



**TOWN OF BLUFFTON
HISTORIC PRESERVATION COMMISSION**

Theodore D. Washington Municipal Building
Henry "Emmett" McCracken Jr. Town Council Chambers
Wednesday, March 4, 2020 6:00p.m.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

V. ADOPTION OF AGENDA

VI. ADOPTION OF MINUTES – February 12, 2020

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA

VIII. OLD BUSINESS

FOR ACTION

- A. Certificate of Appropriateness Amendment:** A request by Michael Fekete, to amend a Certificate of Appropriateness to allow the reduction in size with associated architectural modifications to the approved 2-story mixed use building (restaurant/office use) of approximately 4,650 SF located at 1258 May River Road in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-02-19-01831) (Staff – Katie Peterson)

IX. NEW BUSINESS

FOR ACTION

A. Certificate of Appropriateness: A request by James Guscio, on behalf of the owner, Riverside Retreats, LLC, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story single-family residential structure of approximately 2,243 SF located at 36 Tabby Shell Road (Lot 19) in the Tabby Roads development in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD. (COFA-01-20-013886) (Staff – Katie Peterson)

X. DISCUSSION

XI. ADJOURNMENT

NEXT MEETING DATE– Wednesday, April 1, 2020

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Chairperson of the Committee. Public comment must not exceed three (3) minutes.

TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION
Theodore D. Washington Municipal Building, 20 Bridge Street
Henry "Emmett" McCracken Jr. Town Council Chambers
Wednesday, February 12, 2020 Minutes

Present: Bruce Trimbur, Vice Chairman; Will Guenther; Marge Blair; Jesse Solomon; James Grove

Absent: Elaine Gallagher-Adams

Staff: Kevin Icard, Planning & Community Development Manager; Charlotte Moore, Principal Planner; Victoria Smalls, Growth Management Coordinator

I. CALL TO ORDER

Chairman Trimbur called the meeting to order at 6:00 p.m.

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

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V. ADOPTION OF AGENDA

Commissioner Solomon made a motion to adopt the Wednesday, February 12, 2020 meeting agenda, Commissioner Blair seconded the motion all were in favor and the motion passed.

VI. ADOPTION OF MINUTES – February 5, 2020

Vice Chair Guenther made a motion to approve the Wednesday, February 5, 2020 minutes. Commissioner Grove seconded the motion. All were in favor and the motion passed.

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA

There was no public comment for items not on the agenda.

VIII. OLD BUSINESS

There was no old business.

IX. NEW BUSINESS

1. FOR ACTION

- A. **Certificate of Appropriateness:** A request by Manuel Studio, LLC, on behalf of Matthew Cunningham, for approval of a Certificate of Appropriateness to allow the demolition of an existing one-story single-family structure of approximately 1,516 SF and at 51 Colcock Street, Unit B, in the Old Town Bluffton Historic District and zoned Riverfront Edge – HD. (COFA-11-19-013733)(Staff – Charlotte Moore)

Moore presented the information to the Commission which is incorporated into these minutes.

Commissioner Blair made a motion to approve the request for approval of a Certificate of Appropriateness to allow the demolition of an existing one-story single-family structure of approximately 1,516 SF located at 51 Colcock Street, Unit B as submitted.

Commissioner Solomon seconded the motion all were in favor and the motion passed.

X. ADJOURNMENT

Commissioner Blair made a motion to adjourn the February 12, 2020 Historic Preservation Commission meeting, Commissioner Solomon seconded the motion all were in favor and the meeting was adjourned at 6:12 p.m.



MEMORANDUM

TO: Historic Preservation Commissioners
FROM: Katie Peterson, AICP, Senior Planner
RE: Review of Amendment to COFA-02-19-012831
DATE: 3/4/2020
CC: Heather Colin, AICP, Director of Growth Management
Kevin Icard, AICP, Planning & Community Development Manager

BACKGROUND. On June 5, 2019, the Town of Bluffton Historic Preservation Commission **approved** of a new commercial building of approximately 4,450 SF located at 1258 May River Road in the Old Town Bluffton Historic District and zoned Neighborhood General – HD (COFA-02-19-012831) with the following conditions:

1. Per Section 3.10. of the UDO, any and all comments must be satisfied, and the Final Development Plan approved prior to the issuance of this Certificate of Appropriateness.
2. As the proposed structure exceeds the allowable square footages for the allowable building types within the Neighborhood General-HD zoning district. The HPC recommended the UDO Administrator find the size appropriate, due to the massing breakdown into three separate forms, making it similar in scale to the neighboring properties, and as the previously approved development plan for two commercial structures permitted additional square footage, the site will be less dense than previously approved.
3. Per Section 5.15.5.F.5.a. of the UDO, the proposed porch was approved by the HPC as an allowable substitute for the required building orientation noted in the UDO.
4. The HPC recommended the height of the slat fence around the service yard at the back of the building be approved as submitted with UDO Administrator review and final approval. Per Section 5.15.6.K. of the UDO, the slat fence located at the back of the building is not permitted to exceed 6 feet and must be reduced to be no taller than 6 feet. Additional plantings may be added which will grow to exceed that height and provide additional screening.
5. Per Section 5.15.6.N.7.a. of the UDO, the water table details on Sheet A302 must be updated to meet this permitted configuration of 2X material.
6. The HPC determined that the use of horizontal metal cables was an allowable substitute for those listed in Section 5.15.6.H.2.d. of the UDO.
7. Per Section 5.15.6. of the UDO, the proposed sliding doors at the North and West Elevations must be revised to casement or French.

8. The HPC determined that in order to recognize the architectural expression of the building, the door and window lite pattern may be approved as submitted to delineate the three separate massing areas of the structure.
9. Per the Applications Manual, as there are covenants and restrictions associated with this property, a letter of approval from the Declarant must be provided to Town Staff.

The Applicant submitted updated information to address the conditions and the updated plans were approved August 28, 2019.

Following the granting of a Certificate of Appropriateness, an amendment was requested to allow:

1. Revision of three windows on the patio to French doors with sidelights.

The proposed amendment was found to be in accordance with the requirements of the UDO and did not substantially deviate from the basic design approved by the HPC; therefore, Town Staff approved COA amendment.

The Applicant is now requesting an amendment to the plans to include the following:

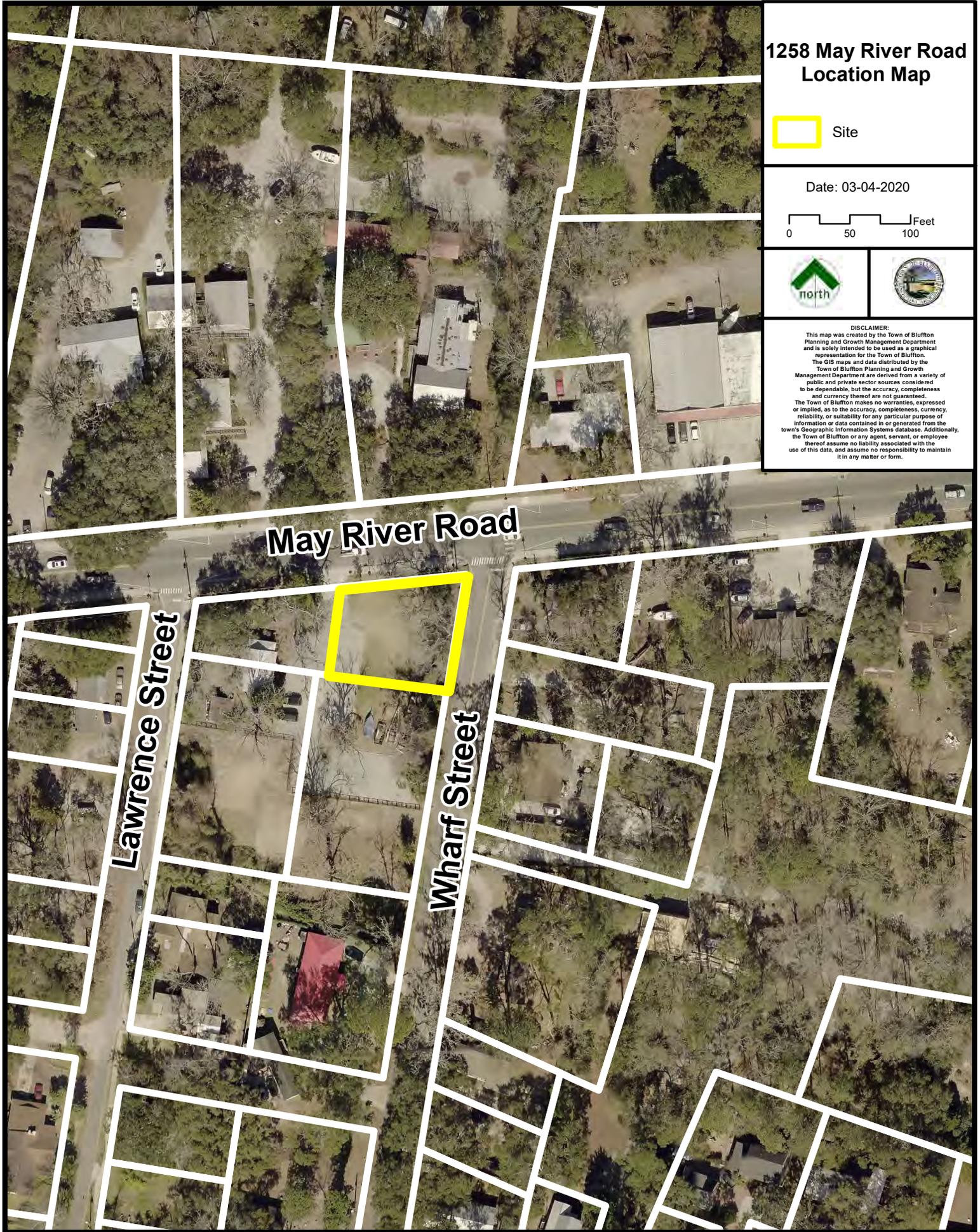
1. Reduce of the overall footprint by 677 sf;
2. Eliminate the second floor on the Carriage House structure including the windows, stairs, and modifying the roof slope;
3. Add vents on the rear of the Carriage House structure for ventilation;
4. Reduce window and door widths from 3'-6" to 3'-0";
5. Reduce the number of windows in the Dining area along Wharf Street from 4 to 3 windows;
6. Increase all roof slopes to at least 3:12, with the exception of the front porch roof and the hyphen between the two buildings;
7. Eliminate the planter wall and ramp at the East side courtyard;
8. Add a hedgerow to delineate the East side courtyard; and,
9. Substitute Nichiha Rough Sawn Panel siding in place of salvaged butt board siding.

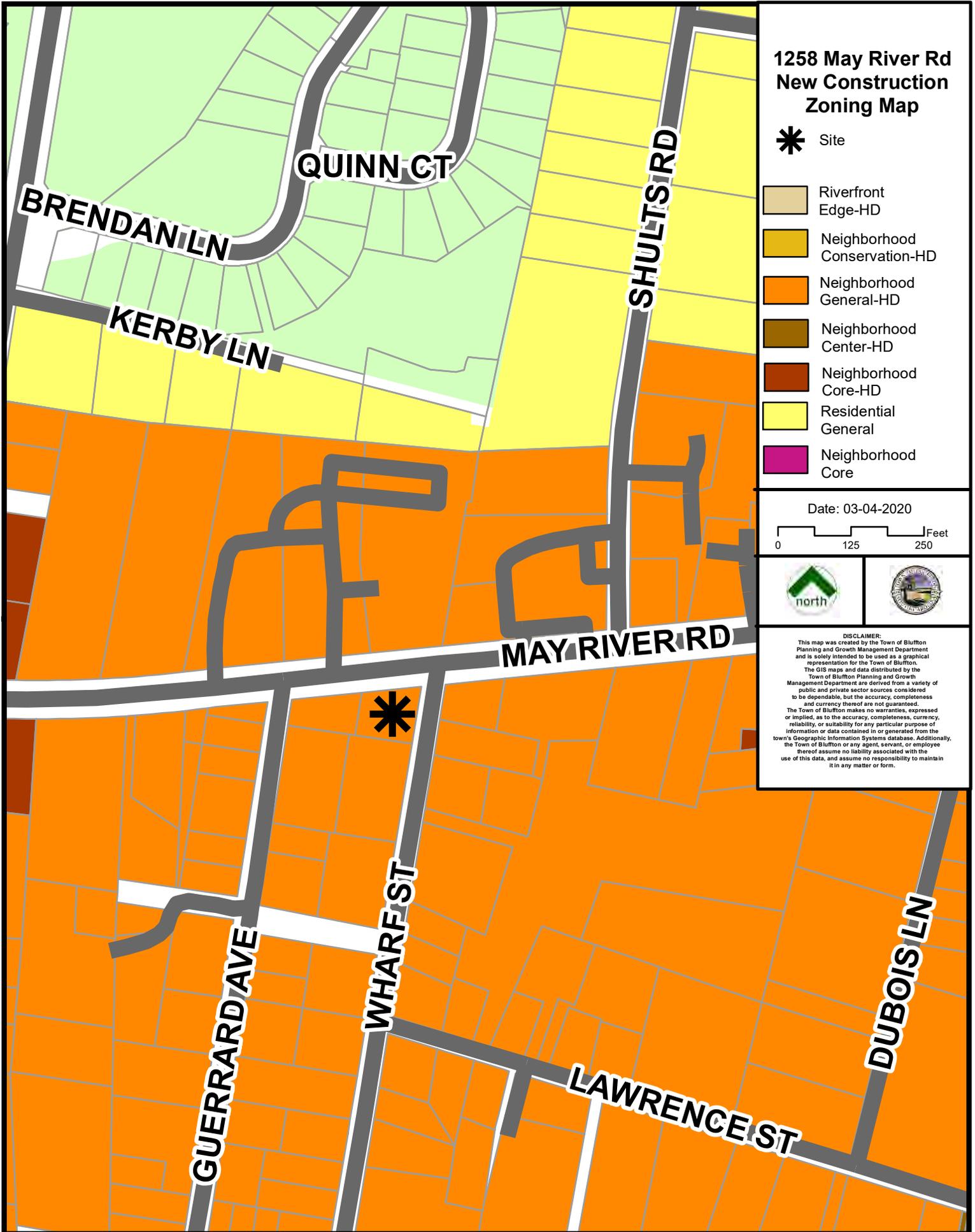
As stated in the UDO, proposed changes may be approved by the UDO Administrator if the proposed revision complies with the standards of this Ordinance and does not substantially alter the basic design approved by the Historic Preservation Commission.

As proposed, the changes proposed are in accordance with the standards of the UDO; however, they are significant. As such, Town Staff is requesting guidance from the Commission in determining if the revised plans substantially deviate from the basic design approved by the Historic Preservation Commission in June of 2019. Town Staff is prepared to amend the approval and issue the amendment with concurrence by the HPC. Otherwise, a new, separate application must be submitted by the Applicant.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Previously Approved Plans
5. Proposed Plans





1258 May River Rd New Construction Zoning Map

- Site
- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD
- Residential General
- Neighborhood Core

Date: 03-04-2020

DISCLAIMER:
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February 13, 2020

Project Narrative – Amendment to Approved COA
JAVA BURRITO COMPANY
1260 May River Road

This application is being submitted to reduce the size of the approved design for the Java Burrito Company, while keeping the project in harmony with the previously approved COA submission.

The intent of the amendment is to reduce the cost of the construction of the building. In light of this goal, the main revisions to the building were to

1. Lower the foundation from 30" down to grade;
2. Eliminating the second floor at the rear wing, and
3. Reducing the overall size of the structure, eliminating about 600sf of footprint on the ground floor.

We believe these changes will not compromise the design, but rather an improvement, since:

1. The building will now be ADA accessible at all entrances, and the foundation is consistent with most of the other commercial buildings in the Bluffton historic district;
2. The scale of the building is tall enough not to require a second floor, and is consistent with the massing of the original design; and
3. The proposed building is now under 3000sf, which is consistent with the neighborhood development pattern.

It should be understood that while in this amended petition there are many small revisions and adjustments to the original design, the overall massing, orientation, circulation, window and door configurations, materials and detailing. The specific changes are as follows:

1. Reduction of overall footprint by 677sf
2. Elimination of second floor*, second floor windows, and stair
*lowering of plate height, increase in roof slope from 2:12 to 3:12
3. Addition of vents on rear of building for attic ventilation
4. Elimination of raised foundation
5. Extension of front porch along full front elevation, to make a stronger connection with May River Road
6. Reduction of typical window and door widths from 3'-6 to 3'-0"
7. Reduction of windows in Dining Area along Wharf Street from (4) to (3) windows, based on the reduction in wall dimension
8. Increase of all sloped roofs to at least 3:12, with the exception of the front porch roof
9. Elimination of planter wall and ramp at side courtyard; the proposed courtyard will be screened with a hedgerow
10. The substitution of Nichiha Rough Sawn Panel siding in place of salvaged butt board. The spec is included and a sample panel will be brought to the meeting.

T 912.349.5116
F 912.349.5119

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Savannah, GA 31401

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VintageWood and RoughSawn are as versatile as they are durable. Our Wood Series panels can install both vertically and horizontally and can be used in interior and exterior settings. Hidden fasteners provide a clean and beautiful look. Creating the perfect match, Nichiha gives you the beauty of wood backed by the brawn of fiber cement.

VINTAGEWOOD



BARK



CEDAR



REDWOOD



ASH



SPRUCE

ROUGHSAWN



ESPRESSO



TOBACCO



SMOKE

VINTAGEWOOD SPECS	AWP 1818	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8 (16MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	34.8	57.3
WEIGHT (LBS. PER SQ. FT.)	3.9	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]	2 [29.62 SQ. FT.]

AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.

AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.

ROUGHSAWN SPECS	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	57.3
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [29.62 SQ. FT.]

AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.



VINTAGEWOOD UPDATE

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ULTIMATE CLIP II WITH JOINT TAB ATTACHMENT

10MM	JEL 778
Compatible with all panels except SandStone and VintageBrick	
10MM	JEL 788
Compatible with SandStone and VintageBrick only	



ULTIMATE HORIZONTAL STARTER TRACK (10')

10MM	FA 700
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ULTIMATE VERTICAL STARTER TRACK (10')

10MM	FA 710 T
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SINGLE FLANGE SEALANT BACKER (6.5')

10MM	FHK 1015 R
------	------------



DOUBLE FLANGE SEALANT BACKER (10')

10MM	FH 1015 R
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CORRUGATED SHIM (4')

5MM	FS 1005
10MM	FS 1010



CORNERS

17 7/8" H x 3-1/2" {face}
1818 MM H X 88.9 MM {face}



KURASTONE™ CLIP

10MM	JE 720CA
------	----------



CORNER CLIP

10MM	JE 777C
Compatible with all panels except SandStone and VintageBrick	
10MM	JE 787C
Compatible with SandStone and VintageBrick only	

With our customized TAMLYN trim, your project practically finishes itself.



