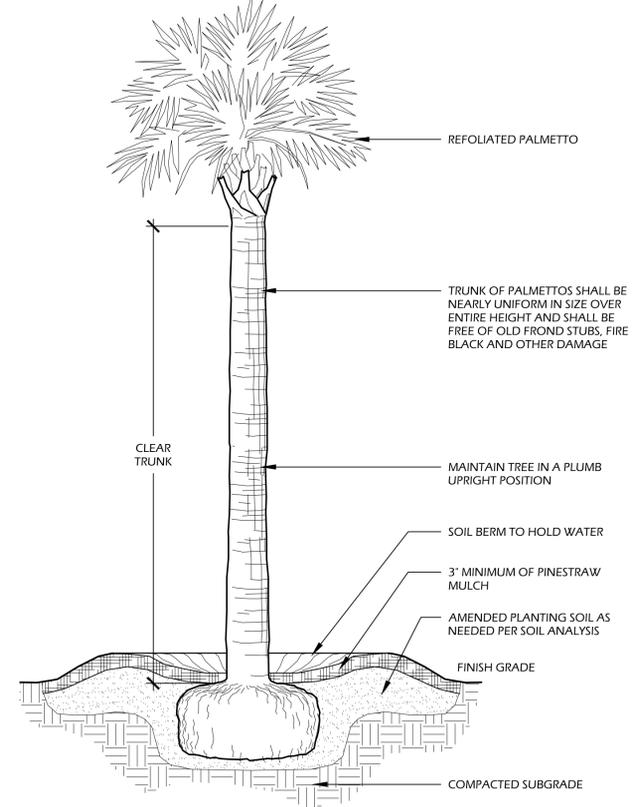


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

2 // L501 SHRUB PLANTING
 SCALE: N.T.S.

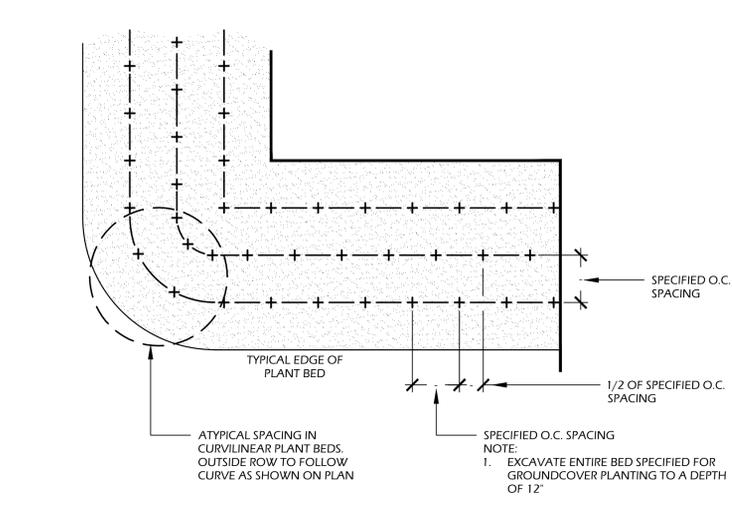


3 // L501 TREE STAKING
 SCALE: N.T.S.



- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

4 // L501 PALM TREE PLANTING
 SCALE: N.T.S.

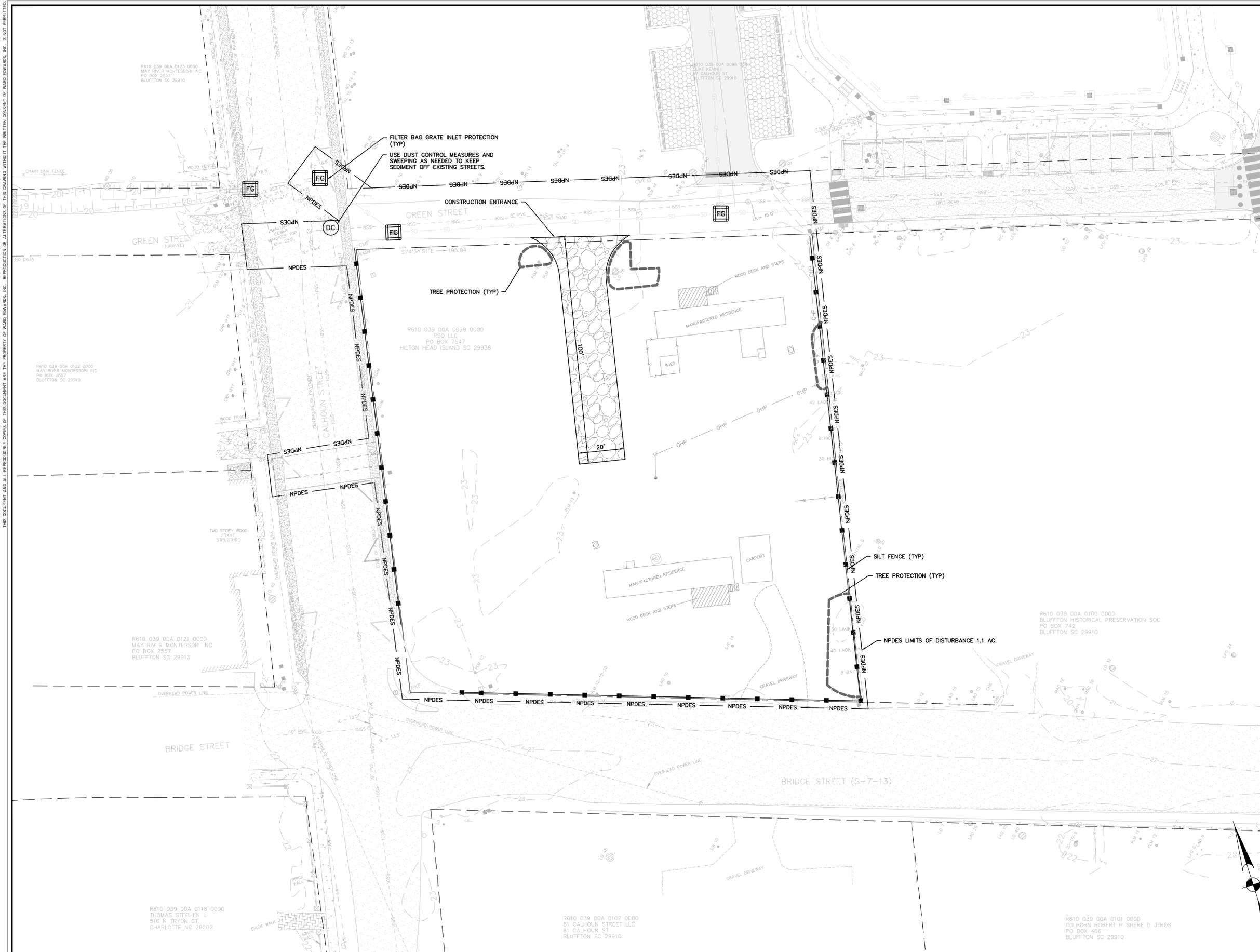


5 // L501 GROUND COVER PLANTING
 SCALE: N.T.S.





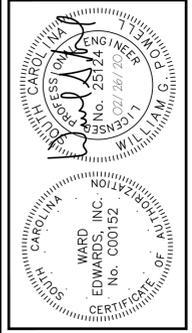
CONCEPTUAL SITE PLAN
FOR
71 CALHOUN STREET
BLUFFTON, SOUTH CAROLINA



LIMITS OF DISTURBANCE:		NPDES
EROSION PREVENTION		
LAND GRADING:	LG	OR (adj)
SURFACE ROUGHENING:	[Symbol]	
TOPSOILING:	[Symbol]	
TEMPORARY SEEDING:	TS	
MULCHING:	M	
ECB OR TRM:	[Symbol]	
FGM:	FGM	
BFM:	BFM	
PERMANENT SEEDING:	PS	
SODDING:	SO	
RIPRAP:	[Symbol]	
OUTLET PROTECTION:	[Symbol]	[Symbol]
	RIPRAP	ECB or TRM
DUST CONTROL:	DC	
POLYACRYLAMIDE (PAM):	PAM	

SEDIMENT CONTROL	
SEDIMENT BASIN:	[Symbol]
TEMPORARY SEDIMENT TRAP:	[Symbol]
ROCK SEDIMENT DIKE:	[Symbol]
ROCK CHECK DAM:	[Symbol] OR [Symbol]
SEDIMENT TUBE:	[Symbol]
SILT FENCE:	[Symbol]
REINFORCED SILT FENCE:	[Symbol]
TYPE A - FABRIC INLET PROTECTION:	[Symbol]
TYPE A - SEDIMENT TUBE INLET PROTECTION:	[Symbol]
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	[Symbol]
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	[Symbol]
TYPE D - RIGID INLET FILTERS:	[Symbol]
TYPE E - SURFACE COURSE CURB INLET FILTER:	[Symbol]
TYPE F - SEDIMENT TUBE INLET PROTECTION:	[Symbol]
TYPE FC - FILTER BAG CURB INLET PROTECTION:	[Symbol]
TYPE FG - FILTER BAG GRATE INLET PROTECTION:	[Symbol]
CONCRETE WASHOUT:	[Symbol]

RUNOFF CONVEYANCE MEASURES	
VEGETATED CHANNELS:	[Symbol]
RIPRAP-LINED CHANNELS:	[Symbol]
ECB OR TRM-LINED CHANNELS:	[Symbol]
PAVED CHANNELS:	PC [Symbol] PC [Symbol] PC [Symbol]
PIPE SLOPE DRAINS:	[Symbol]
TEMPORARY STREAM CROSSING:	[Symbol]
TEMPORARY DIVERSION DITCH OR SWALE:	[Symbol]
PERMANENT DIVERSION DITCH:	[Symbol]
DIVERSION DIKE OR BERM:	[Symbol]
LEVEL SPREADER:	[Symbol]
SUBSURFACE DRAIN:	[Symbol]



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards
ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH: (843) 837-5760 / FAX: (843) 837-2556
WWW.WARDEDWARDS.COM

71 CALHOUN STREET - COMMERCIAL S/D
TOWN OF BLUFFTON, SOUTH CAROLINA
CUNNINGHAM SOUTH CAROLINA, LLC
Bluffton, SC
INITIAL EROSION CONTROL PLAN

NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION

PROJECT #: 170226
DATE: 02/26/20
DESIGNED BY: TCR
CHECKED BY: WGP
SCALE: 1"=20'

SHEET C201

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VERTICAL CONTROL DATUM: NAVD83

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GRADING LEGEND

TOP OF PAVEMENT ELEVATION	⊗ TP: 22.50
TOP OF WALK ELEVATION	⊗ TW: 22.50
TOP OF CURB ELEVATION	⊗ TC: 22.50
FINISH GRADE	⊗ FG: 22.5
HIGH POINT	⊗ HP
LOW POINT	⊗ LP
CONTOUR	-19-
DITCH CENTERLINE	→ PD →
DIRECTION OF FLOW	→
DOORWAY	▶

Professional Engineer Seal for William G. Williams, License No. 25174, State of South Carolina.

Professional Engineer Seal for Ward Edwards, Inc., License No. 000132, State of South Carolina.

NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH: (843) 837-5750 / FAX: (843) 837-2556
 WWW.WARDEDWARDS.COM

71 CALHOUN STREET - COMMERCIAL S/D
 TOWN OF BLUFFTON, SOUTH CAROLINA
CUNNINGHAM SOUTH CAROLINA, LLC
 Bluffton, SC
GRADING PLAN

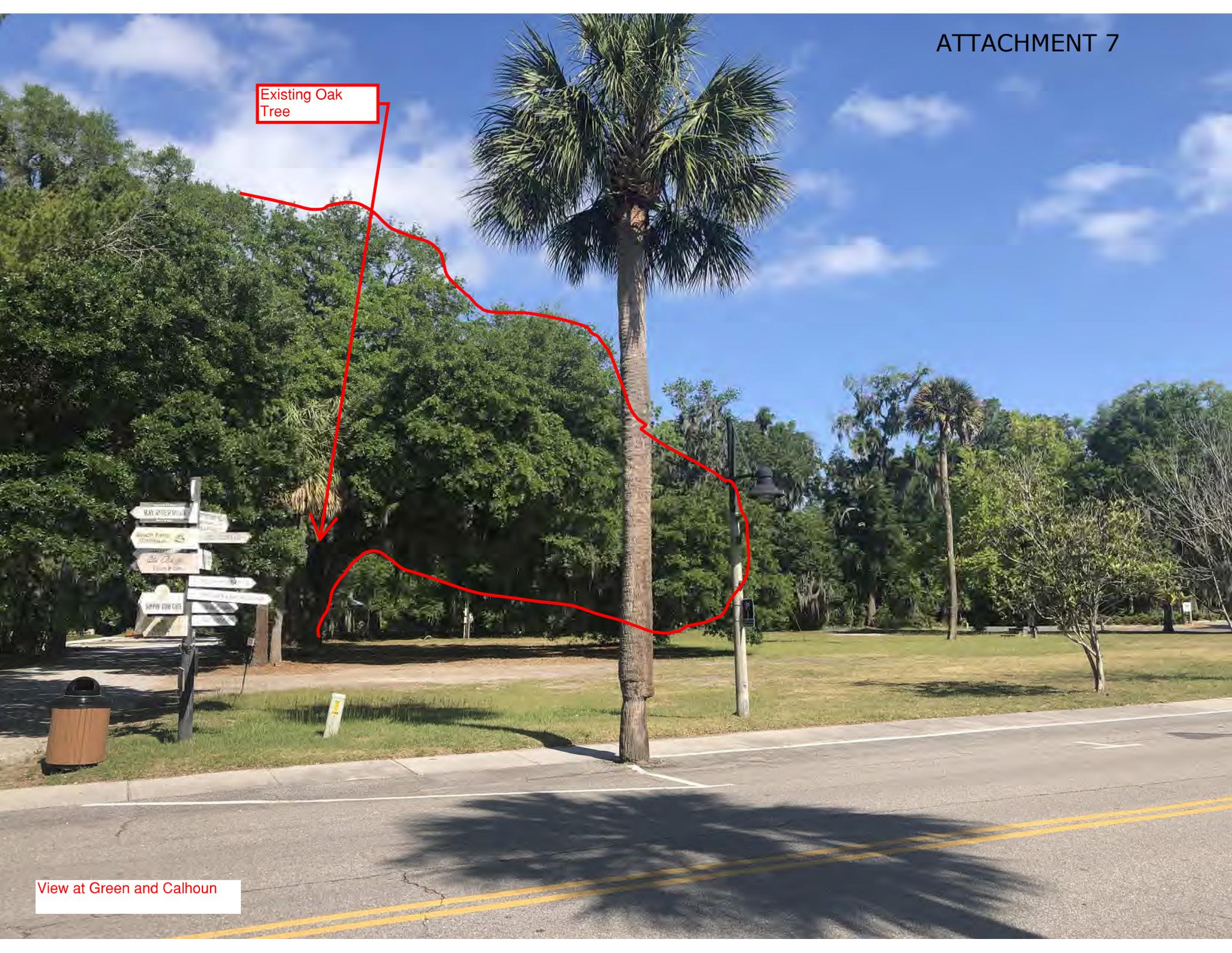
NOT FOR CONSTRUCTION
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PROJECT #: 170226
 DATE: 02/26/20
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 CHECKED BY: WGP
 SCALE: 1"=20'