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CORNER KEY

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	3" X 10' (76.2MM x 3030MM)
WEIGHT (LBS. PER PIECE)	3.89
PACKAGING (LN. FT. PER PACK)	50



OPEN OUTSIDE CORNER

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	2.96" X 10' (75MM x 3030MM)
WEIGHT (LBS. PER PIECE)	2.98
PACKAGING (LN. FT. PER PACK)	50



H-MOLD

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	2" X 10' (50.8MM X 3030MM)
WEIGHT (LBS. PER PIECE)	2.42
PACKAGING (LN. FT. PER PACK)	50



J-MOLD

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	.375" X 10' (9.5MM X 3030MM)
WEIGHT (LBS. PER PIECE)	1.4
PACKAGING (LN. FT. PER PACK)	50



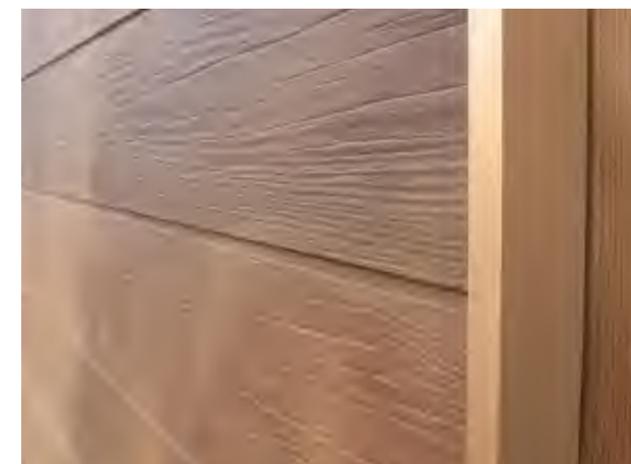
INSIDE CORNER

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	3.4" X 10' (86.4MM X 3030MM)
WEIGHT (LBS. PER PIECE)	2.98
PACKAGING (LN. FT. PER PACK)	50



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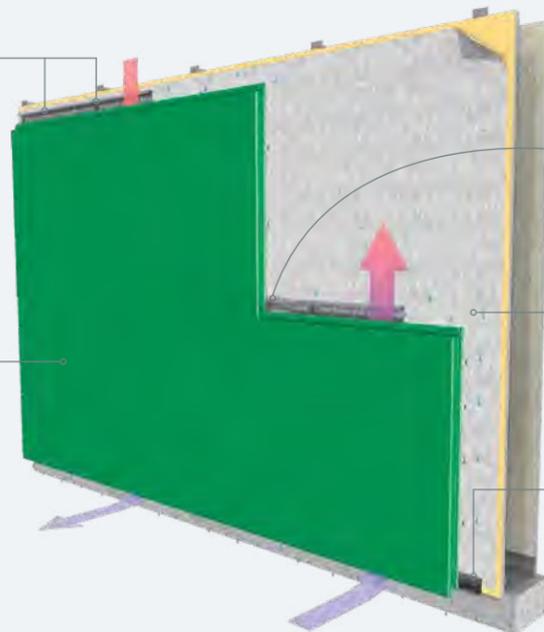


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Go beyond our durable panels and discover a meticulously engineered moisture management system that provides a vertical drainage point for air and moisture to exit.

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DESIGN REVIEW GUIDE

Download our quick reference guide to get an overview on our Architectural Wall Panels.

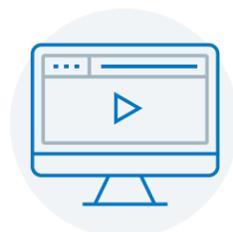
nichiha.com/docs/nichiha-guide-design-review.pdf



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NICHIHA WARRANTIES

- ARCHITECTURAL WALL PANELS
15-year limited warranty* on panels
15-year limited warranty* on finish
- KURASTONE™ PANELS
15-year limited warranty* on panels
10-year limited warranty* on finish
- METAL TRIM
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*See Nichiha warranties for detailed information on terms, conditions and limitations. Visit nichiha.com for easy downloadable warranties or call toll-free 1.866.424.4421 for a copy.

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CERTIFICATION & TESTING



CCRR-0299
CCRR-0290



Report
No. EC-58



Canada CCMC
14132-R



Report
No. FL12875
No. FL12812



NOA 18-0522.05



WUI 8140-2029



RR 26081



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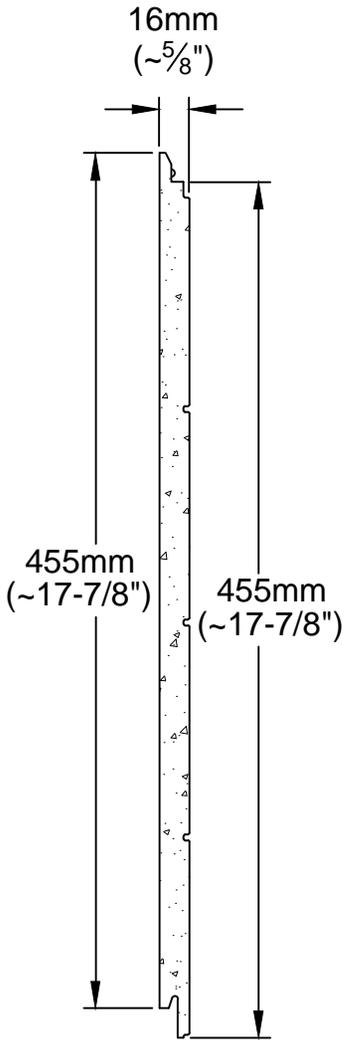
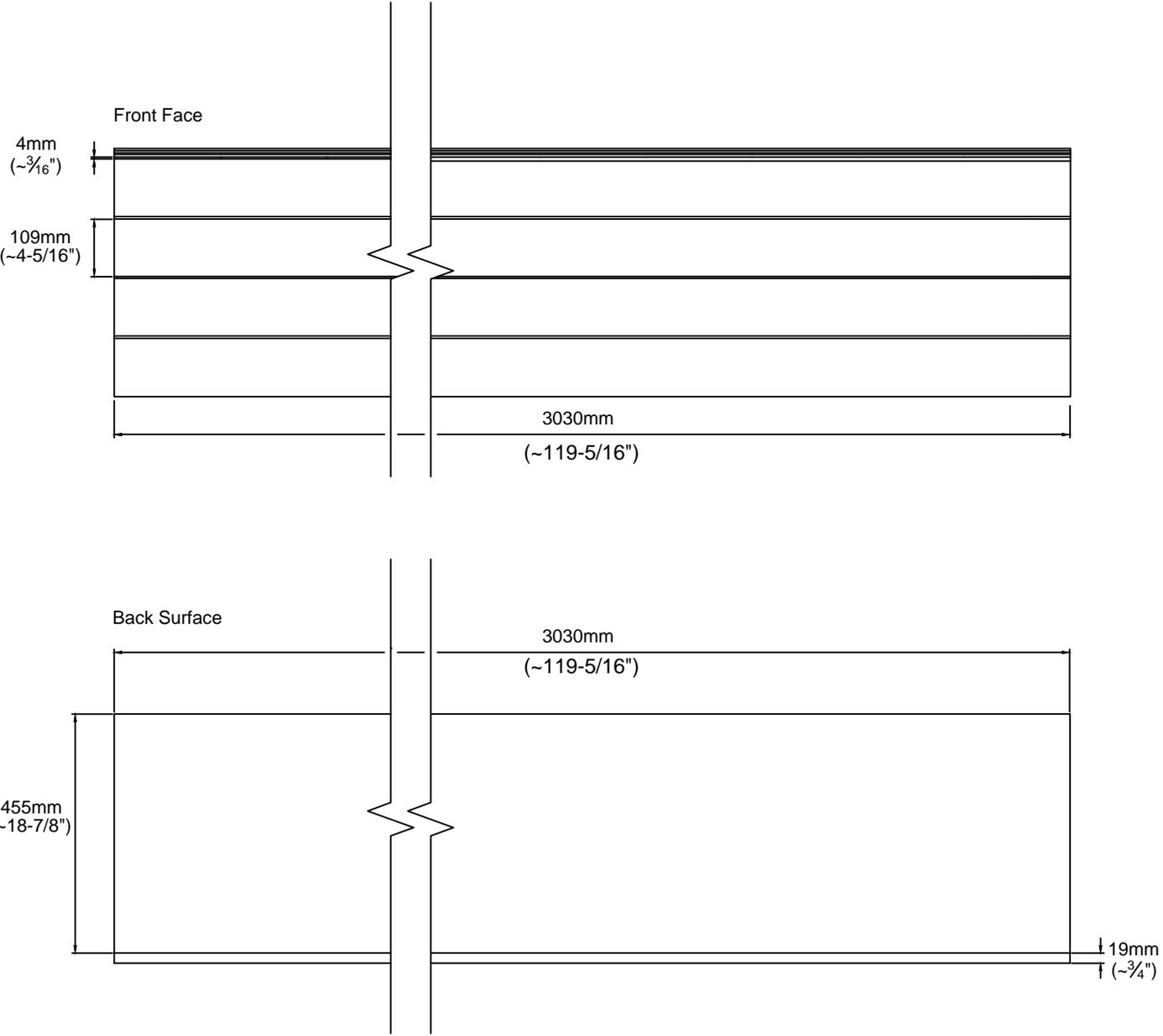
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Attachment 3

Nichiha Roughsawn Dimensions and Details



SCALE: 3" = 1'-0"

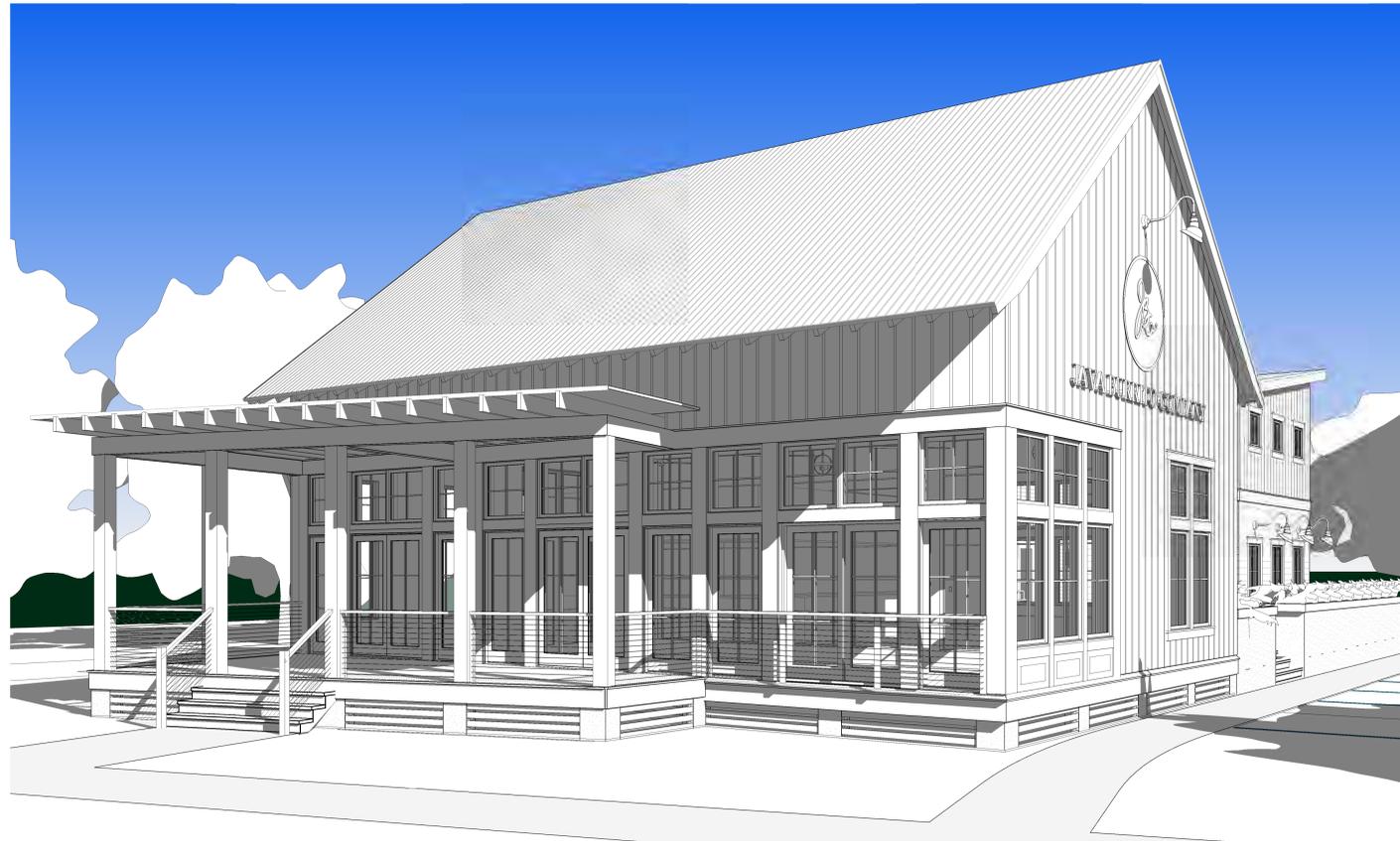
AWP-3030 - ROUGHSAWN - PANEL DETAIL
SCALE: 1" = 1'-0"

JAVA BURRITO COMPANY

MAY RIVER ROAD

BLUFFTON, SOUTH CAROLINA

FINAL HPC SUBMITTAL - REVISED AUGUST 20, 2019



DRAWING INDEX

G000	COVER SHEET
G004	SITE PLAN
A000	DOOR AND WINDOW SCHEDULE
A001	DOOR AND WINDOW SCHEDULE
A100	FIRST FLOOR PLAN
A101	SECOND FLOOR PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A301	BUILDING SECTIONS
A302	WALL SECTIONS
A500	DETAILS
A706	3D VIEWS
A707	APPROACH VIEWS
A708	APPROACH VIEWS


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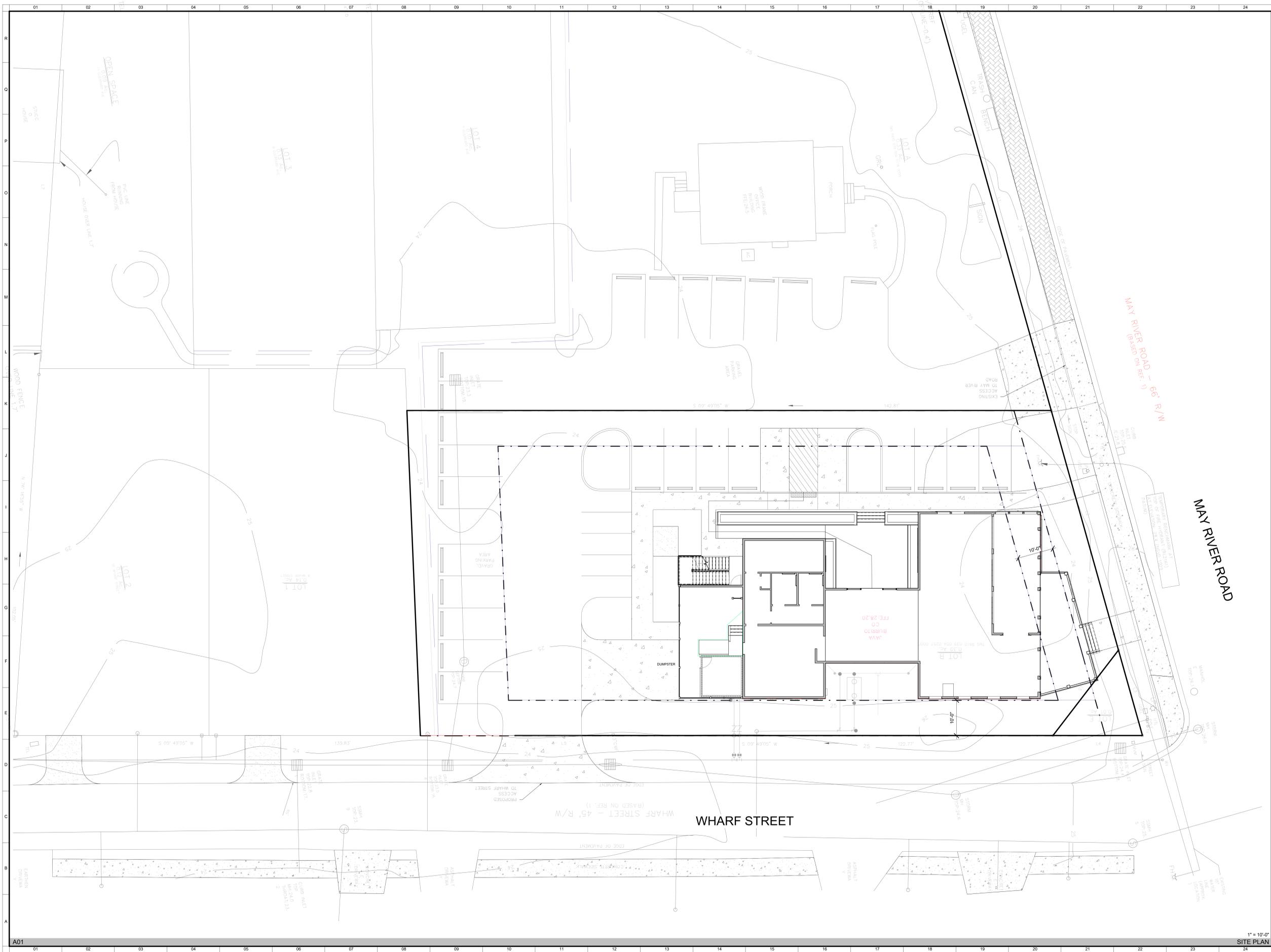
Revisions

No	Date	Description

COVER SHEET

Scale _____
 Date 08/21/19
 Project No. 1901.00
 Drawing No. _____

G000



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JAVA BURRITO COMPANY

Revisions

No	Date	Description

Note: This drawing is the property of LYNCH associates architects, PC and is not to be reproduced or copied in part or whole or be used on any other project without prior written consent by LAZ. Drawings shall be returned upon request.

SITE PLAN

Scale: 1" = 10'-0"
Date: 08/21/19
Project No: 1901.00
Drawing No:

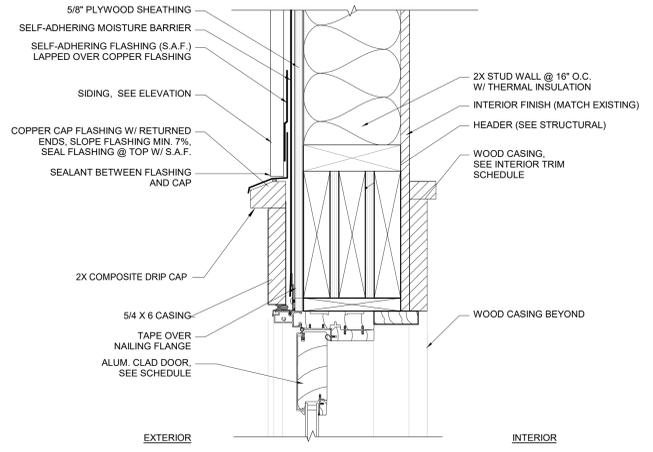
G004

1" = 10'-0"
SITE PLAN

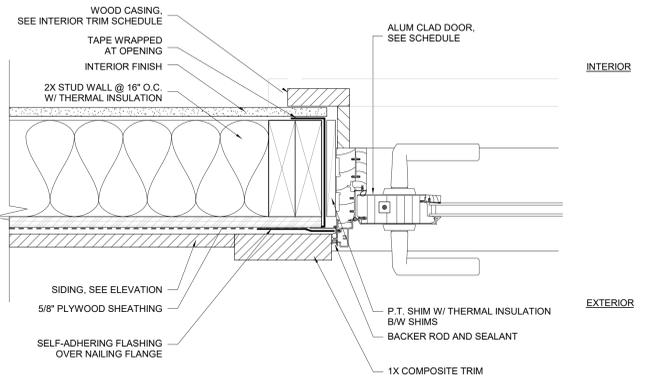
DOOR	ROOM	WIDTH	HEIGHT	THICKNESS	DOOR			FRAME			HARDWARE	COMMENTS
					TYPE	MATERIAL	RATING	TYPE	MATERIAL	RATING		
100A	RETAIL	6'-0 5/8"	7'-11 5/16"		A	ALUM.						
101A	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
101B	DINING	7'-0 5/8"	7'-11 1/2"		C	ALUM.						
101C	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
101L	DINING	7'-0 5/8"	7'-11 1/2"		C	ALUM.						
102A	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
102B	DINING	7'-0 5/8"	7'-11 1/2"		C	ALUM.						
102C	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
102D	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
102E	DINING	7'-0 5/8"	7'-11 1/2"		C	ALUM.						
102F	DINING	3'-6 5/8"	7'-11 1/2"		B	ALUM.						FIXED
104A	MEN'S WC	3'-0"	7'-0"		D	-						
105A	WOMEN'S WC	3'-0"	7'-0"		D	-						
106A	OFFICE	3'-0"	7'-0"		D	-						
106B	OFFICE	3'-0"	7'-0"		D	-						
106C	OFFICE	3'-0"	7'-0"		D	-						
106D	OFFICE	2'-8"	7'-0"		C	-						
108A	SERVICE	4'-0"	6'-0"		F	WOOD SLAT						
110A	KITCHEN	3'-0"	7'-0"		D	HM						
201A	OFFICE	3'-1 7/16"	7'-2"		A	ALUM.						
201B	OFFICE/RECEPTION	4'-0"	0'-0"		-	FRAMED OPENING						
202A	KITCHEN 202	2'-10"	6'-8"		D	-						
204A	ADA BATH 204	3'-0"	7'-0"		D	-						
205A	OFFICE 205	2'-10"	6'-8"		D	-						
205B	OFFICE 205	2'-10"	6'-8"		D	-						

- NOTES:**
- COORDINATE FRAME, JAMB, HEAD, AND SILL WIDTH WITH ACTUAL WALL WIDTH/SIZE.
 - ALL DOOR SIDELITE GLAZING, AND GLAZING BELOW 18", TO BE TEMPERED.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
 - MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
 - CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
 - ALL THRESHOLDS TO BE ADA COMPLIANT.
 - ALL NEW EXTERIOR DOOR SYSTEMS & GLAZING SHALL COMPLY WITH IBC 1609.1.4 FOR IMPACT RESISTANCE AND IBC 1609.1.2 FOR WIND LOADING CRITERIA, EXPOSURE C. GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
 - ALL HARDWARE SHALL BE PROVIDED BY A SINGLE HARDWARE SUPPLIER. EXIT DOOR HARDWARE TO BE PER IBC SECTIONS 1008.1.9, 1008.1.9.3 AND 1008.1.9.5
 - THE CONTRACTOR SHALL SUBMIT A HARDWARE SCHEDULE FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION, WHICH INCLUDES LOCKSETS, HINGES, DEADBOLTS, FLOORSTOPS, AND ANY OTHER HARDWARE.
 - COORDINATE KEYING WITH OWNER.
 - PROVIDE FLOOR/WALL MOUNTED BUMPERS FOR WALL PROTECTION AT ALL DOORS.
 - ALL ALUMINUM STOREFRONT TO BE CLEAR ANODIZED ALUMINUM.