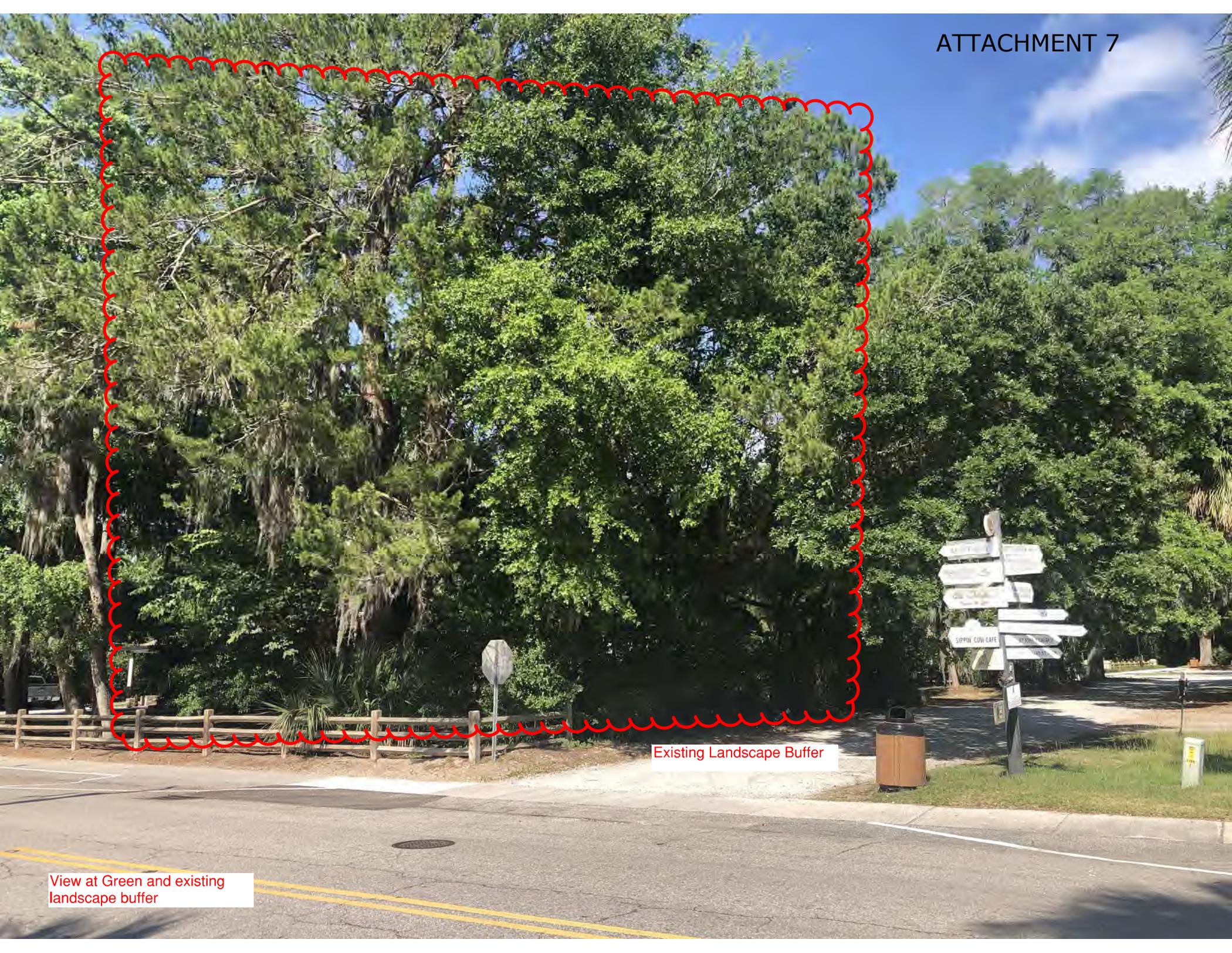
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Existing Oak
Tree

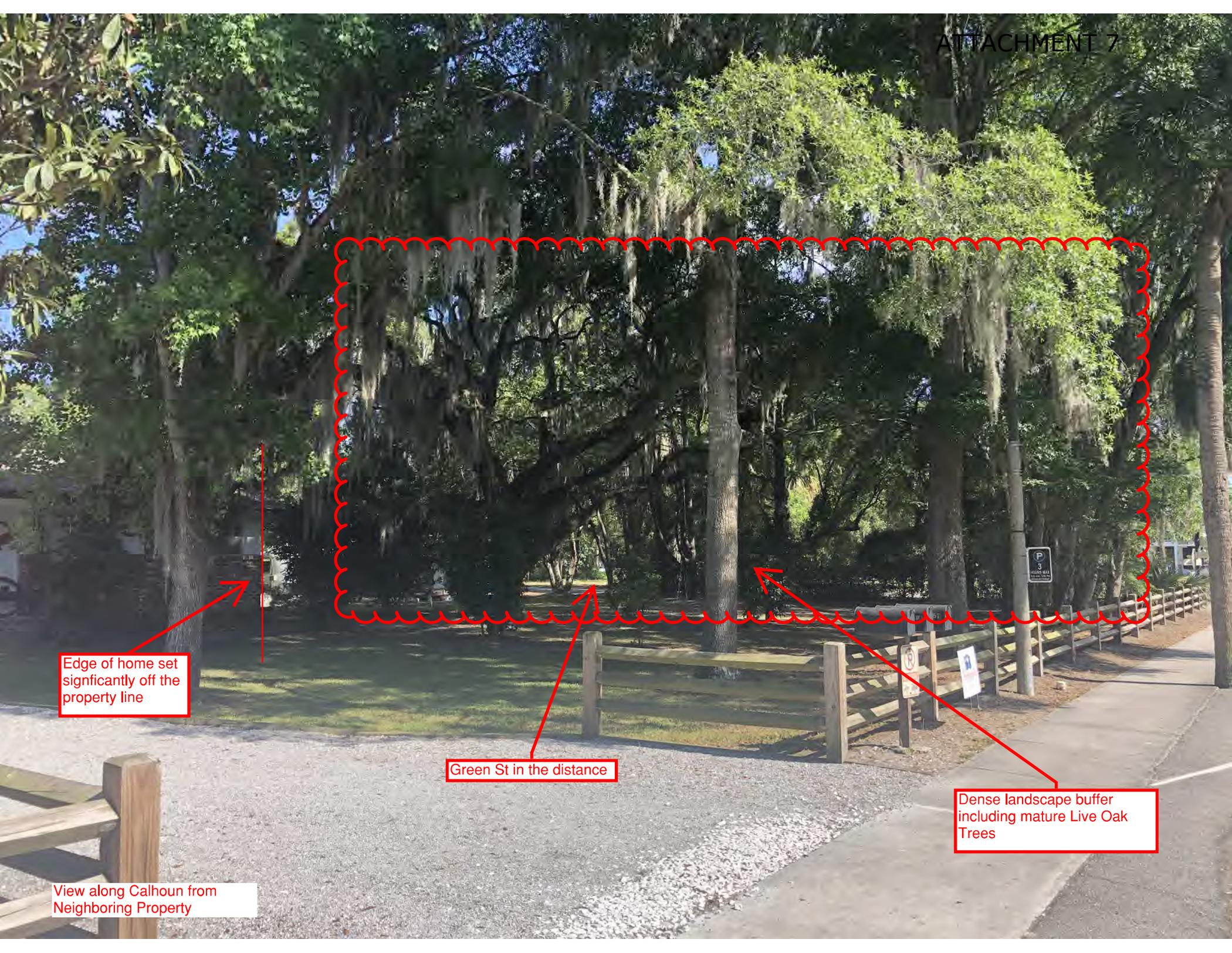


View at Green and Calhoun



Existing Landscape Buffer

View at Green and existing landscape buffer



Edge of home set significantly off the property line

Green St in the distance

Dense landscape buffer including mature Live Oak Trees

View along Calhoun from Neighboring Property



View towards 71 Calhoun
along Calhoun St. (Road)

View
Perimeter



View Perimeter

View towards 71 Calhoun
along Calhoun St. (Sidewalk)



Existing Landscape Buffer

View along Green St.



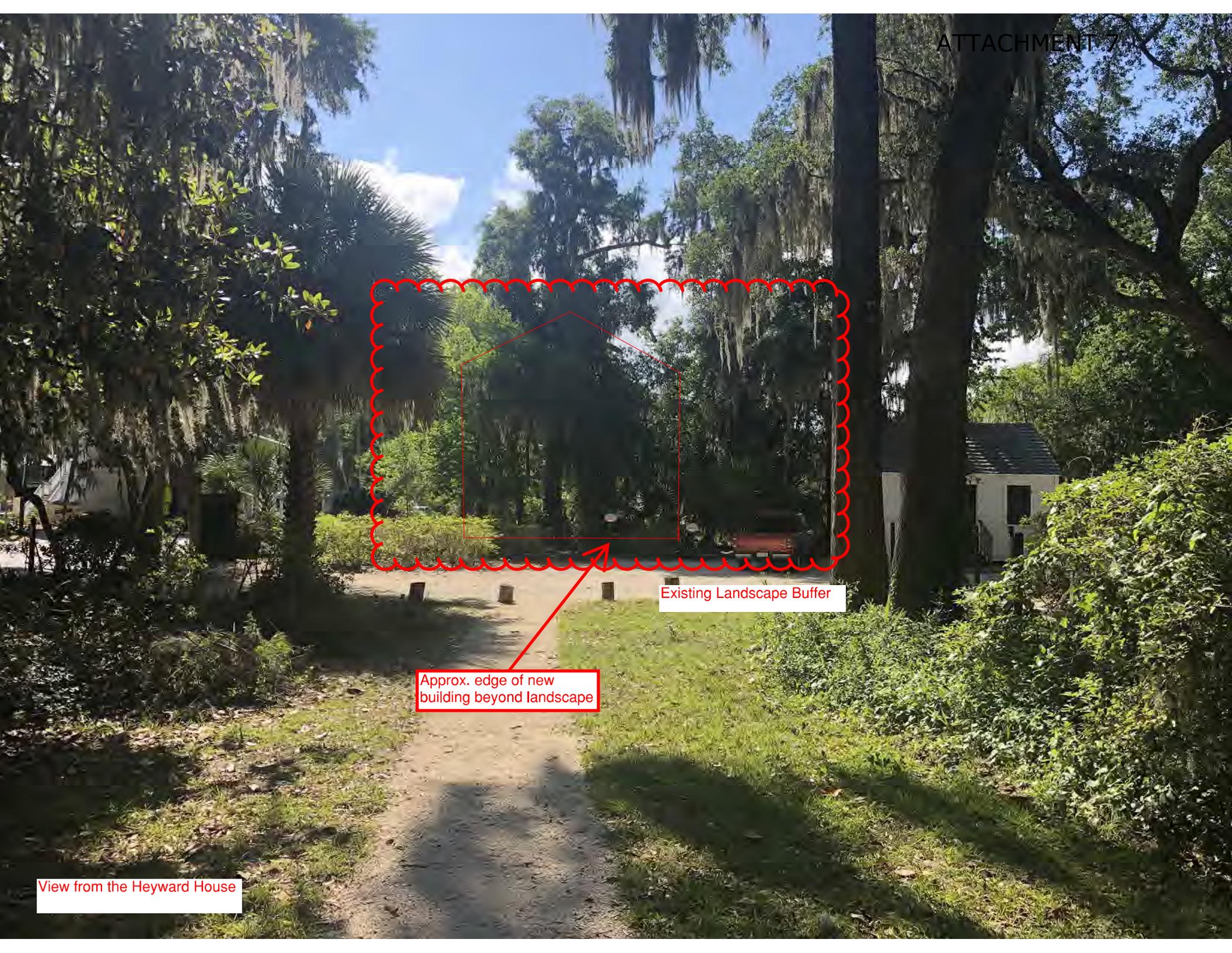
Existing Oak
Tree to Remain

View along Green St from the
park



View from the Heyward House

Existing Landscape Buffer



Existing Landscape Buffer

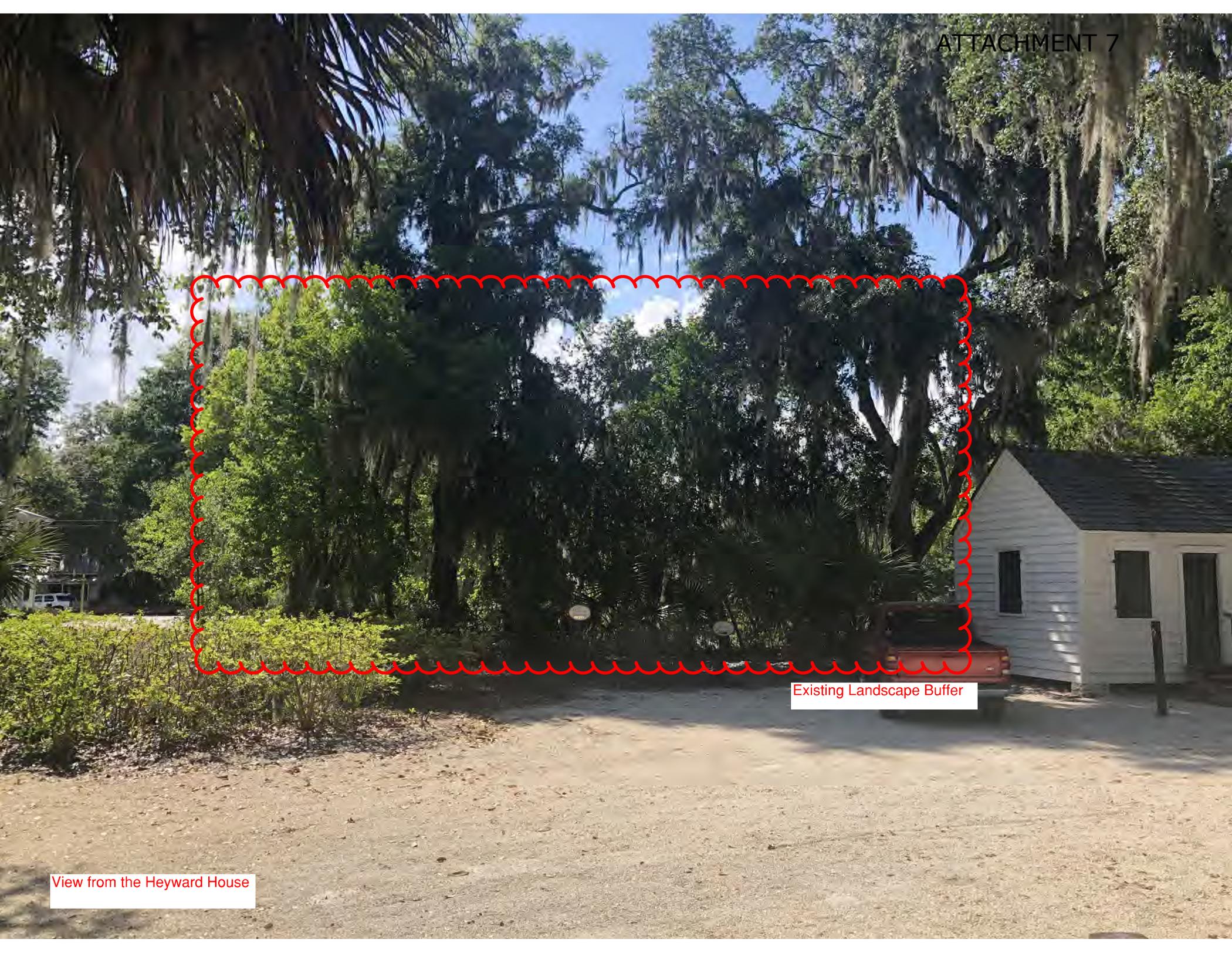
Approx. edge of new building beyond landscape