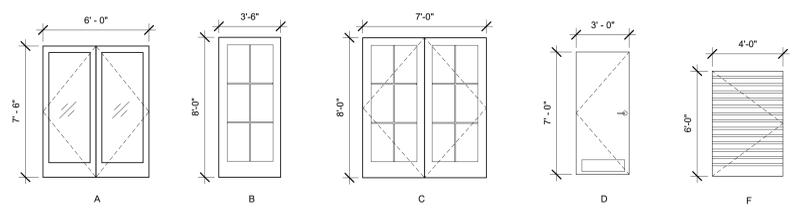
- HARDWARE LEGEND:**
- | | | | |
|----|-------------------|---|------------------------------|
| A1 | LOCKSET - ENTRY | G | ADA THRESHOLD |
| A2 | LOCKSET - PASSAGE | H | KICKPLATES (BOTH SIDES) |
| A3 | LOCKSET - PRIVACY | I | WEATHER-STRIPPING (NEOPRENE) |
| A4 | EXIT DEVICE | J | SILENCERS |
| B | DEADLOCK | K | COAT HOOK |
| C | HINGE | L | DRIP CAP |
| D | PUSH PLATE | M | WALL BUMPER |
| E | PULL PLATE | N | DUMMY LEVER |
| F | DOOR CLOSER | | |



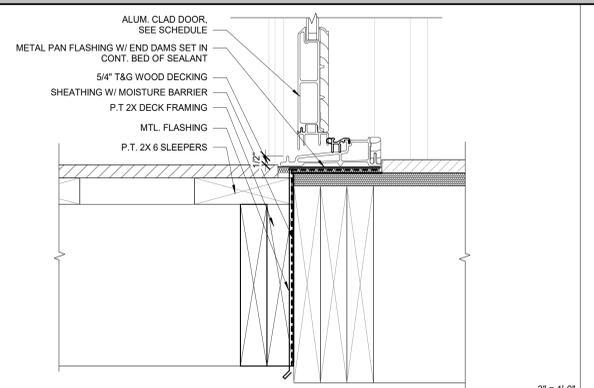
3" = 1'-0"
DOOR HEADER



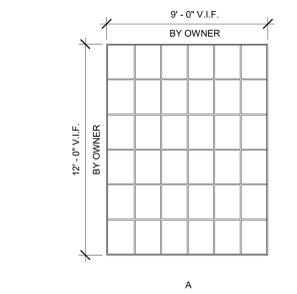
3" = 1'-0"
DOOR JAMB



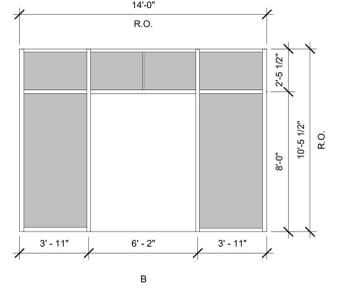
1/4" = 1'-0"
DOOR TYPE



3" = 1'-0"
DOOR SILL



1/4" = 1'-0"
INTERIOR STOREFRONT A



1/4" = 1'-0"
STOREFRONT B

STOREFRONT SCHEDULE					
TYPE	LENGTH	HEIGHT	MANUFACTURER	FINISH	COMMENTS
A	14'-0"	10'-5 1/2"		ANODIZED ALUM.	CLEAR GLASS
B			INTERIOR STOREFRONT BY OWNER	ANODIZED ALUM.	INTERIOR - VERIFY DIMENSIONS IN FIELD WITH OWNER

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
 - MANUFACTURER VERIFY ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION.
 - ALL INTERIOR GLAZING TO BE TEMPERED.
 - ALL NEW EXTERIOR GLAZING SYSTEMS SHALL COMPLY WITH IBC 1609.1.4 FOR IMPACT RESISTANCE AND IBC 1609.1.2 FOR WIND LOADING CRITERIA, EXPOSURE C.
 - GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
 - CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
 - PROVIDE FACTORY APPLIED BRICK MOULD ON ALL REPLACEMENT WINDOWS IN EXISTING MASONRY OPENINGS.
 - ALL ALUMINUM STOREFRONT TO BE CLEAR ANODIZED ALUMINUM.

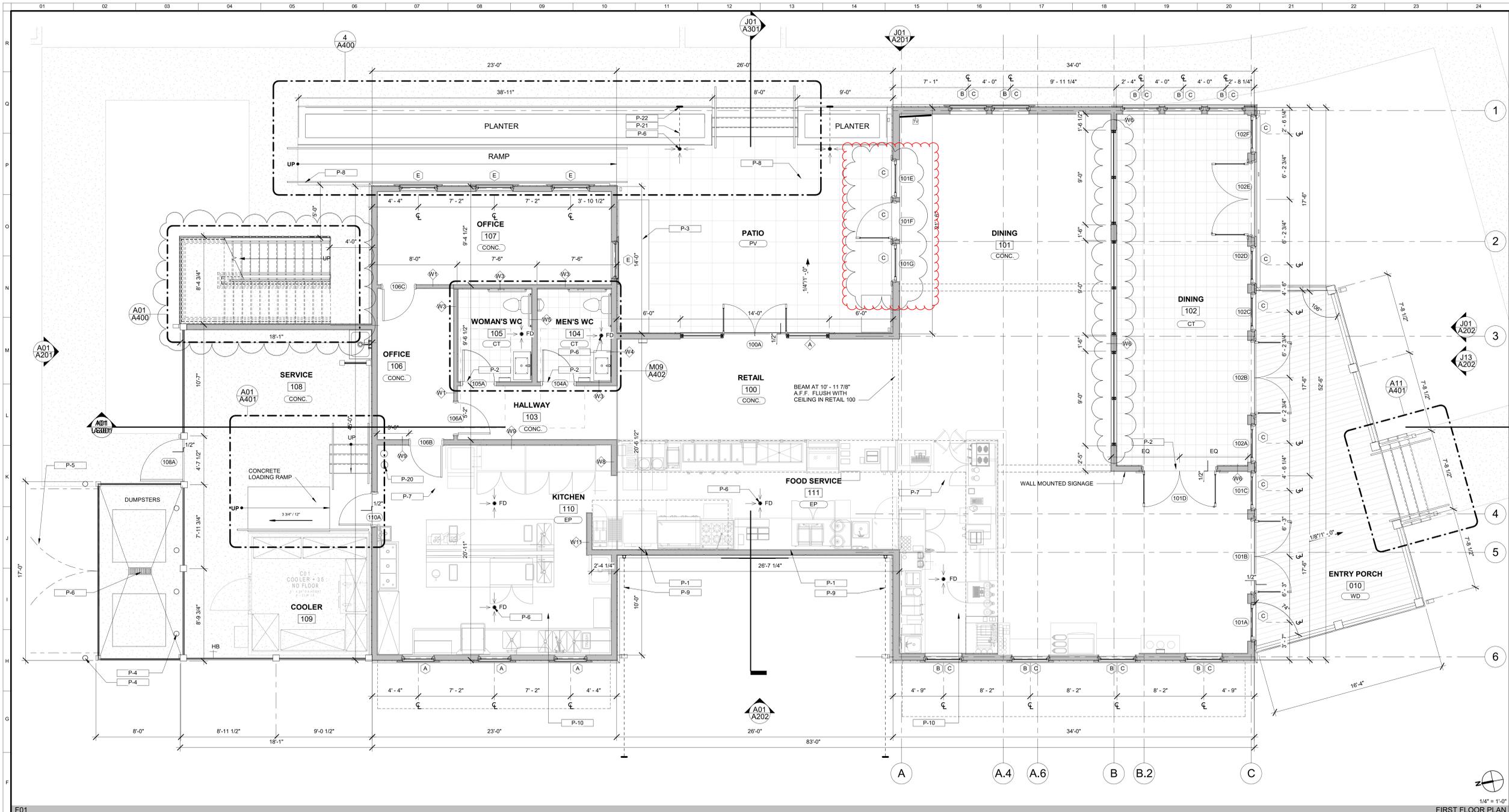
Revisions

No	Date	Description
1	3/2/16	Revision 1

DOOR AND WINDOW SCHEDULE & DETAILS

Scale: As indicated
Date: 08/21/19
Project No: 1901.00
Drawing No:

A000

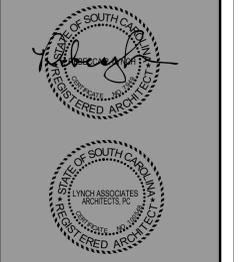


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Revisions

No	Date	Description

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FIRST FLOOR PLAN

Scale	As indicated
Date	09/16/19
Project No.	1901.00
Drawing No.	

A100

SQUARE FOOTAGE CALCULATIONS

CONDITIONED AREA
 FIRST FLOOR
 - RESTAURANT - 3023 SF
 - OFFICE - 342 SF
 - WALK-IN COOLER - 134 SF
 SECOND FLOOR
 - OFFICE - 1,035 SF
TOTAL CONDITIONED - 4,534 SF

UNCONDITIONED AREA
 ENTRY PORCH - 385 SF
 RESTAURANT PATIO - 385 SF
TOTAL UNCONDITIONED - 770 SF

GROSS AREA - 5,304 SF

3" = 1'-0"
 AREA DATA

LEGEND

PROPOSED WALL - REFER TO WALL TYPES

GENERAL NOTES

- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE TOWN OF BLUFFTON.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD/STRUCTURE UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

PLAN NOTES

P-1 PROVIDE STAINLESS STEEL PANELS @ COOKING LINE IN LIEU OF FRP.
 P-2 RECESS FLOOR SLAB TO ACCOMMODATE FLOOR TILE. COORDINATE WITH MANUFACTURER DETAILS.
 P-3 METAL PLANTERS
 P-4 BOLLARDS
 P-5 WOOD SLAT DOOR W/ STEEL FRAME.
 P-6 FLOOR DRAIN. SEE CIVIL ENG DRAWINGS.
 P-7 VERIFY WITH MANUFACTURER RECESS OF CONCRETE FLOOR SLAB TO ACCOMMODATE EPOXY FLOORING
 P-8 STAINLESS STEEL RAIL
 P-9 6" PVC LINE FROM DOWNSPOUT. COORDINATE WITH CIVIL.
 P-10 SEE KITCHEN DRAWINGS FOR EQUIPMENT PLAN
 P-11 STANDING SEAM METAL ROOF
 P-12 CASSED OPENING W/O DOOR
 P-13 SOLAR ARRAY
 P-14 DOWNSPOUT
 P-15 GUTTER
 P-16 WOOD TRELLIS
 P-17 A/C RTU. SEE MECHANICAL FOR DETAIL
 P-18 HOOD VENT. SEE MECHANICAL FOR DETAIL

PLAN NOTES

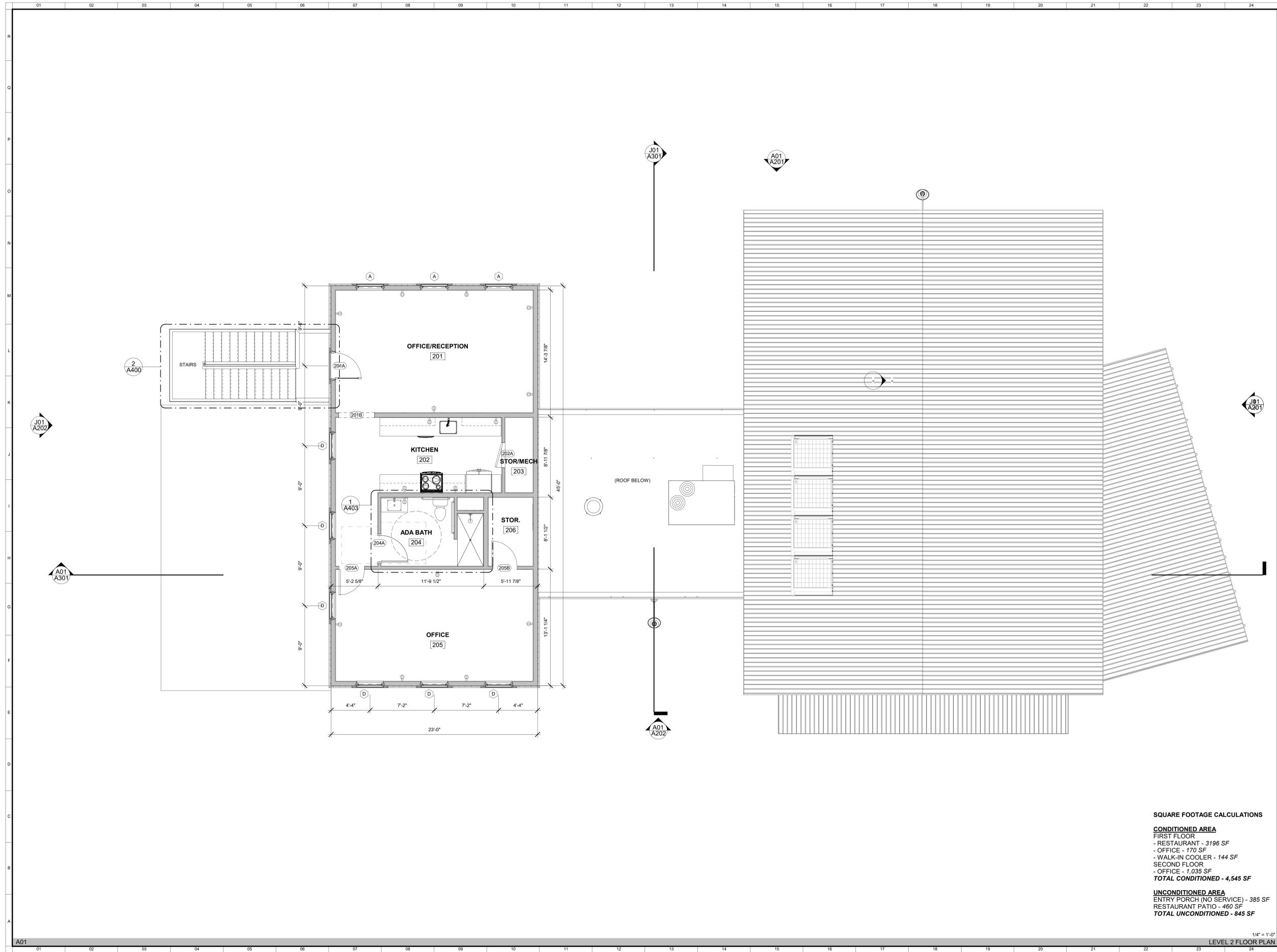
P-19 STANDING SEAM METAL ROOF RIDGE CAP
 P-20 SPRINKLER RISER. SEE PLUMBING DRAWINGS
 P-21 6" PVC DRAIN
 P-22 BRASS DRAIN OUTLET
 P-23 TPO ROOF

FLOOR FINISH

CONC.	CONCRETE
CT	CERAMIC TILE
EP	EPOXY FLOORING
PV	STONE PAVERS
WD	WOOD

LEGEND & NOTES

NTS





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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"
Date: 08/21/19
Project No: 1901.00
Drawing No: 1901.00

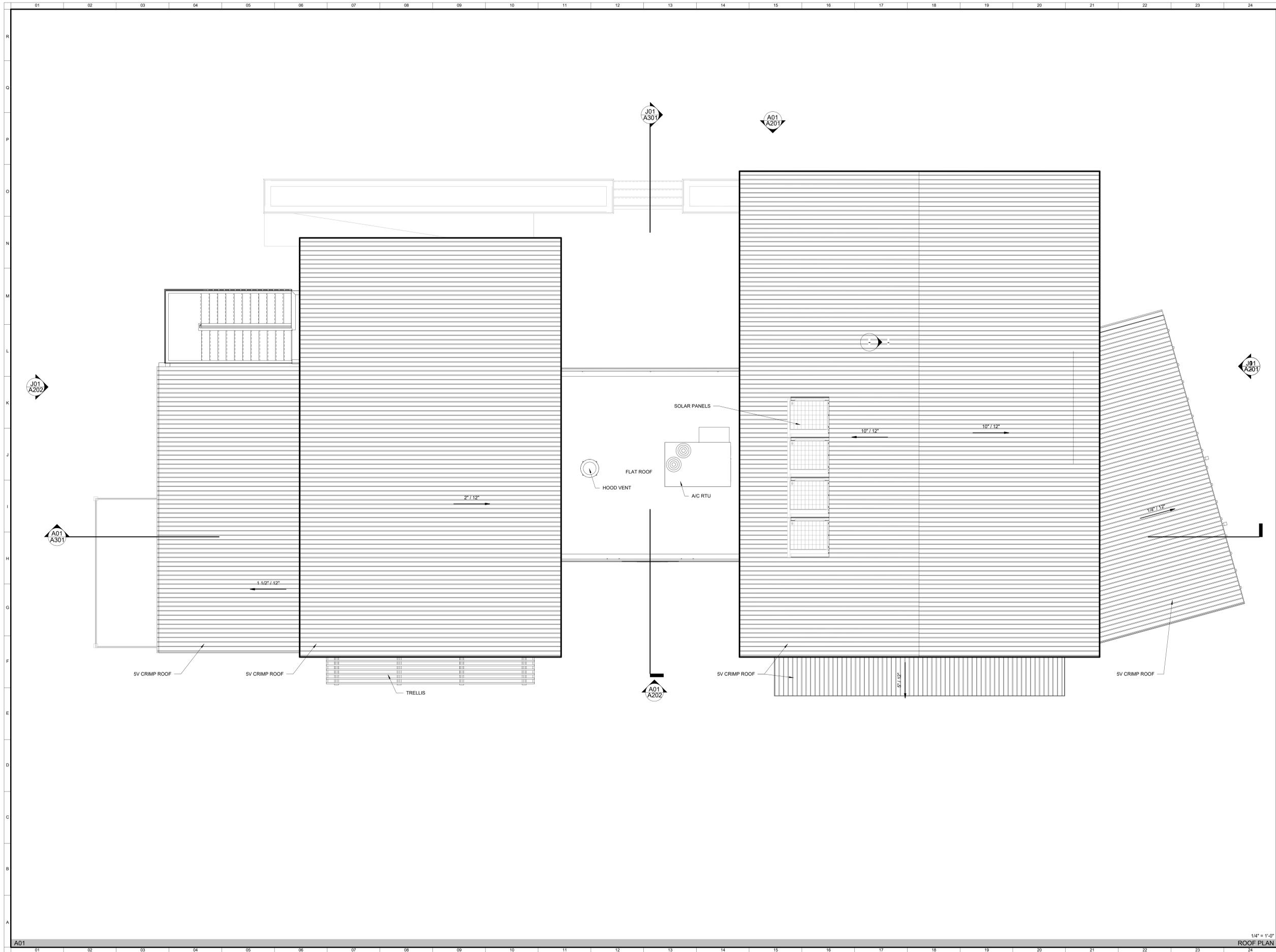
A101

SQUARE FOOTAGE CALCULATIONS

CONDITIONED AREA
FIRST FLOOR
- RESTAURANT - 3196 SF
- OFFICE - 170 SF
- WALK-IN COOLER - 144 SF
SECOND FLOOR
- OFFICE - 1,035 SF
TOTAL CONDITIONED - 4,545 SF

UNCONDITIONED AREA
ENTRY PORCH (NO SERVICE) - 385 SF
RESTAURANT PATIO - 460 SF
TOTAL UNCONDITIONED - 845 SF

1/4" = 1'-0"
LEVEL 2 FLOOR PLAN





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Revisions		
No	Date	Description

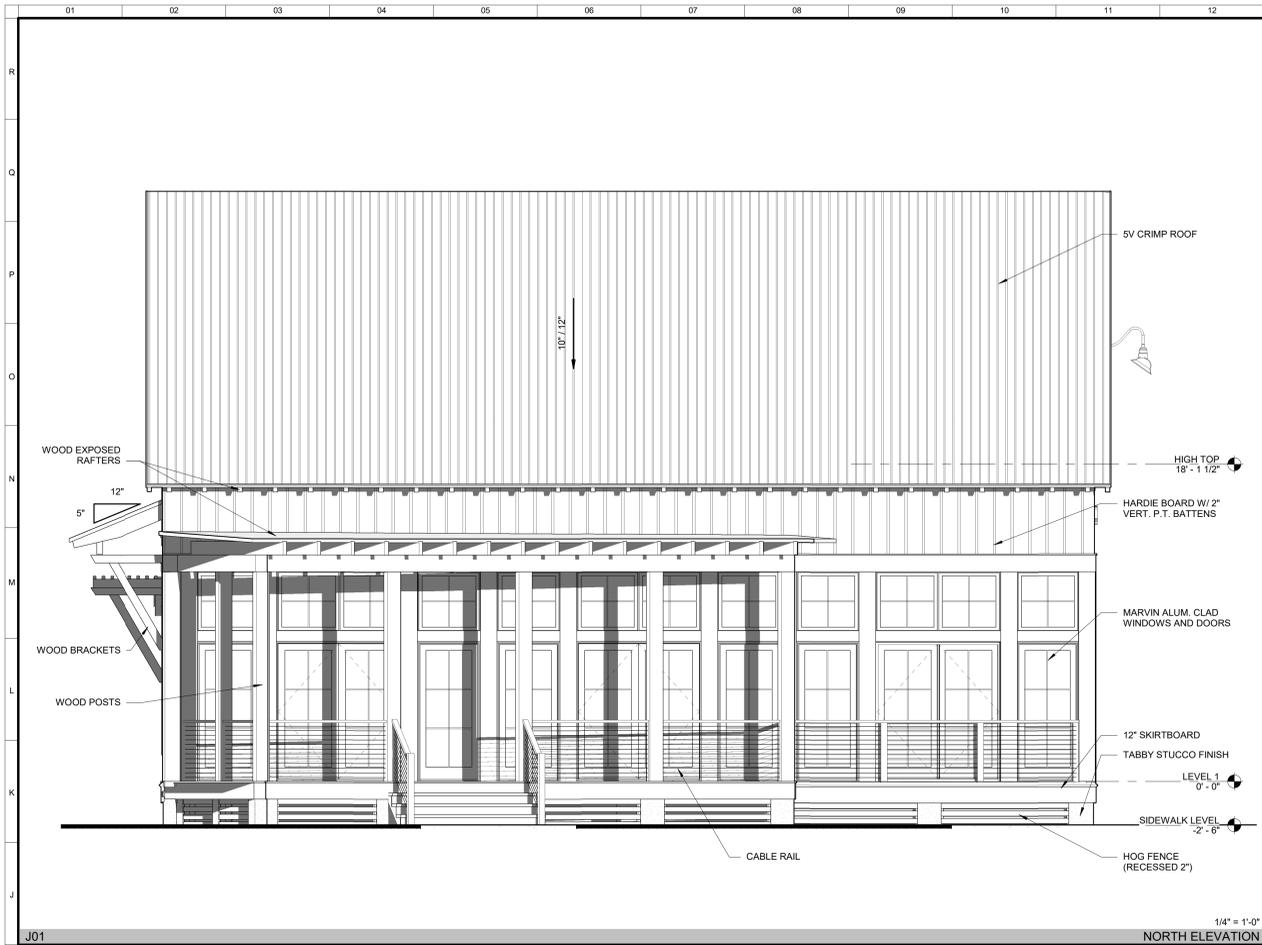
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ROOF PLAN

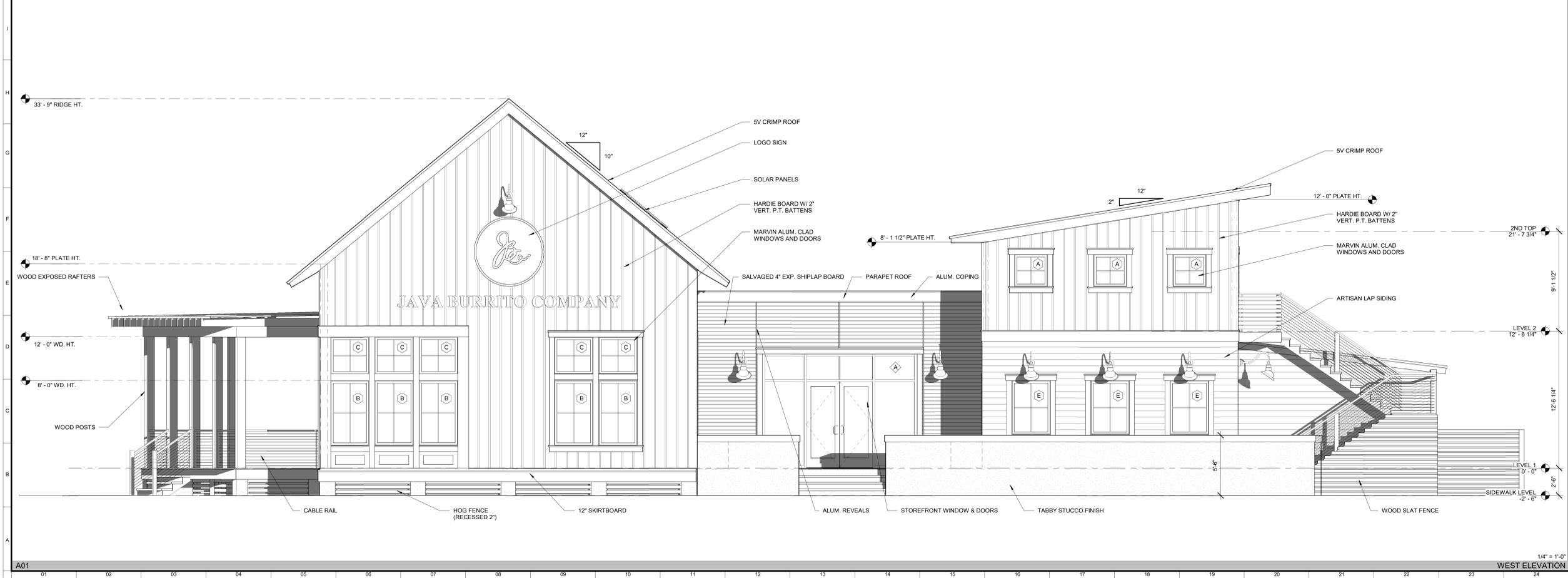
Scale: 1/4" = 1'-0"
Date: 08/21/19
Project No: 1901.00
Drawing No:

A102

1/4" = 1'-0"
ROOF PLAN



J01 1/4" = 1'-0" NORTH ELEVATION 1 1/4" = 1'-0" NORTH ELEVATION HIDDEN VIEW



A01 1/4" = 1'-0" WEST ELEVATION



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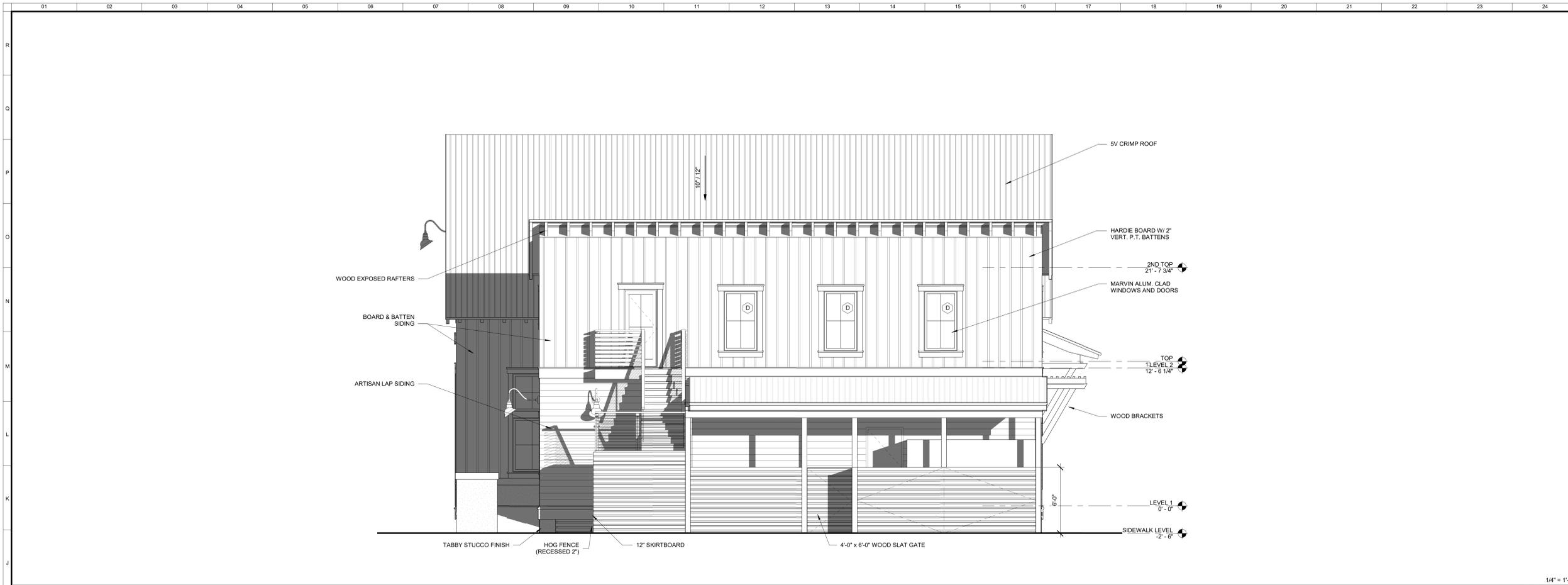
Revisions		
No	Date	Description

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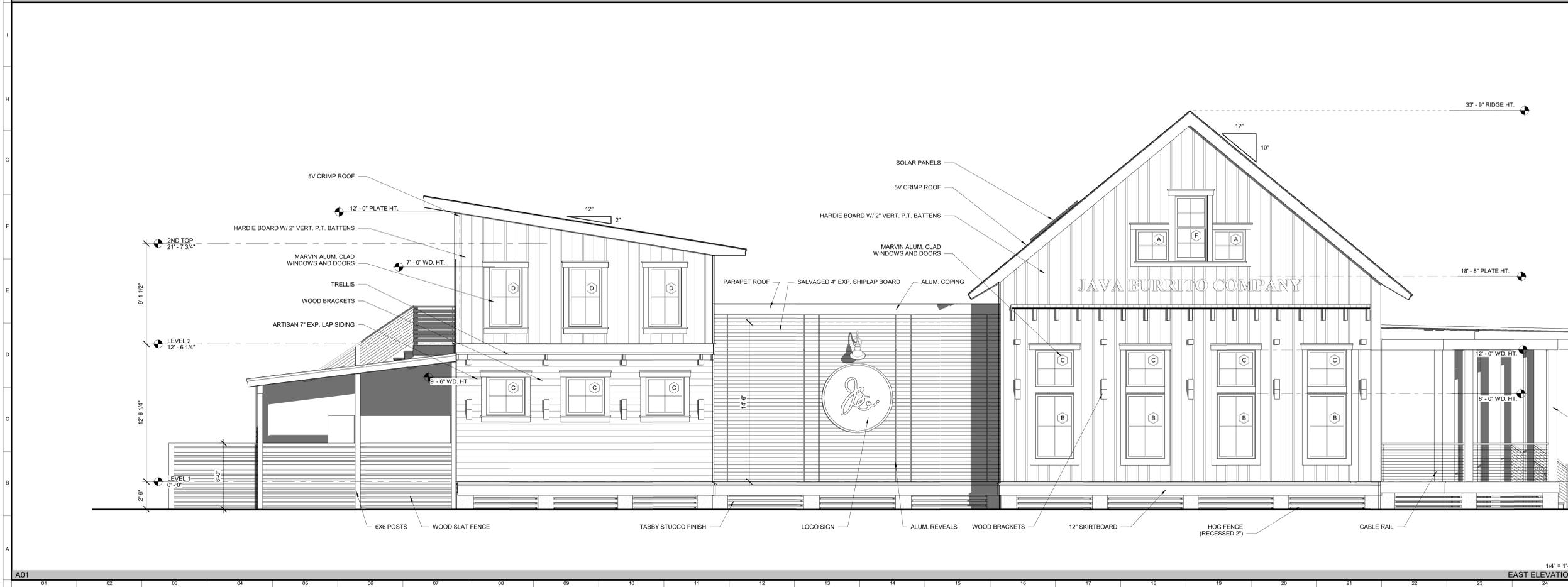
BUILDING ELEVATIONS

Scale: 1/4" = 1'-0"
Date: 08/21/19
Project No: 1901.00
Drawing No:

A201



14" = 1'-0"
SOUTH ELEVATION



14" = 1'-0"
EAST ELEVATION

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Revisions		
No	Date	Description

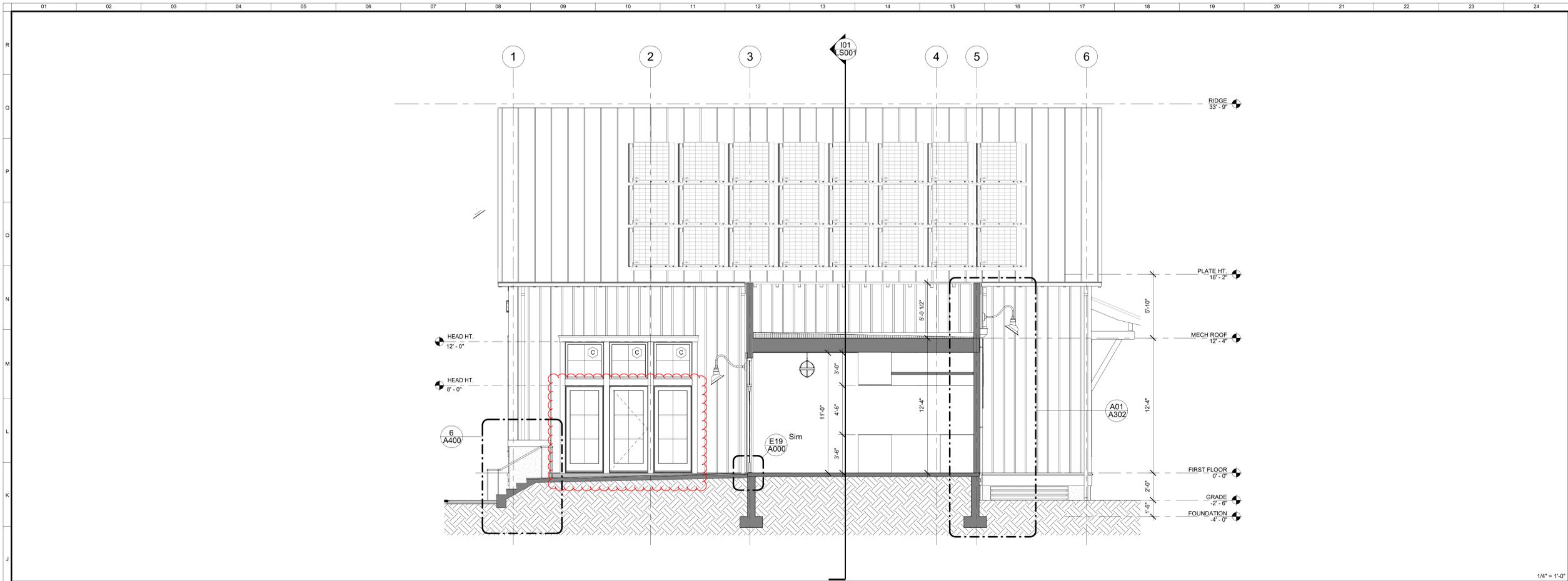
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BUILDING ELEVATIONS

Scale: 1/4" = 1'-0"
Date: 08/21/19
Project No: 1901.00
Drawing No:

A202

8/21/2019 10:50:42 AM



1/4" = 1'-0"
Section 1



1/4" = 1'-0"
Section 2



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Revisions		
No	Date	Description

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BUILDING SECTIONS

Scale: 1/4" = 1'-0"
Date: 09/16/19
Project No: 1901.00
Drawing No:

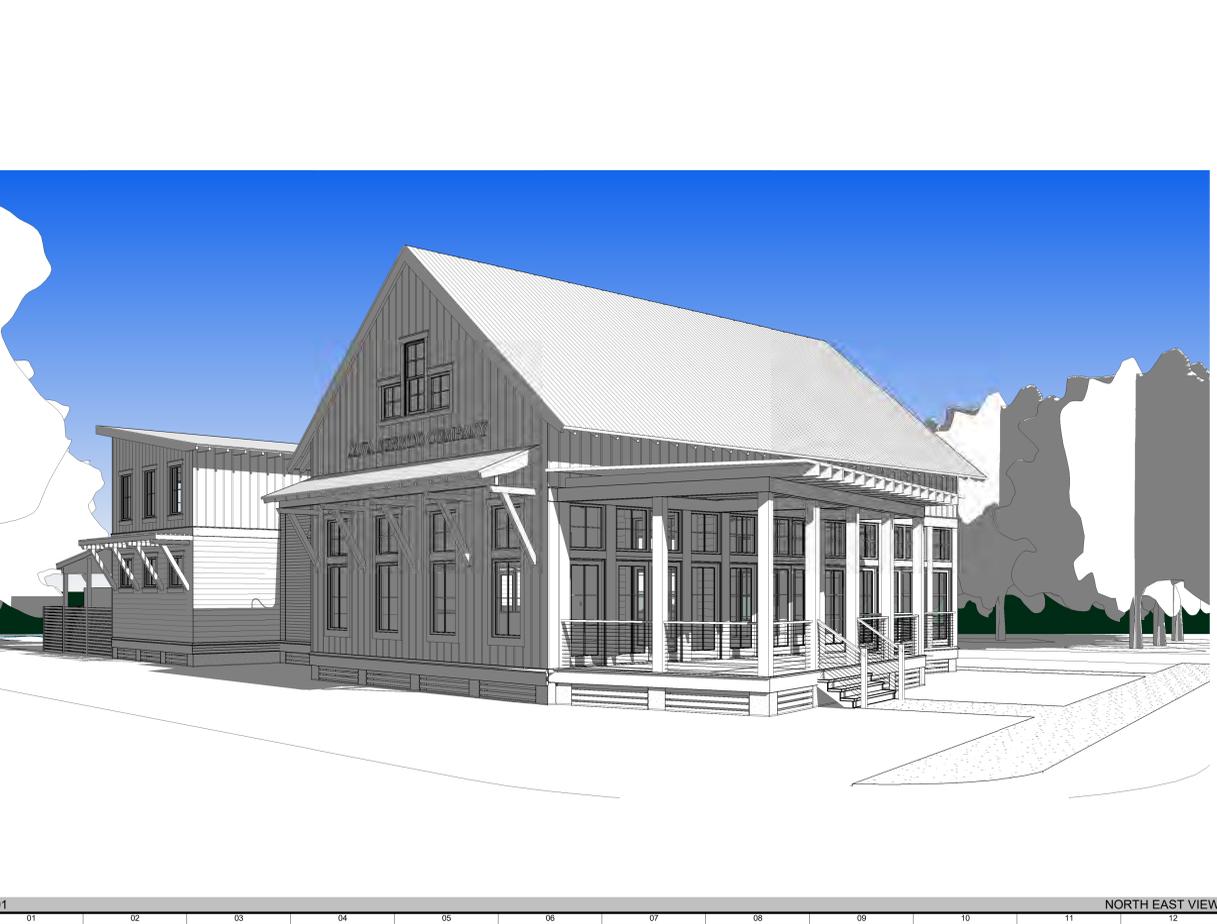
A301



NORTH WEST VIEW



SOUTH WEST VIEW



NORTH EAST VIEW



SOUTH EAST VIEW



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Revisions		
No	Date	Description
1	3/2/16	Revision 1