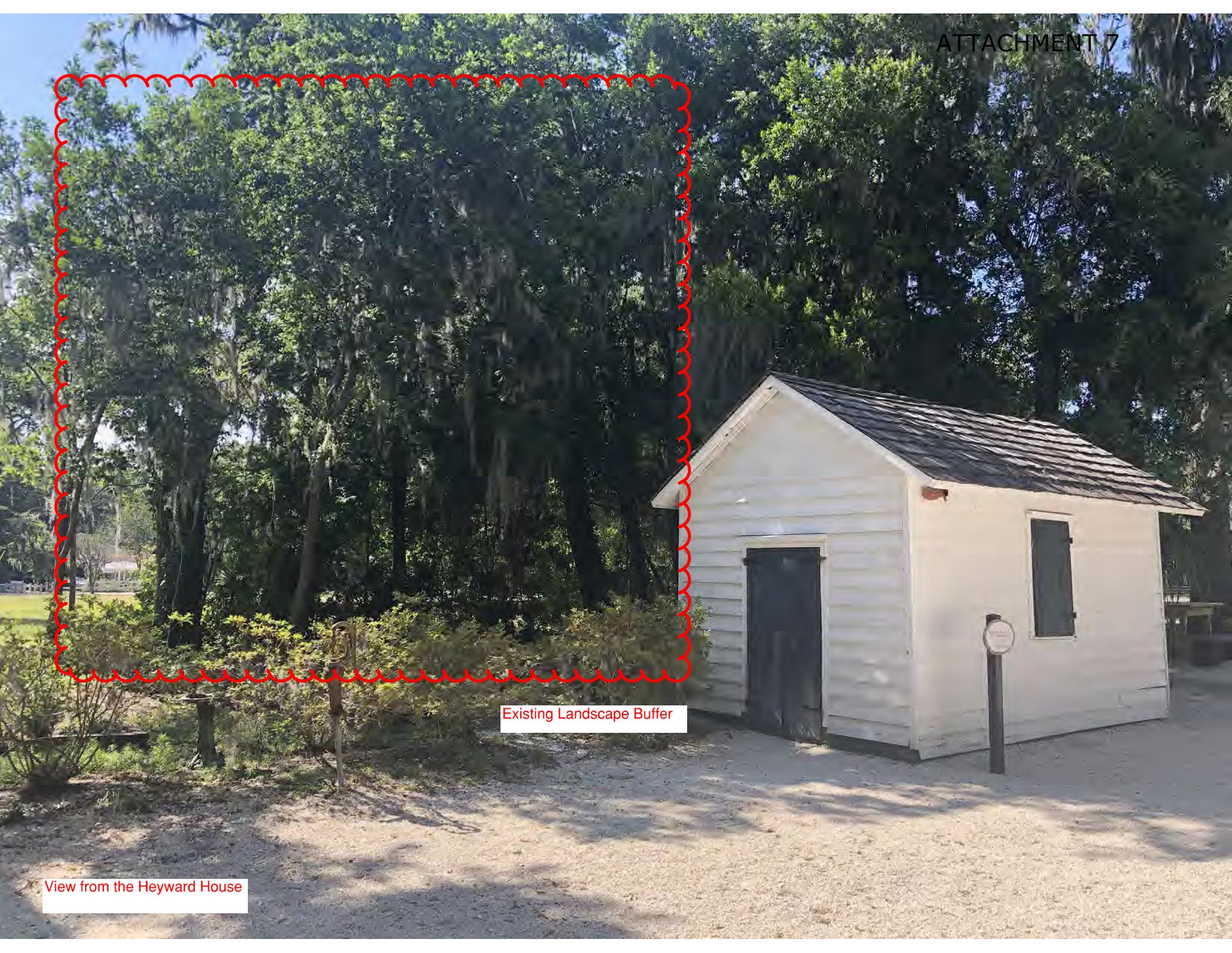
View from the Heyward House



Existing Landscape Buffer

View from the Heyward House





Existing Landscape Buffer

View from the Heyward House



Proposed landscape connection

View from the Heyward House

Proposed Building 3