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3D VIEWS

Scale _____
 Date 08/21/19
 Project No. 1901.00
 Drawing No. _____

A706



PROPOSED MAY RIVER EAST VIEW



EXISTING MAY RIVER EAST VIEW

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Revisions

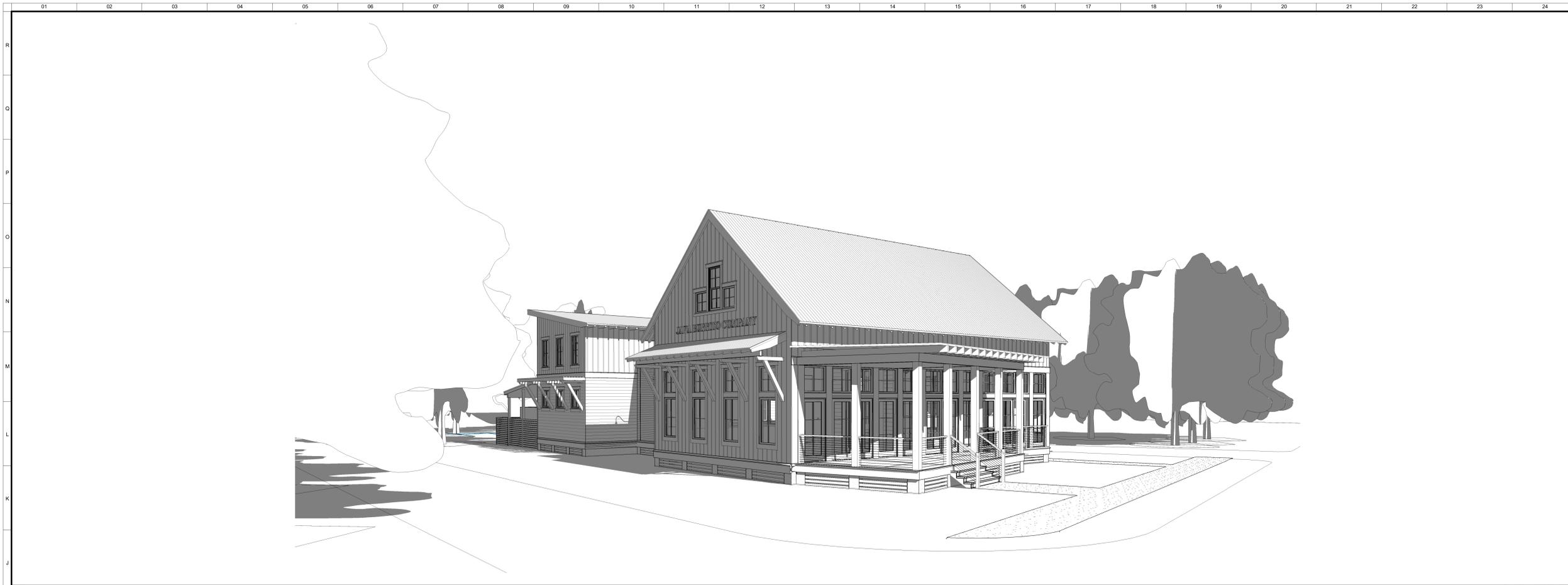
No	Date	Description

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APPROACH VIEWS

Scale: 12" = 1'-0"
 Date: 08/21/19
 Project No: 1901.00
 Drawing No: A707

8/21/2019 10:51:04 AM

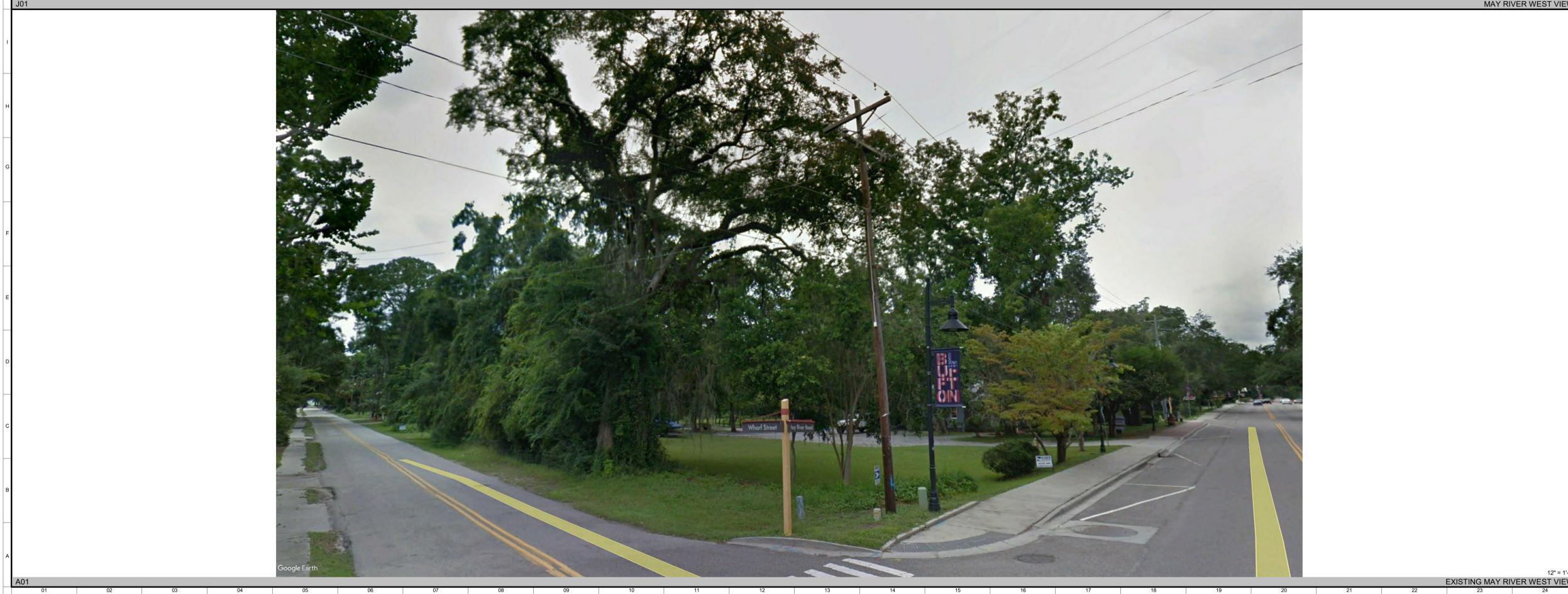


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Revisions

No	Date	Description

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APPROACH VIEWS

Scale 12" = 1'-0"
Date 08/21/19
Project No. 1901.00
Drawing No.

A708

8/21/2019 10:51:08 AM

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1260 MAY RIVER ROAD

BLUFFTON, SOUTH CAROLINA

HPC SUBMITTAL - FEBURARY 13, 2020



DRAWING INDEX:

G000	COVER SHEET
G004	SITE PLAN
A000	DOOR AND WINDOW SCHEDULE
A001	DOOR AND WINDOW SCHEDULE
A100	FIRST FLOOR PLAN
A101	ROOF PLAN
A200	BUILDING ELEVATIONS
A201	BUILDING ELEVATIONS
A300	BUILDING SECTIONS
A301	WALL SECTIONS
A302	WALL SECTIONS & DETAILS
A706	3D VIEWS
A707	APPROACH VIEWS
A708	APPROACH VIEWS



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Revisions

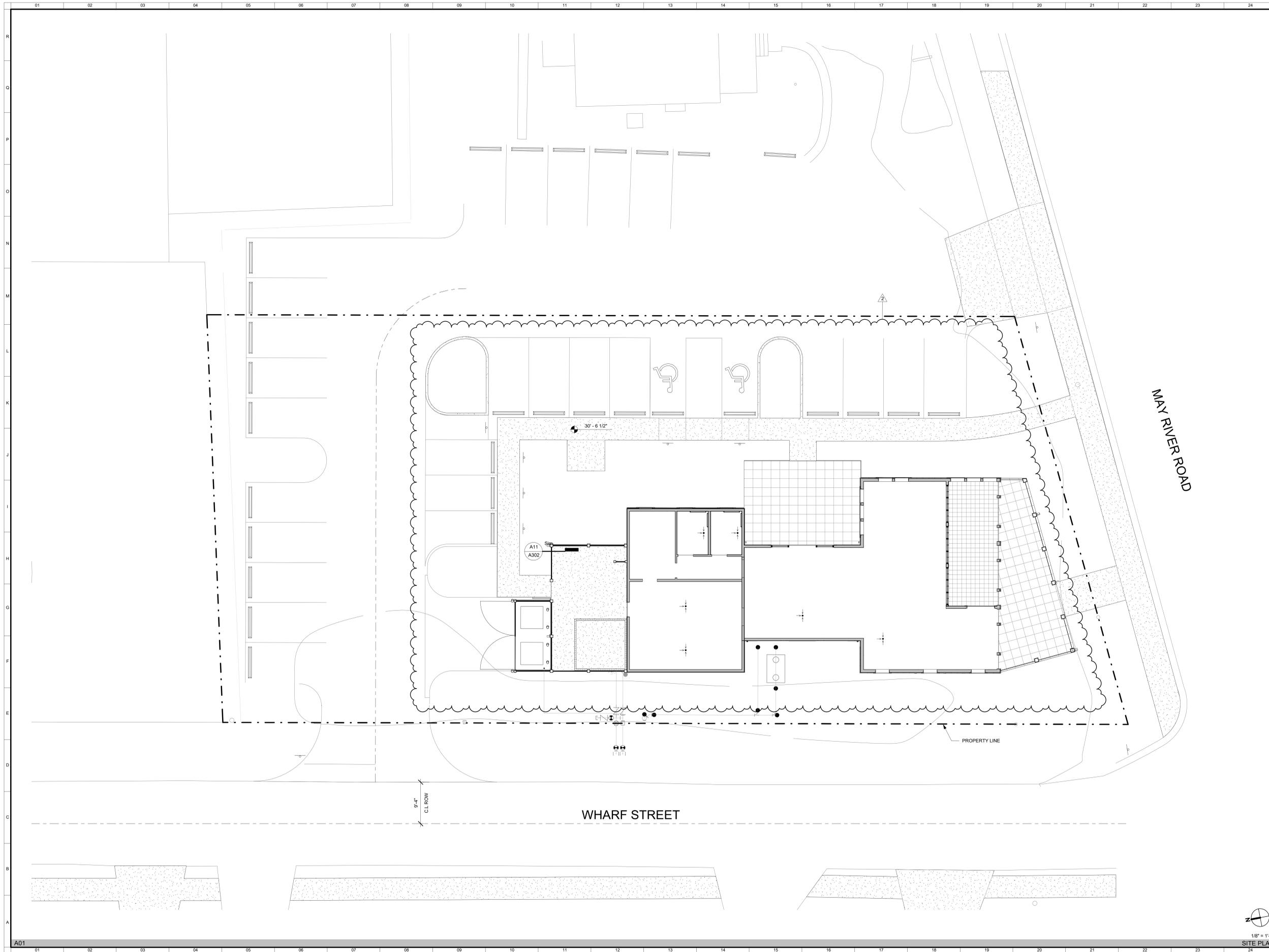
No	Date	Description

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COVER SHEET

Scale _____
 Date 02/11/20
 Project No. 1901.00
 Drawing No. _____

G000




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Revisions

No	Date	Description
2	02/11/20	Revision 2

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SITE PLAN

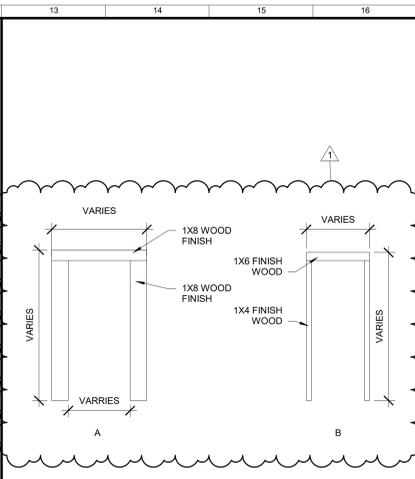
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 Project No: 1901.00
 Drawing No:

G004

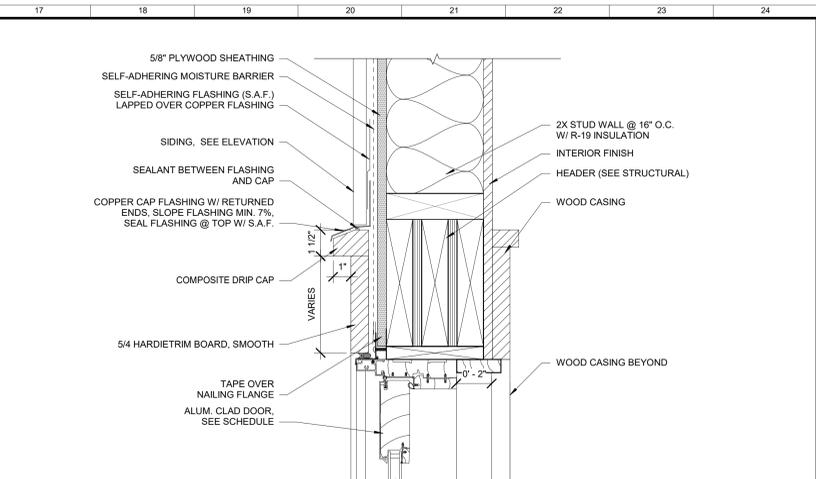
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DOOR	ROOM	Width	Height	THICKNESS	DOOR			FRAME			HARDWARE	COMMENTS
					TYPE	MATERIAL	RATING	TYPE	MATERIAL	RATING		
100A	RETAIL	3' (PAIR)	8'-0"	2-1/4"	A	ALUM. STOREFRONT	-	SF-1	ALUM.	-	PER MANF. SPECS.	-
101A	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
101B	DINING	6'-0"	8'-0"	2-1/4"	B	ALUM. CLAD	-	-	ALUM. CLAD	-	A4, B, C, F, G, I, L	-
101C	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
101D	DINING	6'-0"	8'-0"	2-1/4"	B	ALUM. CLAD	-	-	ALUM. CLAD	-	A1, B, C, F, G, I, M, N	RIGHT DOOR ACTIVE
102A	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
102B	DINING	6'-0"	8'-0"	2-1/4"	B	ALUM. CLAD	-	-	ALUM. CLAD	-	A1, B, C, F, G, I, M, N	RIGHT DOOR ACTIVE
102C	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
102D	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
102E	DINING	6'-0"	8'-0"	2-1/4"	B	ALUM. CLAD	-	-	ALUM. CLAD	-	A1, B, C, F, G, I, M, N	STANDARD MANF. THRESHOLD
102F	DINING	3'-0"	8'-0"	2-1/4"	C	ALUM. CLAD	-	-	ALUM. CLAD	-	FIXED	6 LITE FIXED DOOR TO MATCH ADJACENT
104A	MEN'S WC	3'-0"	7'-0"	1-3/4"	D	MDF	-	-	HOLLOW METAL	-	A3, C, F, H, J, K	MDF FLUSH DOOR
105A	WOMEN'S WC	3'-0"	7'-0"	1-3/4"	D	MDF	-	-	HOLLOW METAL	-	A3, C, F, H, J, K	MDF FLUSH DOOR
106A	OFFICE	3'-0"	7'-0"	1-3/4"	D	MDF	-	-	HOLLOW METAL	-	A3, C, F, H, J	-
106B	OFFICE	3'-0"	7'-0"	1-3/4"	D	HOLLOW METAL	-	-	HOLLOW METAL	-	A3, C, F, H, J	-
108A	SERVICE YARD	4'-0"	6'-0"	2-1/4"	E	WOOD LOUVER	-	-	WOOD	-	A1, B, C	WOOD GATE TO MATCH SERVICE YARD FENCE
110A	KITCHEN	3'-0"	7'-0"	2"	D	HOLLOW METAL	-	-	HOLLOW METAL	-	A1, C, F, G, H, I, L	-

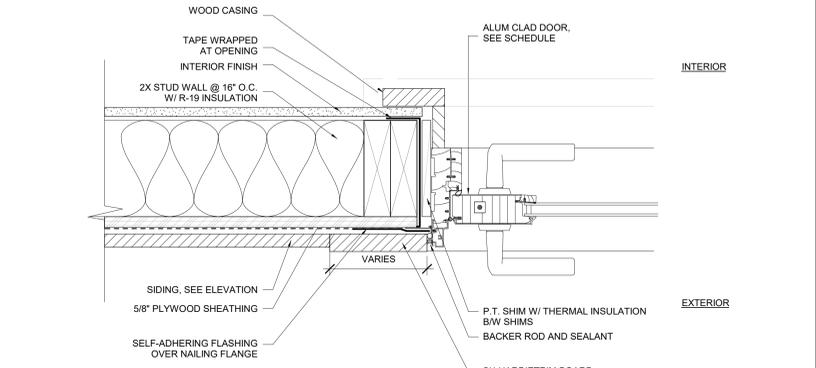
- NOTES:**
- COORDINATE FRAME, JAMB, HEAD, AND SILL WIDTH WITH ACTUAL WALL WIDTHS/SIZE.
 - ALL DOOR SIDELITE GLAZING, AND GLAZING BELOW 18", TO BE TEMPERED.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
 - MANUFACTURER TO VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
 - CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
 - ALL THRESHOLDS TO BE ADA COMPLIANT.
 - ALL NEW EXTERIOR DOOR SYSTEMS & GLAZING SHALL COMPLY WITH IBC 1609.1.4 FOR IMPACT RESISTANCE AND IBC 1609.1.2 FOR WIND LOADING CRITERIA, EXPOSURE C. GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
 - ALL HARDWARE SHALL BE PROVIDED BY A SINGLE HARDWARE SUPPLIER. EXIT DOOR HARDWARE TO BE PER IBC SECTIONS 1008.1.9, 1008.1.9.3 AND 1008.1.9.5
 - THE CONTRACTOR SHALL SUBMIT A HARDWARE SCHEDULE FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION, WHICH INCLUDES LOCKSETS, HINGES, DEADBOLTS, FLOORSTOPS, AND ANY OTHER HARDWARE.
 - COORDINATE KEYING WITH OWNER.
 - PROVIDE FLOOR/WALL MOUNTED BUMPERS FOR WALL PROTECTION AT ALL DOORS.
 - COLOR/FINISH OF DOORS & WINDOWS TO BE SELECTED BY OWNER.
 - PROVIDE WALL BUMPER FOR ALL DOORS.
 - BASIS FOR TO DESIGN TO INCLUDE: ALUM. CLAD DOOR - MARVIN ULTIMATE COMMERCIAL DOOR - PAINTED FINISH FROM MANUFACTURERS STANDARD COLORS.
 - BASIS FOR TO DESIGN TO INCLUDE: STOREFRONT DOORS - YKK PRODUCTS - PAINTED FINISH FROM MANUFACTURERS STANDARD COLORS.
 - BASIS FOR TO DESIGN TO INCLUDE: HOLLOW METAL DOORS - CURRIES - FIELD PAINTED.
 - BASIS FOR TO DESIGN TO INCLUDE: MDF DOORS - MDF DOORS - TIMESTILE - FIELD PAINTED.
- HARDWARE LEGEND:**
- | | | | |
|----|-------------------------------------|---|-------------------------------|
| A1 | LOCKSET - ENTRY | G | ADA THRESHOLD |
| A2 | LOCKSET - OFFICE | H | KICKPLATES (BOTH SIDES) |
| A3 | LOCKSET - PRIVACY | I | WEATHER-STRIPPING (NEOPRENE) |
| A4 | PANIC EXIT DEVICE W/ CONCEALED RODS | J | SILENCERS |
| A5 | LOCKSET - PASSAGE | K | COAT HOOK |
| B | THUMB LATCH | L | DRIP CAP |
| C | HINGE (STAINLESS) | M | DUMMY LEVER, ON INACTIVE DOOR |
| D | PUSH PLATE | N | FLUSH BOLT ON INACTIVE DOOR |
| E | PULL PLATE | | |
| F | DOOR CLOSER | | |