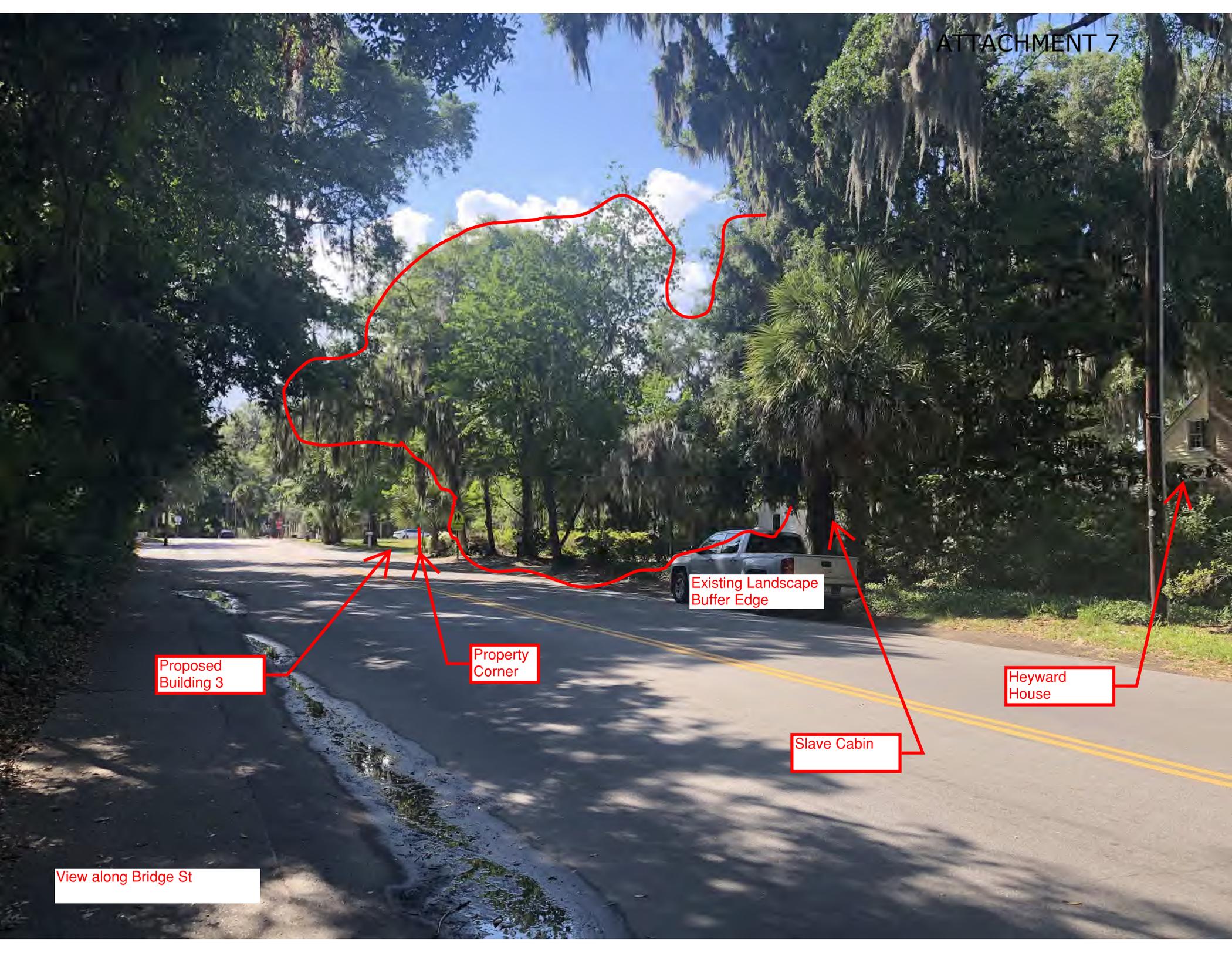
Property Corner

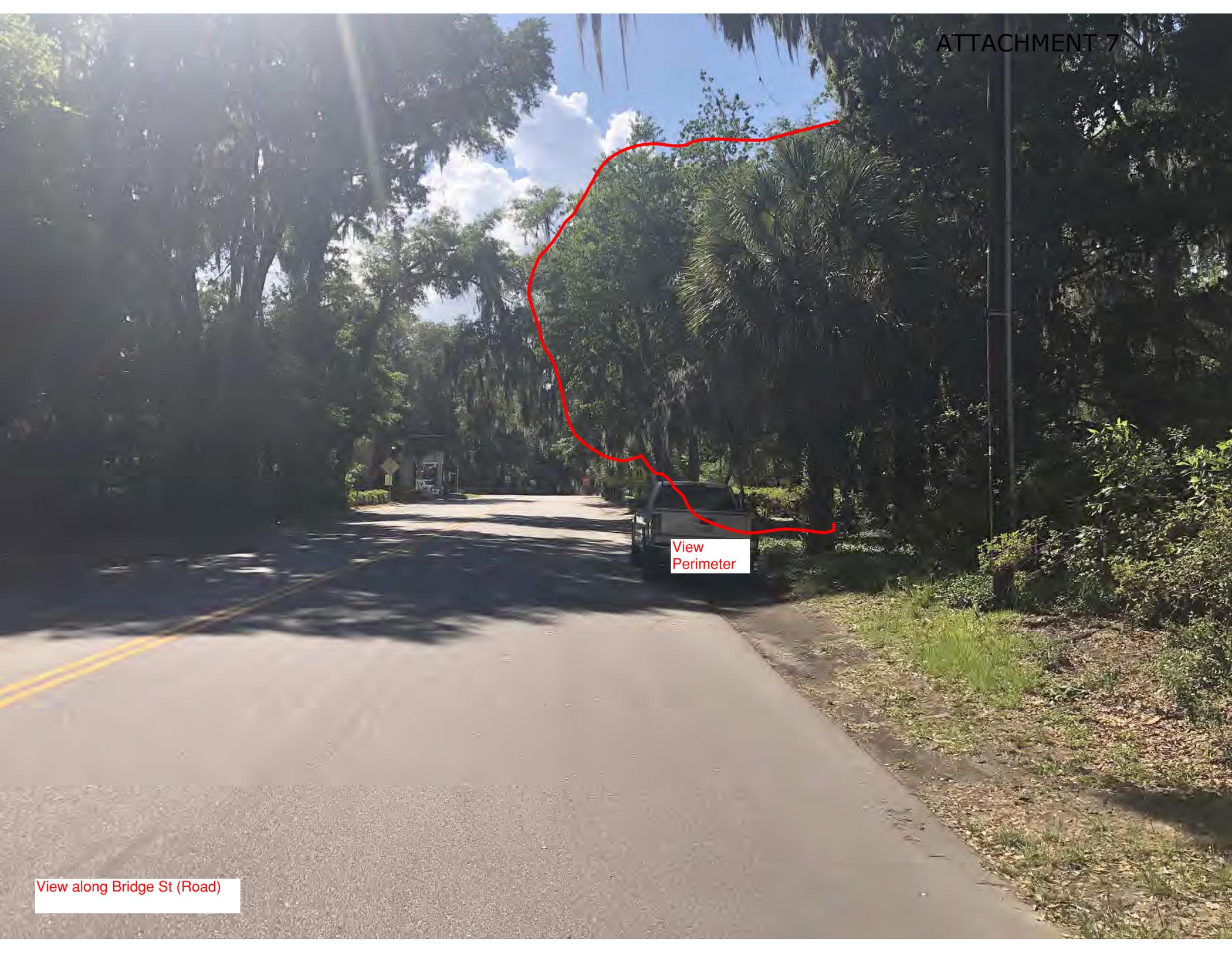
Existing Landscape Buffer Edge

Slave Cabin

Heyward House

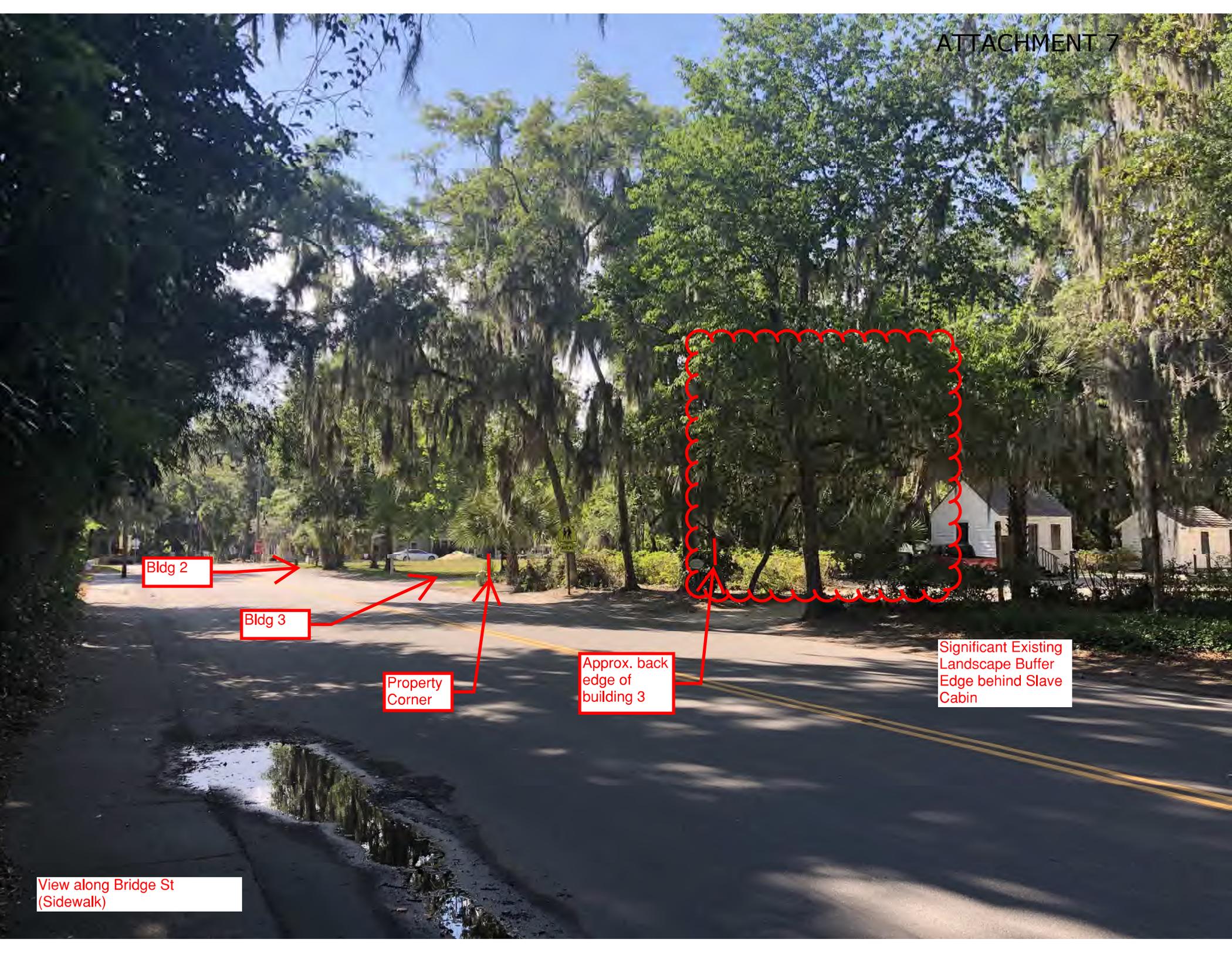
View along Bridge St





View along Bridge St (Road)