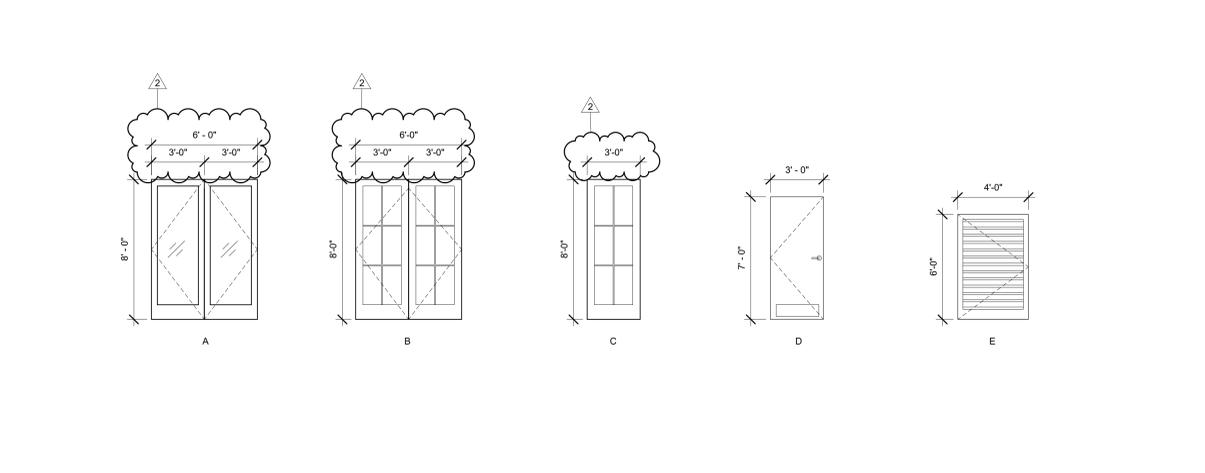
1/4" = 1'-0" DOOR FRAME TYPES



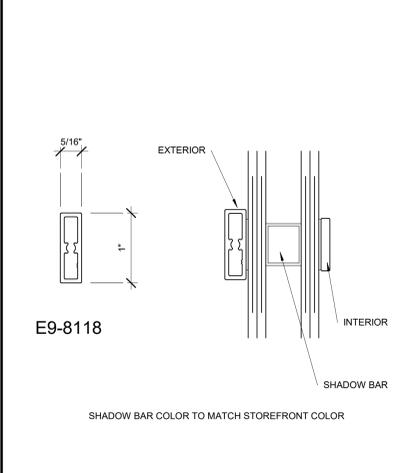
3" = 1'-0" DOOR HEADER



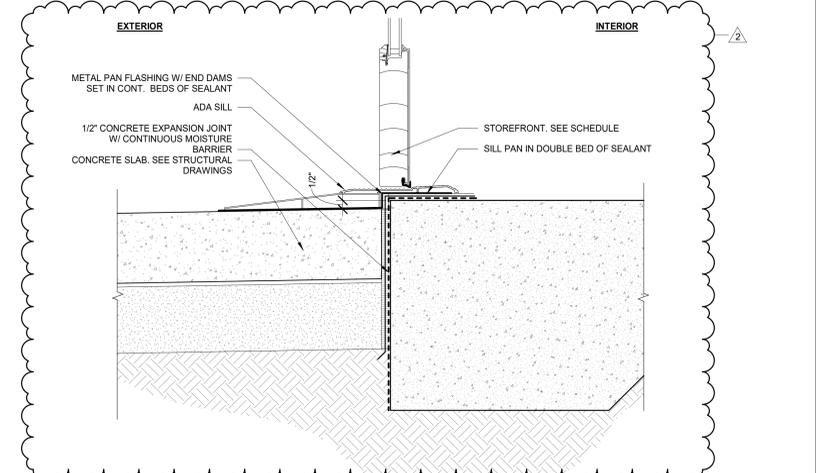
3" = 1'-0" DOOR JAMB



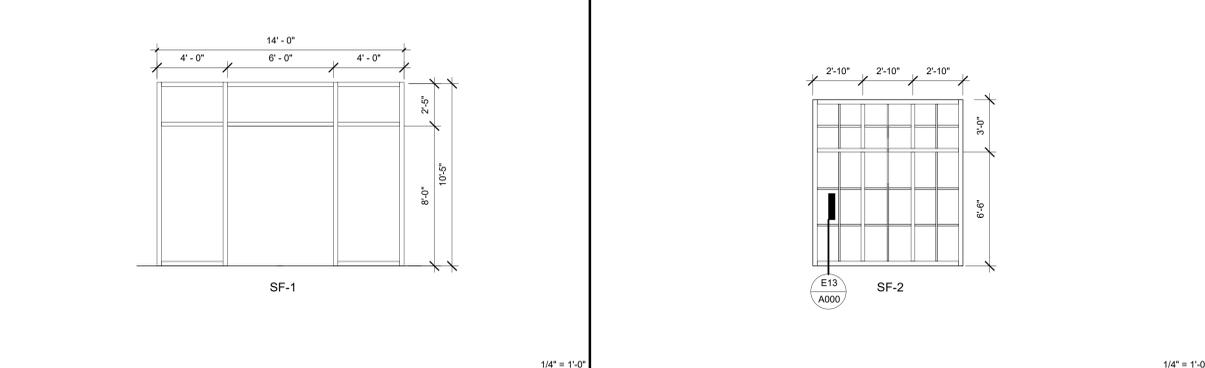
1/4" = 1'-0" DOOR TYPE



1/2" = 1'-0" APPLIED MUNTIN



3" = 1'-0" DOOR SILL - STOREFRONT



1/4" = 1'-0" STOREFRONT INTERIOR

STOREFRONT SCHEDULE						
TYPE	LENGTH	HEIGHT	MANUFACTURER	FINISH	COMMENTS	
SF-1	13'-4"	10'-0"	-	ANODIZED ALUM.	CLEAR GLASS	
SF-2	8'-0"	9'-0"	-	ANODIZED ALUM.	INTERIOR - VERIFY DIMENSIONS IN FIELD WITH OWNER	

YKK OR EQUAL

NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
- MANUFACTURER VERIFY ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION.
- ALL INTERIOR GLAZING TO BE TEMPERED.
- ALL NEW EXTERIOR GLAZING SYSTEMS SHALL COMPLY WITH IBC 1609.1.4 FOR IMPACT RESISTANCE AND IBC 1609.1.2 FOR WIND LOADING CRITERIA, EXPOSURE C.
- GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
- CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
- PROVIDE FACTORY APPLIED BRICK MOULD ON ALL REPLACEMENT WINDOWS IN EXISTING MASONRY OPENINGS.
- ALL ALUMINUM STOREFRONT TO BE CLEAR ANODIZED ALUMINUM.

1" = 1'-0" STOREFRONT NOTES

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Revisions

No	Date	Description
1	10/09/19	Revision 1
2	02/11/20	Revision 2

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DOOR AND WINDOW SCHEDULE & DETAILS

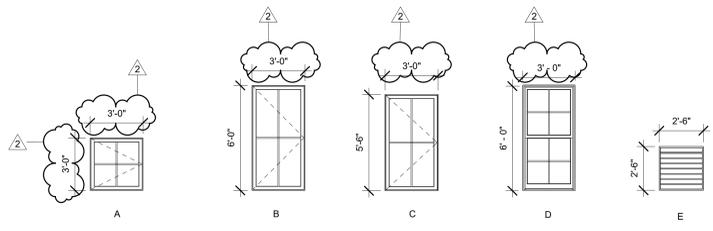
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Date: 02/11/20
Project No: 1901.00
Drawing No:

A000

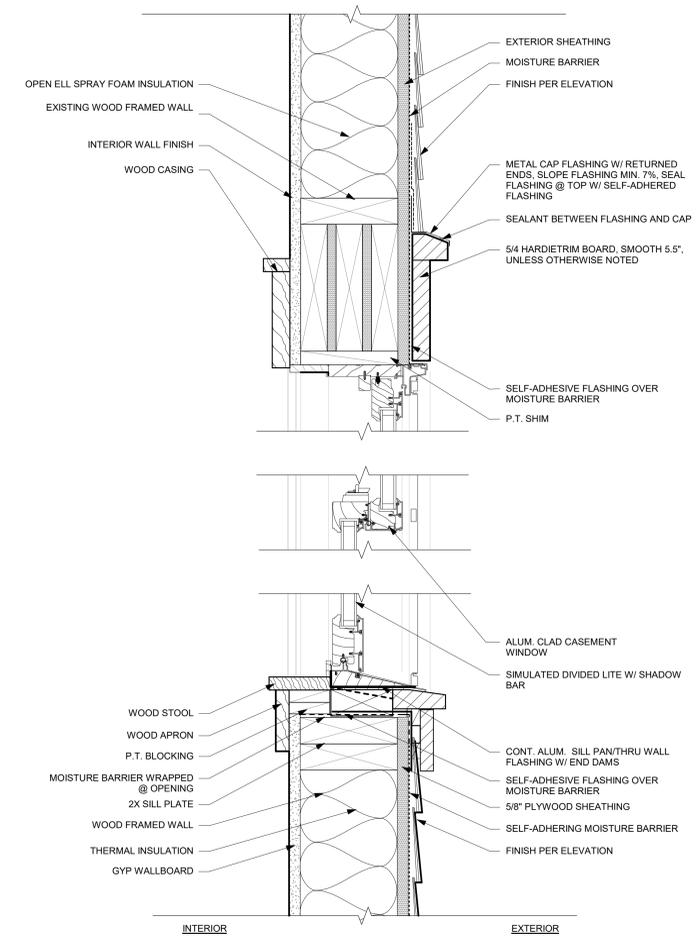
WINDOW SCHEDULE

WINDOW	MANUF.	MODEL#	WIDTH	HEIGHT	DESCRIPTION	LIGHT CONFIGURATION	COMMENTS
A	MARVIN WINDOW	CUCA3636	3'-0"	3'-0"	SDL CASEMENT	2X2	INSULATED GLAZING W/ SHADOW BAR, INTERIOR PRIMED
B	MARVIN WINDOWS AND DOORS	CUCA2660	3'-0"	6'-0"	SDL CASEMENT	2X2	INSULATED GLAZING W/ SHADOW BAR, INTERIOR PRIMED
C	MARVIN WINDOW	CUCA3660	3'-0"	5'-0"	SDL CASEMENT	2X2	INSULATED GLAZING W/ SHADOW BAR, INTERIOR PRIMED
D	MARVIN WINDOW	CUDH3672	3'-0"	6'-0"	SDL DOUBLE HUNG	2X4	INSULATED GLAZING W/ SHADOW BAR, INTERIOR PRIMED
E	TBD		2'-6"	2'-6"	LOUVERED ATTIC VENT	-	

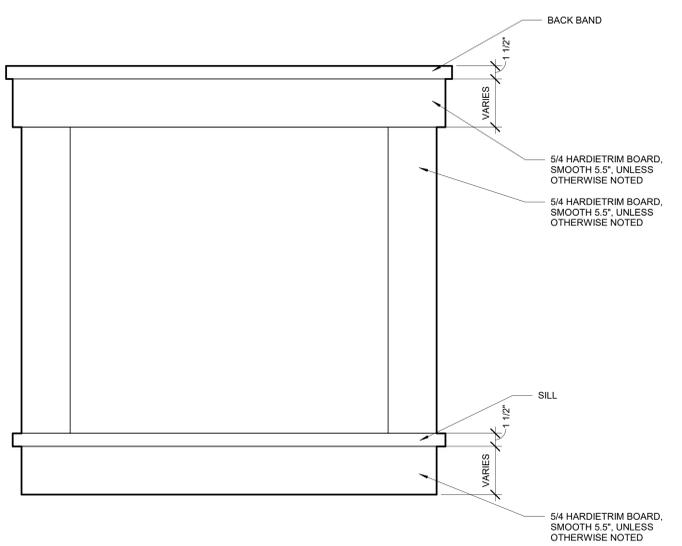
- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROUGH OPENINGS.
 - MANUFACTURER VERIFY ROUGH OPENING DIMENSIONS PRIOR TO WINDOW FABRICATION.
 - TEMPERED GLAZING AS RERQUIRED PER IBC 1609.1.2
 - CONTRACTOR TO REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
 - MARVIN WINDOWS AND DOORS ARE THE BASIS OF DESIGN. GC PERMITTED TO PRICE ALTERNATE WINDOW MANUFACTURERS PROVIDED THEY HAVE BEEN APPROVED BY ARCHITECT AND BLUFFTON HISTORIC PRESERVATION COMMISSION.
 - COLOR AND FINISH TO BE SELECTED BY OWNER.



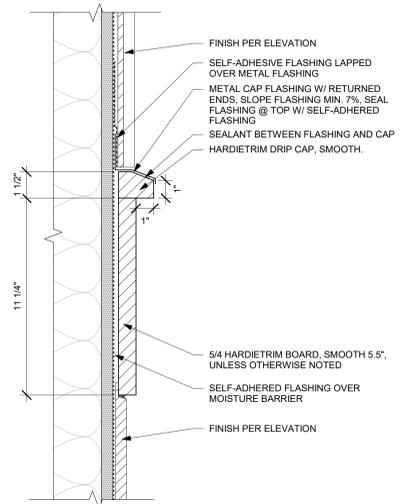
12" = 1'-0"
WINDOW NOTES



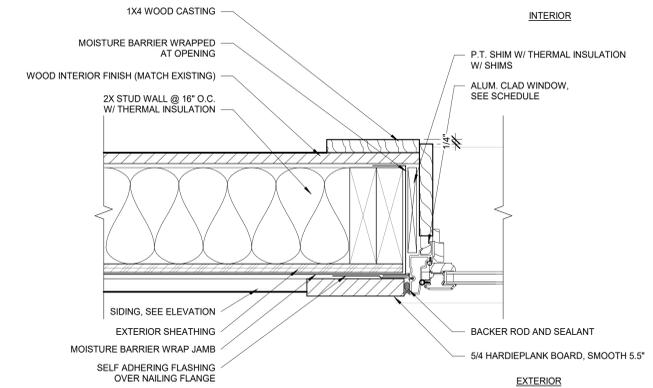
3" = 1'-0"
WINDOW HEAD AND SILL



1 1/2" = 1'-0"
TYP. WINDOW FRAME DETAIL



3" = 1'-0"
TRIM DETAIL



3" = 1'-0"
WINDOW JAMB

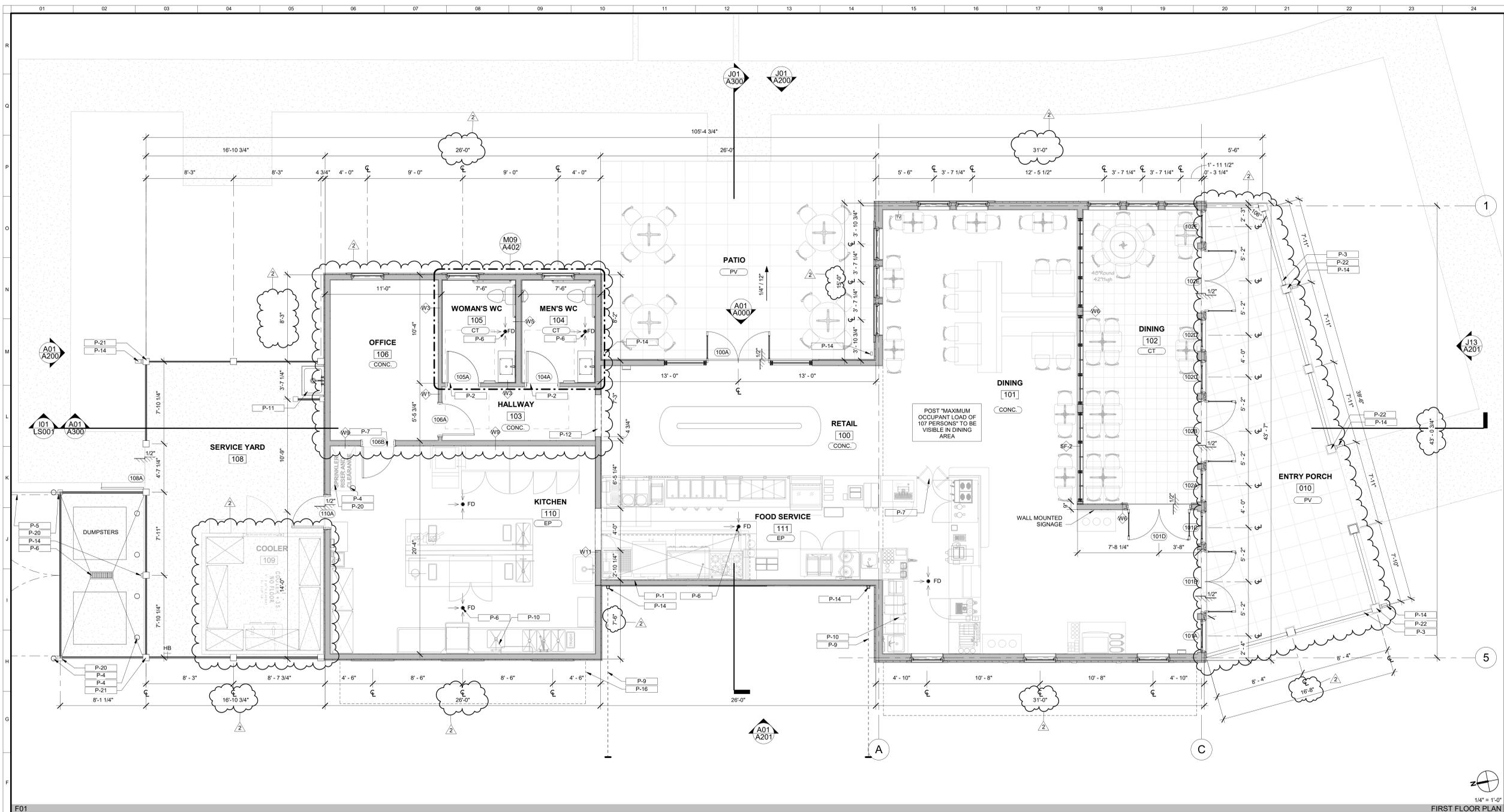
Revisions

No	Date	Description
2	02/11/20	Revision 2

DOOR AND WINDOW SCHEDULES & DETAILS

Scale: As indicated
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Project No.: 1901.00
Drawing No.:

A001



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SQUARE FOOTAGE CALCULATIONS PERMIT PLAN

CONDITIONED AREA	UNCONDITIONED AREA
FIRST FLOOR	ENTRY PORCH - 385 SF
- RESTAURANT - 3023 SF	RESTAURANT PATIO - 385 SF
- OFFICE - 342 SF	SERVICE AREA - 411
- WALK-IN COOLER - 134 SF	TOTAL UNCONDITIONED - 1,181 SF
SECOND FLOOR	
- OFFICE - 1,035 SF	
TOTAL CONDITIONED - 4,534 SF	
GROSS AREA - 5,304 SF	

SQUARE FOOTAGE CALCULATIONS VE PLAN (CURRENT)

CONDITIONED AREA	UNCONDITIONED AREA
FIRST FLOOR	ENTRY PORCH - 447 SF
- RESTAURANT - 2533 SF	RESTAURANT PATIO - 494 SF
- OFFICE - 155 SF	SERVICE AREA - 334
- WALK-IN COOLER - 134 SF	TOTAL UNCONDITIONED - 1,275 SF
SECOND FLOOR	
-N/A-	
TOTAL CONDITIONED - 2,822 SF	
GROSS AREA - 2,893 SF	

LEGEND

PROPOSED WALL - REFER TO WALL TYPES

GENERAL NOTES

- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE TOWN OF BLUFFTON.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD/STRUCTURE UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