View
Perimeter



Bldg 2

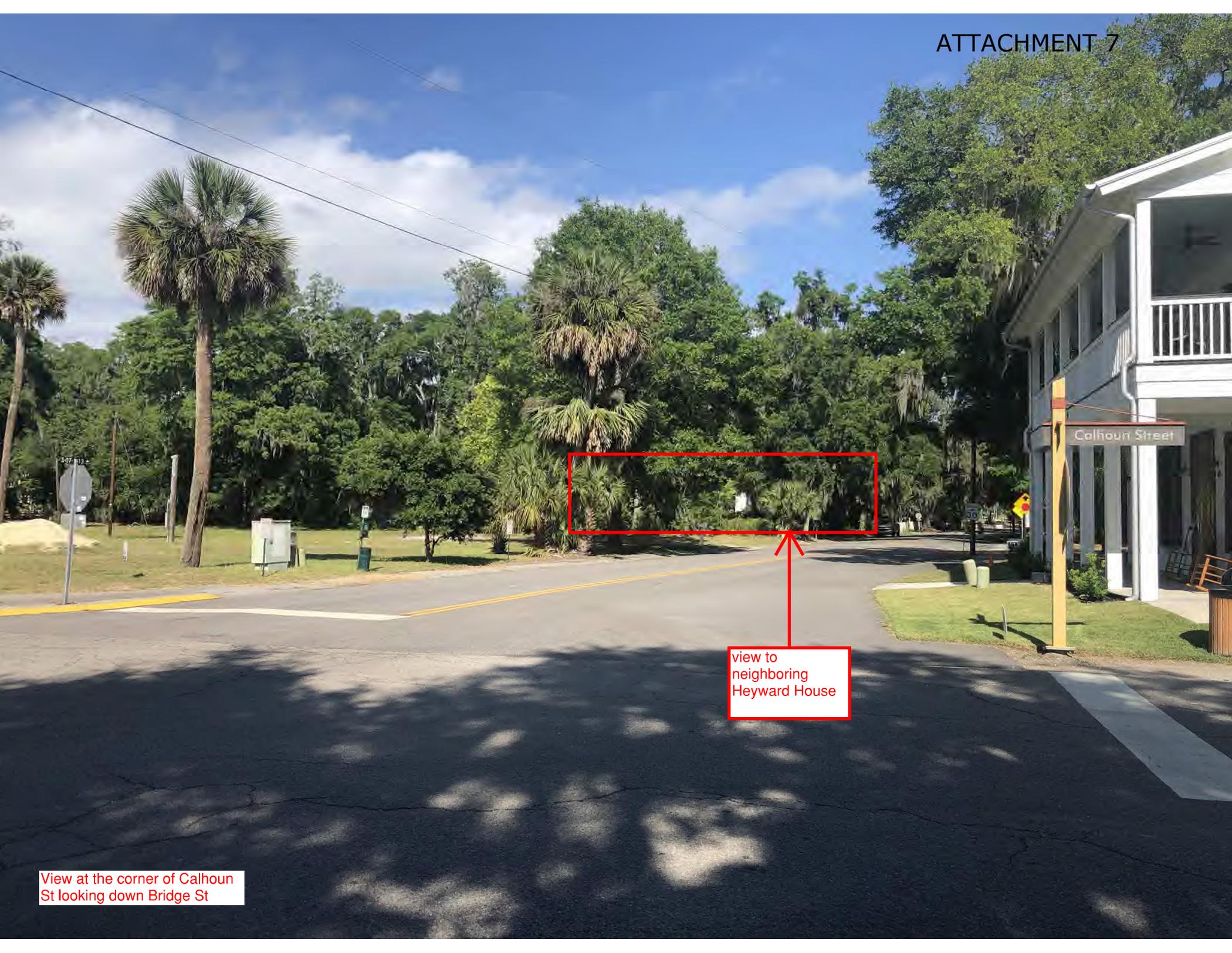
Bldg 3

Property
Corner

Approx. back
edge of
building 3

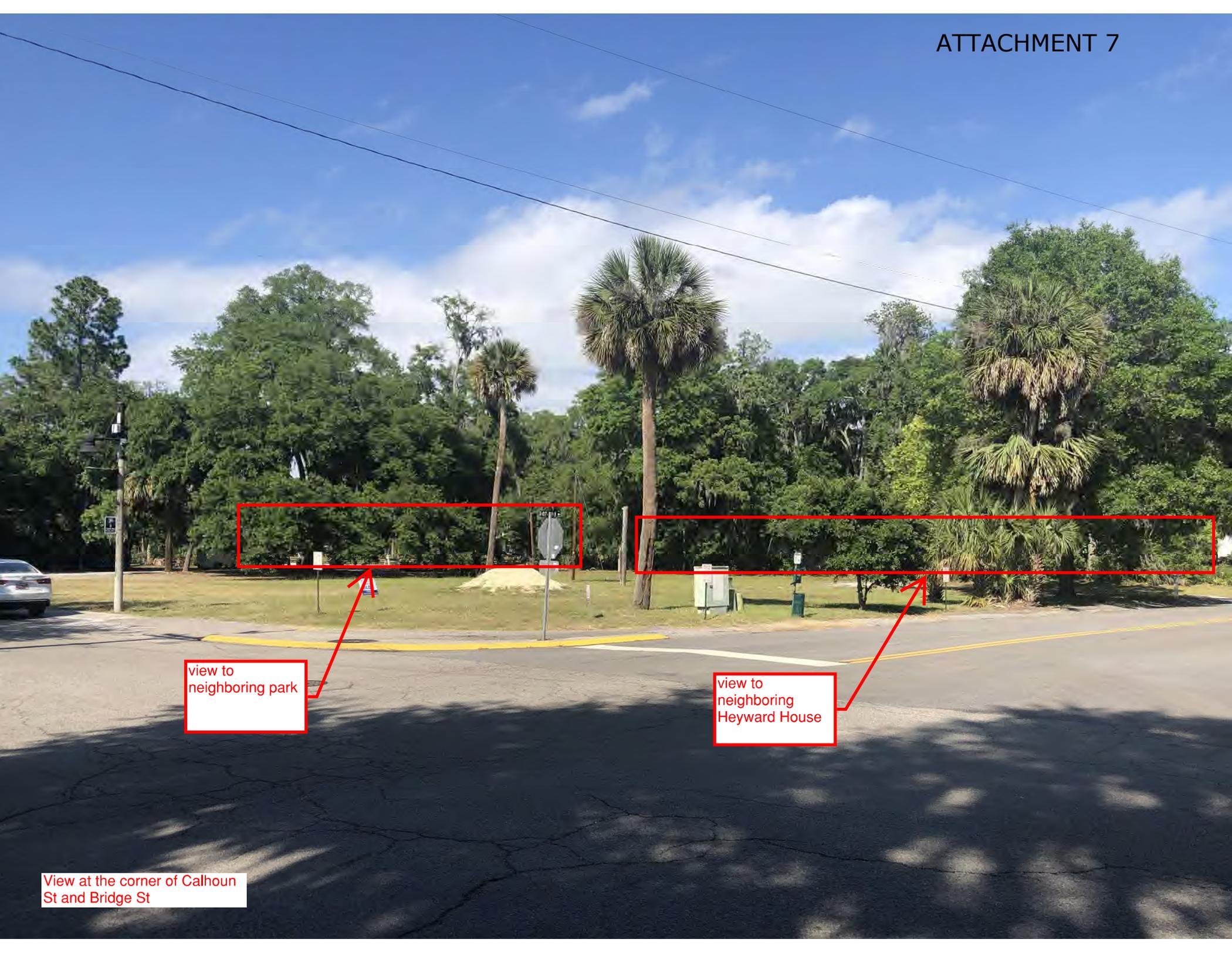
Significant Existing
Landscape Buffer
Edge behind Slave
Cabin

View along Bridge St
(Sidewalk)



view to
neighboring
Heyward House

View at the corner of Calhoun
St looking down Bridge St



view to neighboring park

view to neighboring Heyward House

View at the corner of Calhoun St and Bridge St

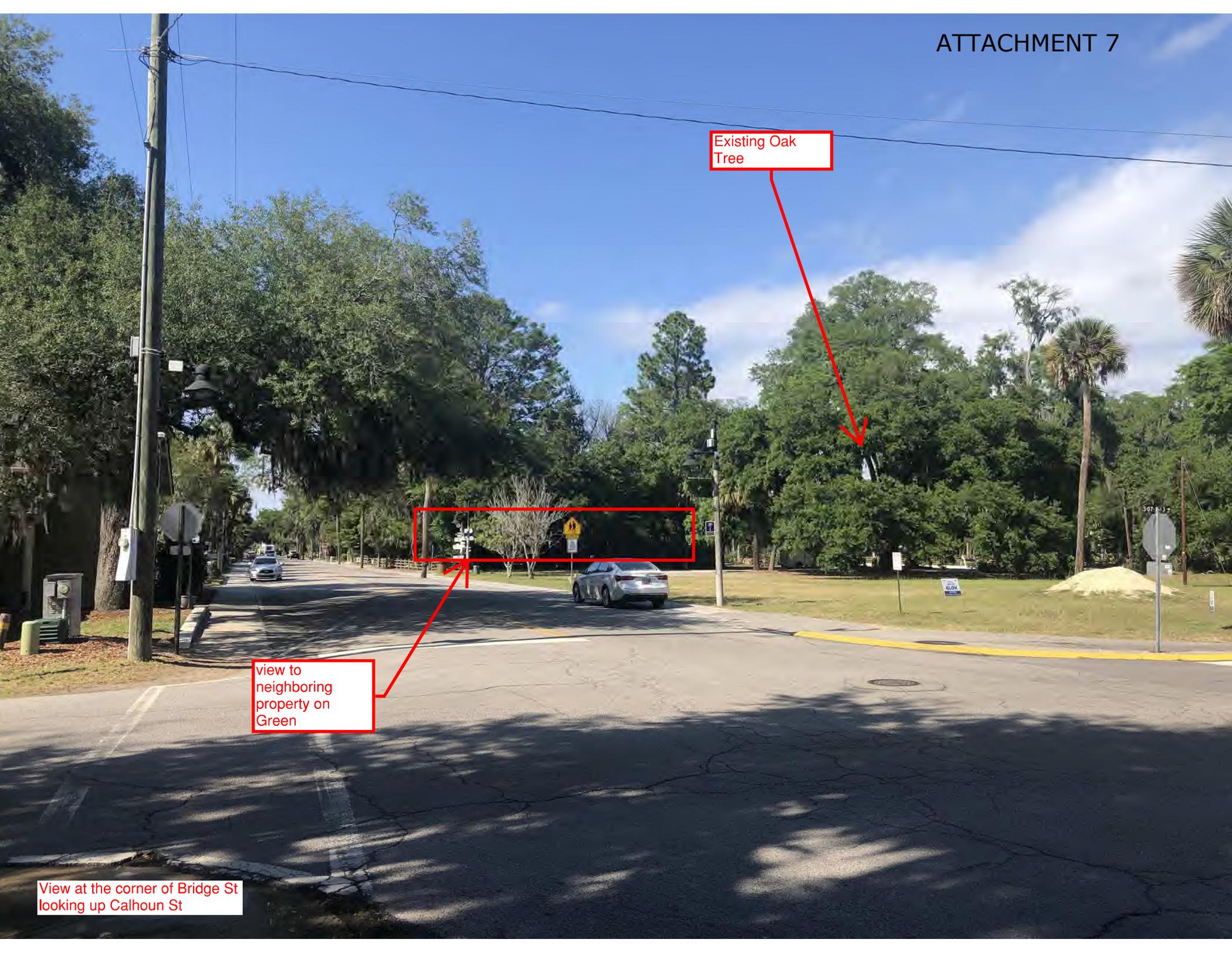
Existing Oak Tree



view to neighboring property on Green



View at the corner of Bridge St looking up Calhoun St





CALHOUN STREET ELEVATION CONCEPT
BUILDING NO. 1 & NO. 2



BRIDGE STREET ELEVATION CONCEPT
BUILDING NO. 2 & NO. 3