PLAN NOTES

P-1	PROVIDE STAINLESS STEEL PANELS @ COOKING LINE IN LIEU OF FRP.
P-2	RECESS FLOOR SLAB TO ACCOMMODATE FLOOR TILE. COORDINATE WITH MANUFACTURER DETAILS.
P-3	CABLE RAIL
P-4	BOLLARDS
P-5	WOOD SLAT DOOR W/ STEEL FRAME.
P-6	FLOOR DRAIN. SEE CIVIL ENG DRAWINGS.
P-7	VERIFY WITH MANUFACTURER RECESS OF CONCRETE FLOOR SLAB TO ACCOMMODATE EPOXY FLOORING
P-9	6" PVC LINE FROM DOWNSPOUT. COORDINATE WITH CIVIL.
P-10	SEE KITCHEN DRAWINGS FOR EQUIPMENT PLAN
P-11	MOP SINK
P-12	CASED OPENING W/O DOOR
P-13	5V CRIMP ROOF
P-14	DOWNSPOUT
P-15	GUTTER
P-16	WOOD TRELLIS
P-19	5V CRIMP ROOF RIDGE CAP
P-20	6X6 WOOD POST
P-21	8X8 WOOD POST

PLAN NOTES

P-22	8X8 WOOD POST WRAPPED IN 5/4" SMOOTH COMPOSITE
P-23	TPO ROOF
P-25	OUTLINE OF ROOF BELOW

FLOOR FINISH

CONC.	CONCRETE
CT	CERAMIC TILE
EP	EPOXY FLOORING
PV	STONE PAVERS

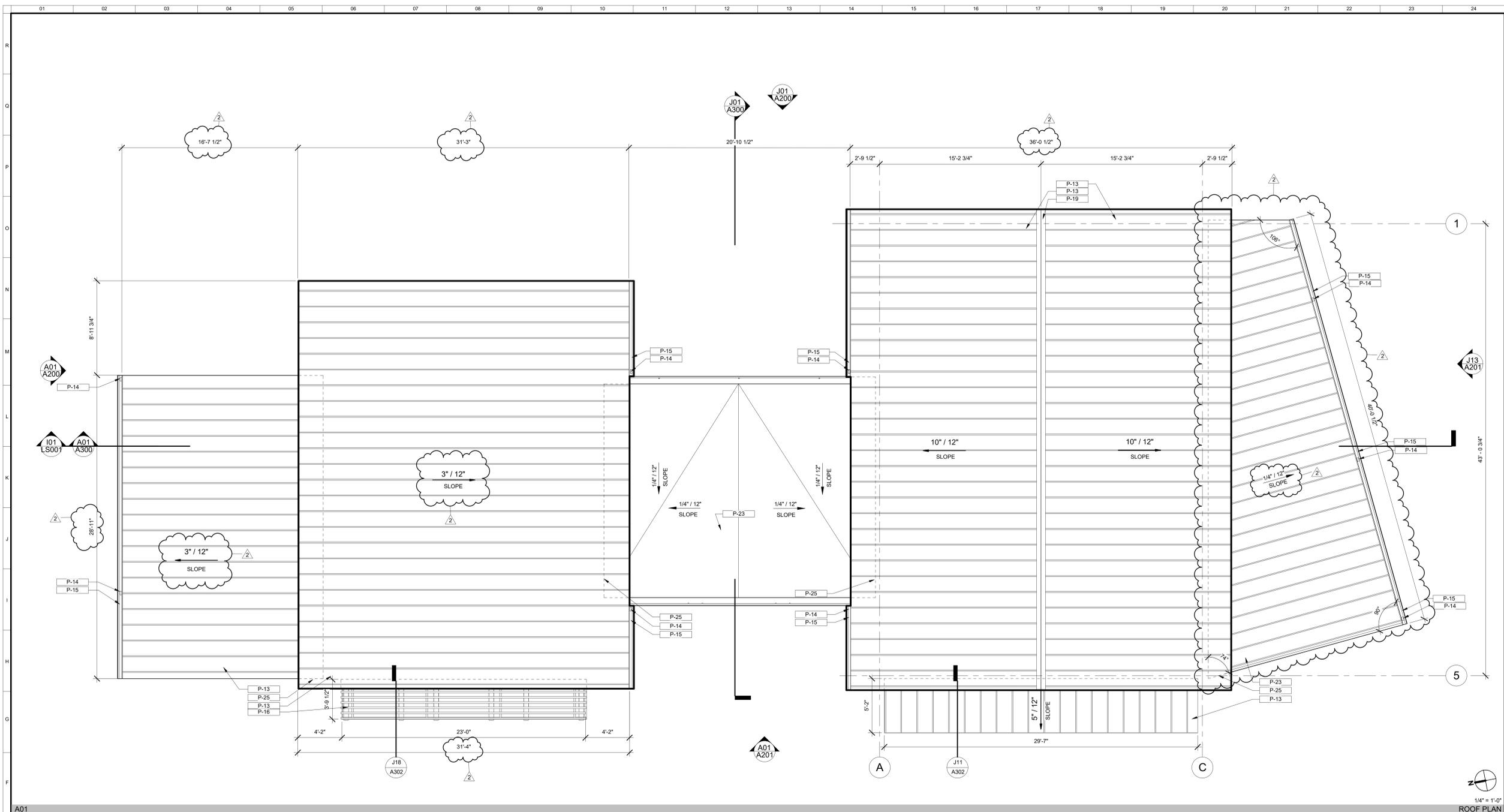
Revisions

No	Date	Description
2	02/11/20	Revision 2

FIRST FLOOR PLAN

Scale: As indicated
 Date: 02/11/20
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 Drawing No:

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1/4" = 1'-0"
ROOF PLAN

LEGEND

	PROPOSED WALL - REFER TO WALL TYPES
--	-------------------------------------

GENERAL NOTES

- * BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE TOWN OF BLUFFTON.
- * ALL INTERIOR DIMENSIONS TO FACE OF STUD/STRUCTURE UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE/STRUCTURE UNLESS OTHERWISE NOTED.
- * THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- * MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- * THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

- * ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF BLUFFTON.
- * ALL FIXTURE, FINISH AND INTERIOR SELECTIONS TO BE BY OWNER.
- * CONTRACTOR TO PROVIDE AND INSTALL ALL ACCESS DOORS WHERE REQUIRED FOR ACCESS AND SERVICEABILITY TO ALL BUILDING EQUIPMENT AND SYSTEMS. ALL ACCESS PANELS IN RATED PARTITIONS TO MEET OR EXCEED THE PARTITION RATING SPECIFIED IN THE LIFE SAFETY DRAWING.
- * PROVIDE FIRE RATED DAMPER AT RATED WALL DUCT PENETRATIONS. SEE MECHANICAL DRAWINGS.
- * PAINT ALL INTERIOR WALLS, TRIM & CEILING THROUGHOUT PROJECT AREA.
- * SLOPE ALL CONCRETE FLOOR AREAS TO FLOOR DRAINS.
- * DEPRESS ALL CONCRETE SLABS AS NEEDED TO ALLOW FOR TILE. REFER TO MANUFACTURER FOR MUD BED DEPTH AND SLOPE REQUIREMENT. CONTRACTOR TO COORDINATE.
- * STAIN/SEAL ALL CONCRETE. STAIN TO BE SELECTED BY OWNER.
- * THIN SET CONCRETE SLAB.
- * COORDINATE ALL FLOOR DRAIN LOCATIONS WITH ENGINEER.

PLAN NOTES

P-1	PROVIDE STAINLESS STEEL PANELS @ COOKING LINE IN LIEU OF FRP.
P-2	RECESS FLOOR SLAB TO ACCOMMODATE FLOOR TILE. COORDINATE WITH MANUFACTURER DETAILS.
P-3	CABLE RAIL
P-4	BOLLARDS
P-5	WOOD SLAT DOOR W/ STEEL FRAME.
P-6	FLOOR DRAIN. SEE CIVIL ENG DRAWINGS.
P-7	VERIFY WITH MANUFACTURER RECESS OF CONCRETE FLOOR SLAB TO ACCOMMODATE EPOXY FLOORING.
P-9	6" PVC LINE FROM DOWNSPOUT. COORDINATE WITH CIVIL.
P-10	SEE KITCHEN DRAWINGS FOR EQUIPMENT PLAN
P-11	MOP SINK
P-12	CASED OPENING W/O DOOR
P-13	5V CRIMP ROOF
P-14	DOWNSPOUT
P-15	GUTTER
P-16	WOOD TRELLIS
P-19	5V CRIMP ROOF RIDGE CAP
P-20	6X6 WOOD POST
P-21	8X8 WOOD POST

PLAN NOTES

P-22	8X8 WOOD POST WRAPPED IN 5/4" SMOOTH COMPOSITE
P-23	TPO ROOF
P-25	OUTLINE OF ROOF BELOW

Revisions

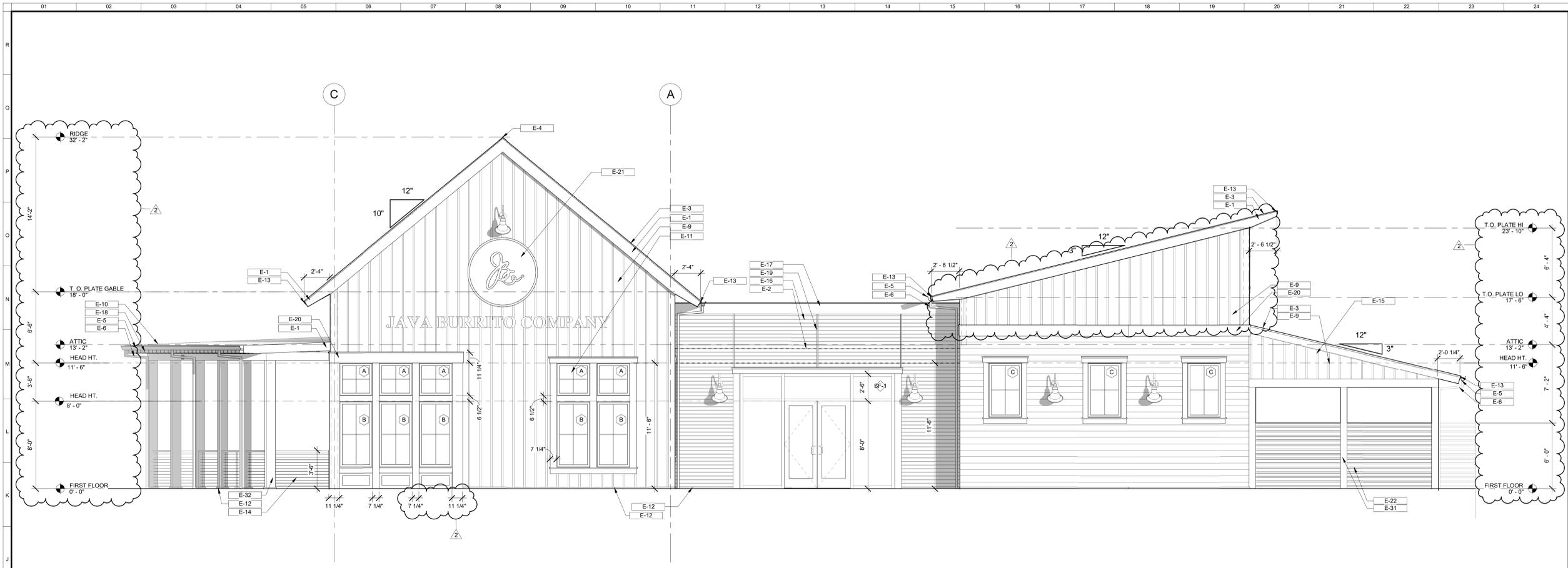
No	Date	Description
2	02/11/20	Revision 2

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ROOF PLAN

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 Project No: 1901.00
 Drawing No:

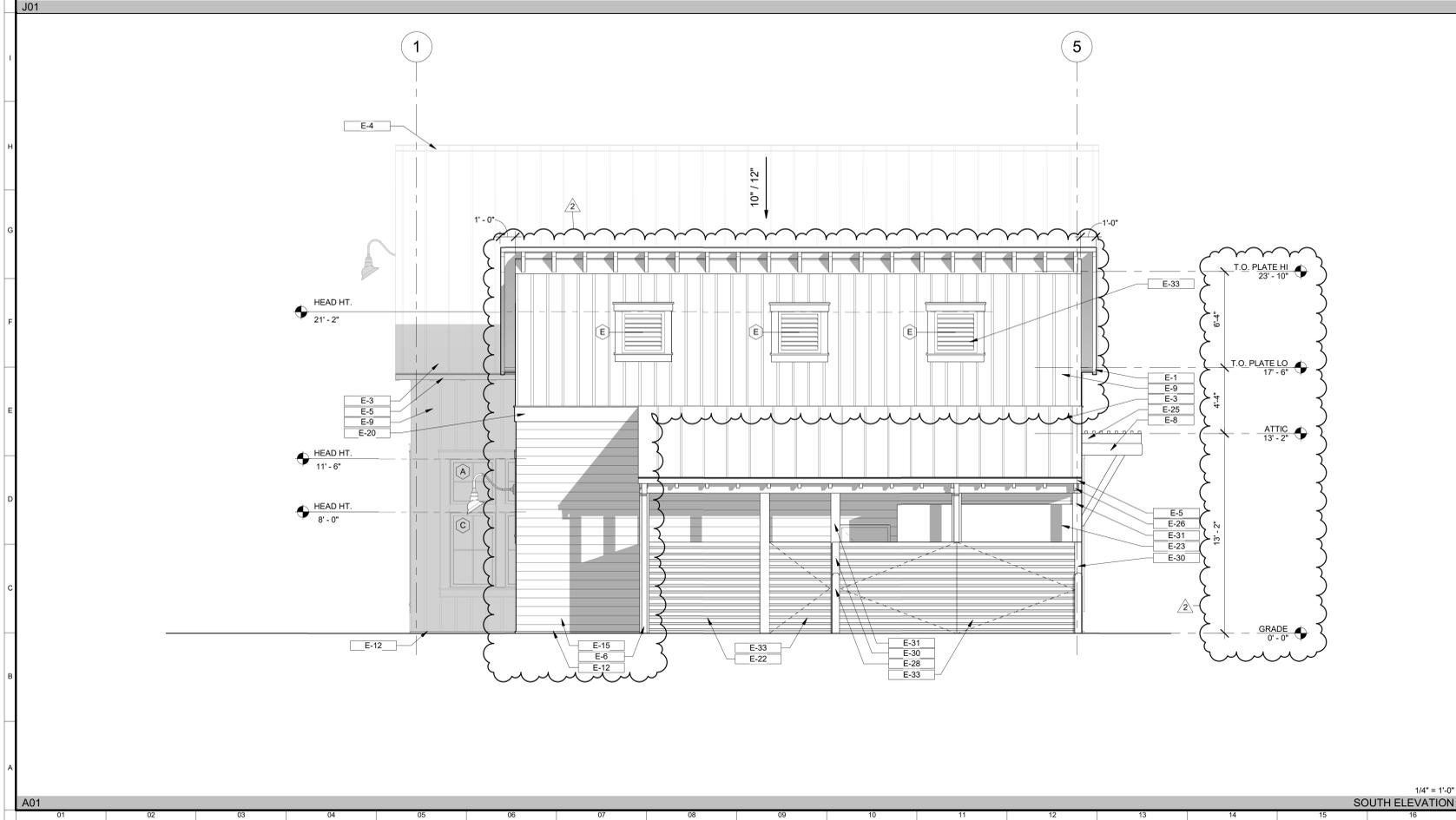
A101




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1/4" = 1'-0"
WEST ELEVATION



1/4" = 1'-0"
SOUTH ELEVATION A17

ELEVATION KEYNOTES	
Key Value	Keynote Text
E-1	EXPOSED P.T. WOOD RAFTERS
E-2	OUTLINE OF ROOF BEYOND
E-3	5V CRIMP ROOF
E-4	5V CRIMP ROOF RIDGE CAP
E-5	GUTTER
E-6	DOWNSPOUT
E-8	WOOD BRACKETS
E-9	12" HARDIE BOARD W/2" VERT P.T. BATTENS
E-10	TPO ROOF
E-11	ALUM. CLAD WINDOWS
E-12	5/4 HARDIEPLANK SKIRT BOARD, SMOOTH 1.5"
E-13	5/4 HARDIEPLANK FASCIA BOARD, SMOOTH 3.5"
E-14	CABLE RAIL
E-15	ARTISAN 7" LAP SIDING
E-16	NICHIHA, ROUGHSAWN, WOOD SERIES, ARCHITECTURAL WALL PANEL, SMOKE FINISH
E-17	ALUMINIUM COPING
E-18	3X10 P.T. WOOD RAFTER TAILS; TAPERED TO EXPOSE 6"
E-19	ALUMINIUM REVEAL
E-20	TRIM DETAIL; 5/4X2 CAP, ON HARDIETRIM BOARD, 5/4 SMOOTH 11.25", CUT TO FIT. SEE DETAIL A08/A001
E-21	JAVA BURRITO LOGO SIGN BY OWNER
E-22	WESTERN RED CEDAR SLAT FENCE
E-23	WALK-IN COOLER
E-24	STREET NUMBERS AT ENTRANCE TO BE VISIBLE FROM R.O.W.
E-25	WOOD TRELLIS. SEE DETAIL J18/A302
E-26	2X12 P.T. WOOD RAFTER TAILS
E-27	FRENCH DOORS
E-28	BOLLARD
E-30	6X6 WOOD POST
E-31	8X8 WOOD POST
E-32	8X8 WOOD POST WRAPPED IN 5/4" SMOOTH COMPOSITE
E-33	WOOD SLAT DOOR W/ STEEL FRAME.

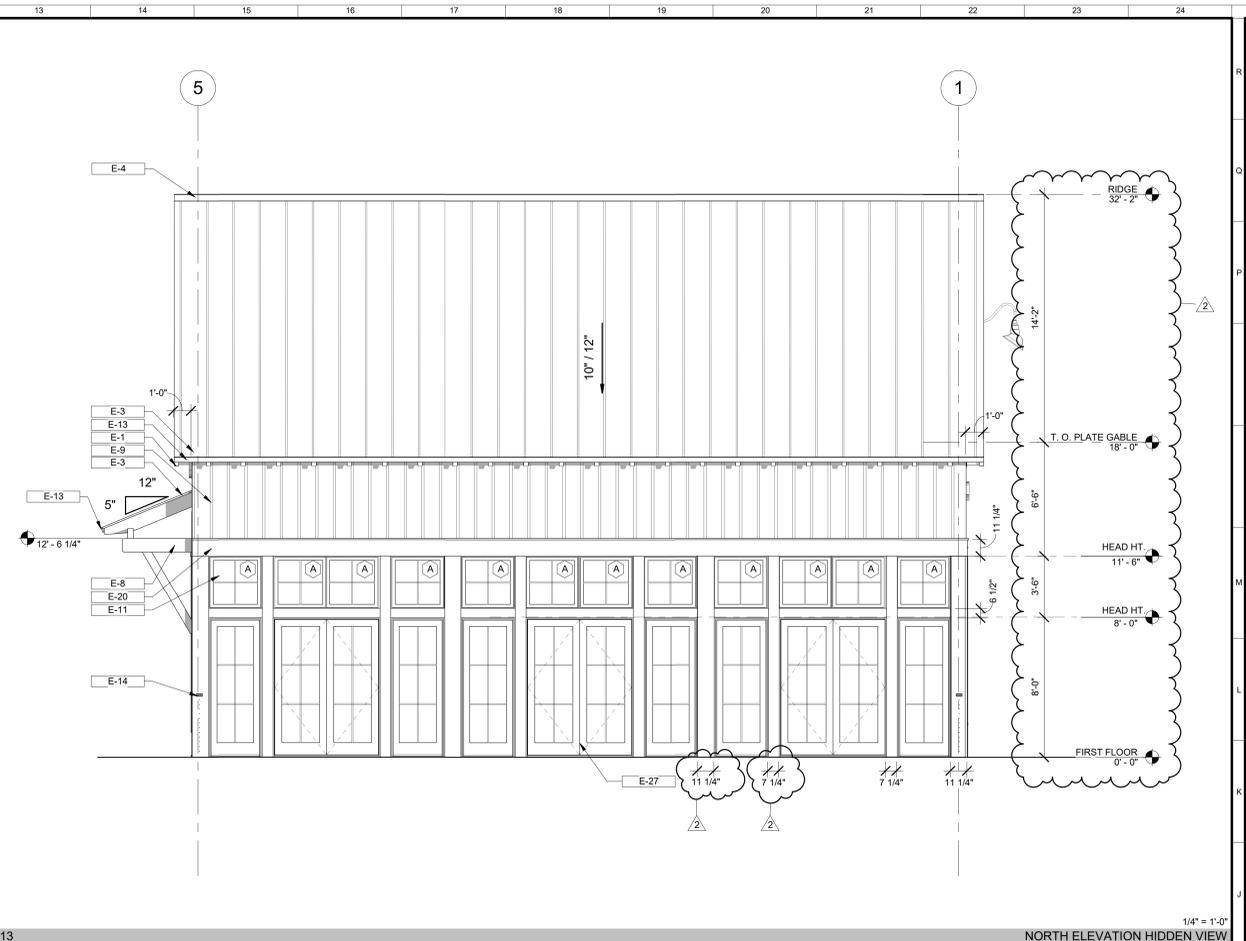
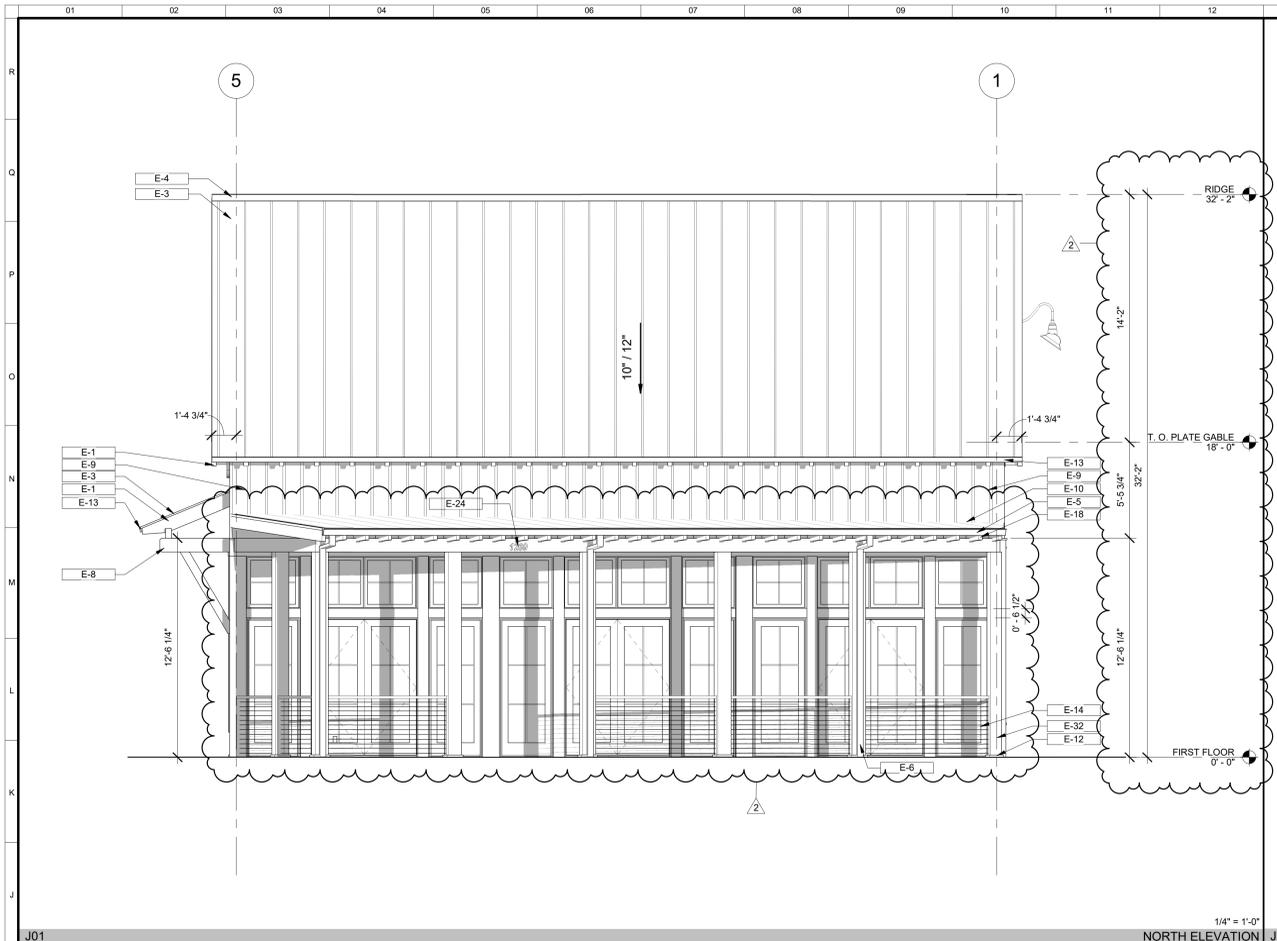
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 Project No: 1901.00
 Drawing No:

Revisions

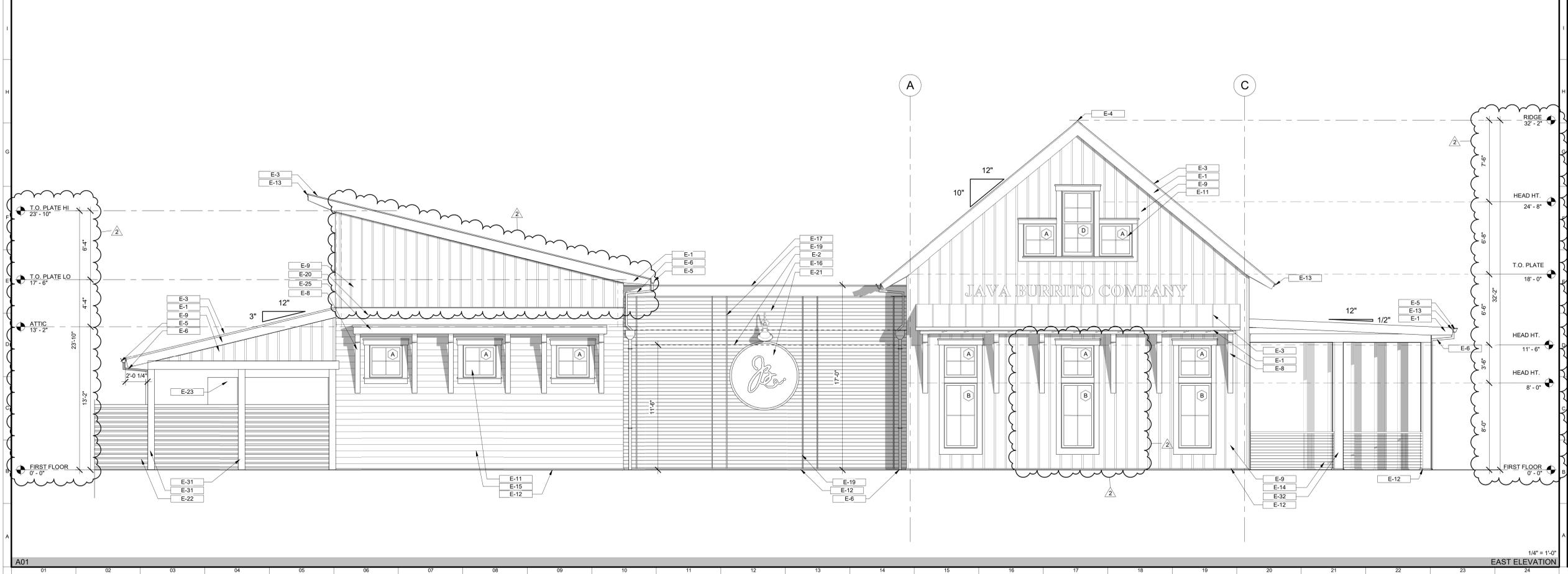
No	Date	Description
2	02/11/20	Revision 2

BUILDING ELEVATIONS

A200



J01 1/4" = 1'-0" NORTH ELEVATION J13 1/4" = 1'-0" NORTH ELEVATION HIDDEN VIEW



A01 1/4" = 1'-0" EAST ELEVATION



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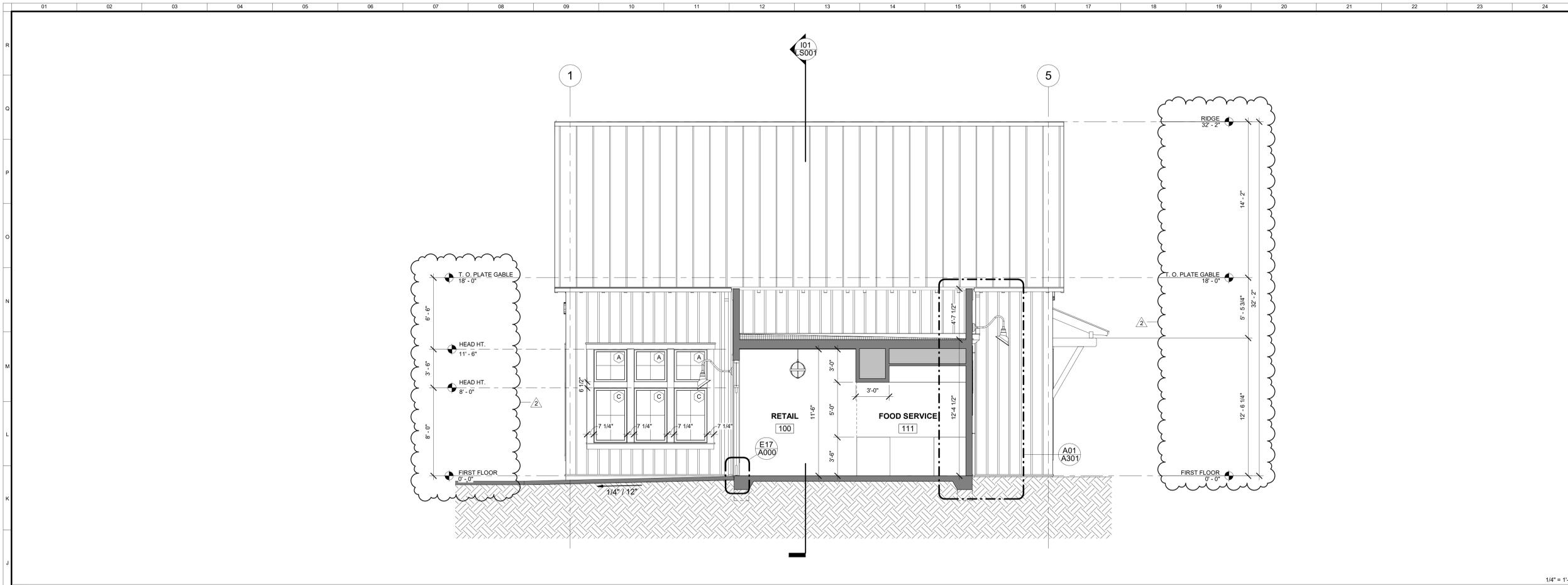
Revisions		
No	Date	Description
2	02/11/20	Revision 2

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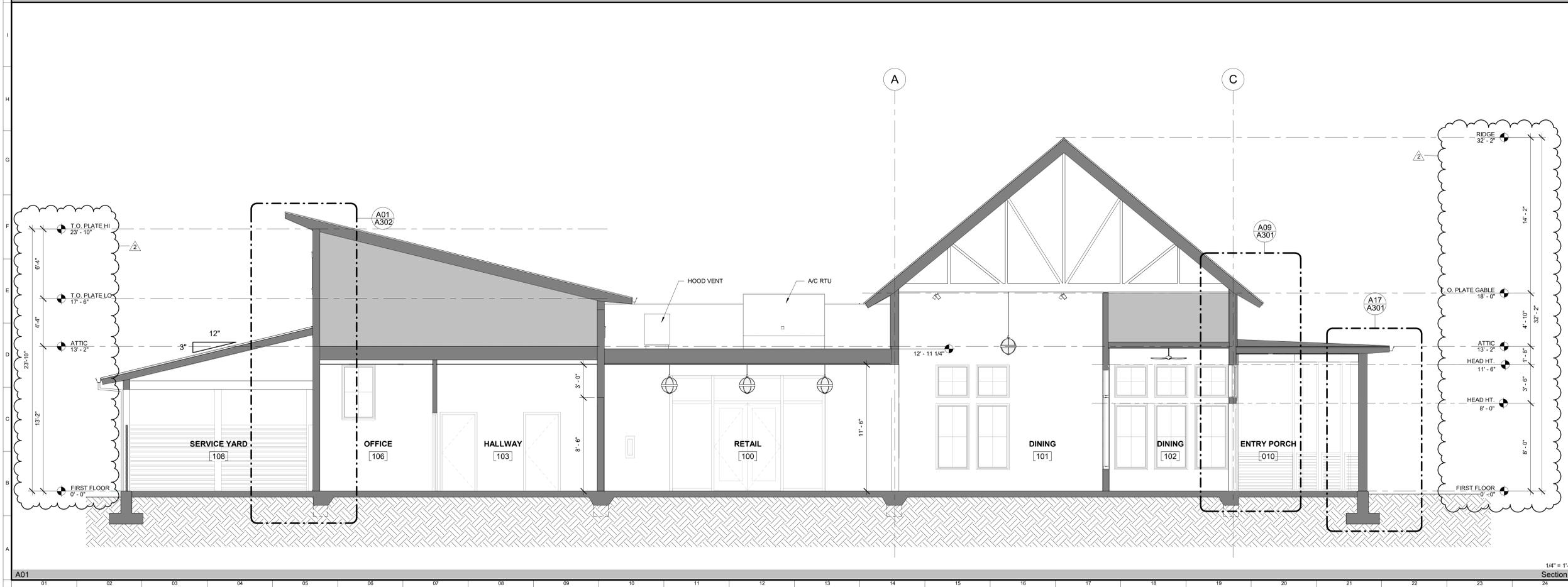
BUILDING ELEVATIONS

Scale: 1/4" = 1'-0"
Date: 02/11/20
Project No: 1901.00
Drawing No:

A201



1/4" = 1'-0"
Section 1



1/4" = 1'-0"
Section 2



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Revisions		
No	Date	Description
2	02/11/20	Revision 2

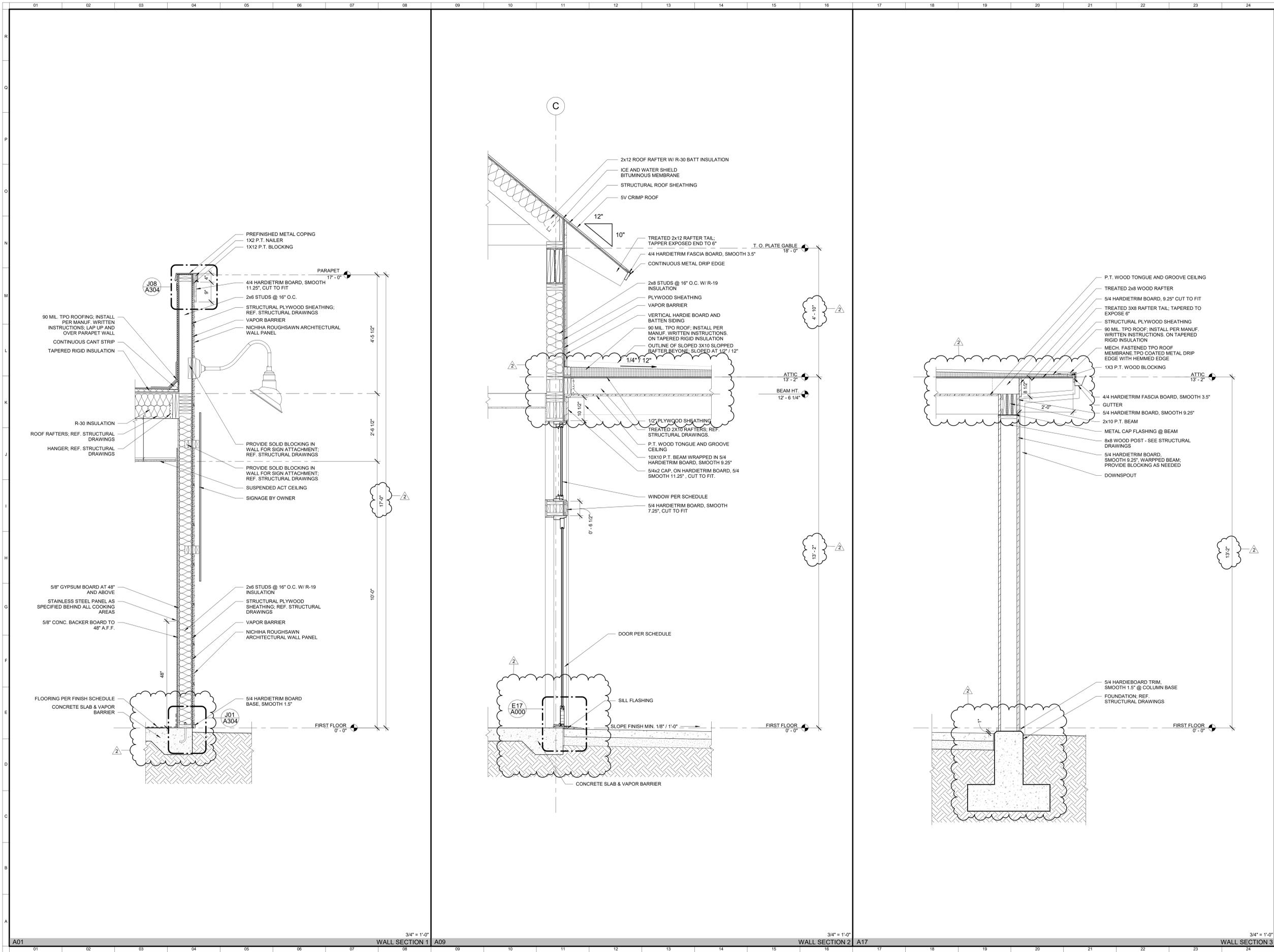
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BUILDING SECTIONS

Scale: 1/4" = 1'-0"
Date: 02/11/20
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A300

2/13/2020 4:40:33 PM



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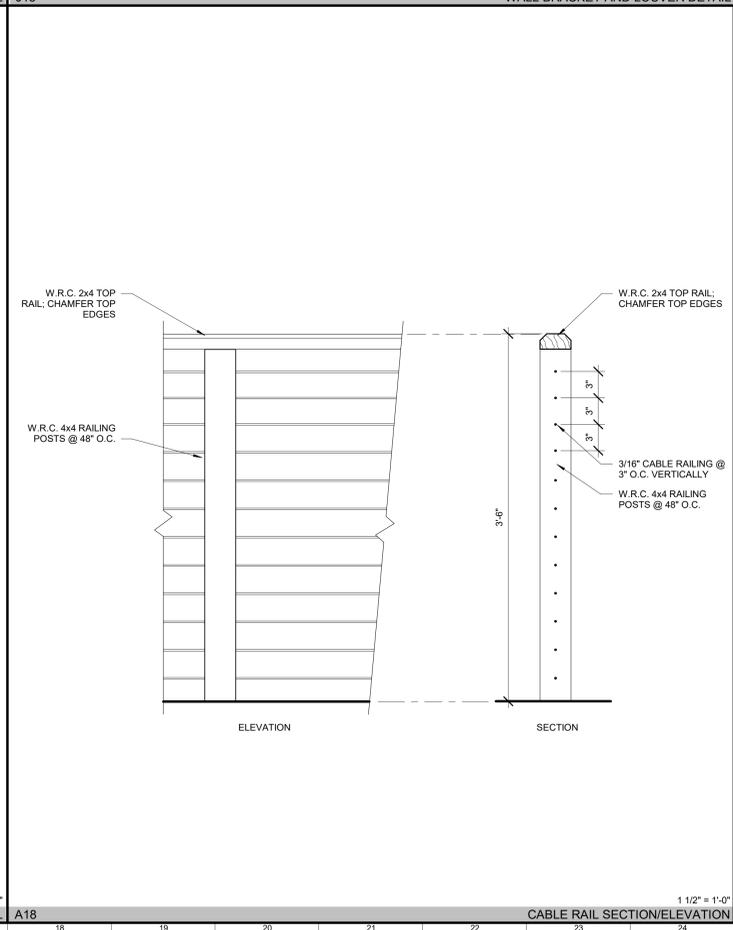
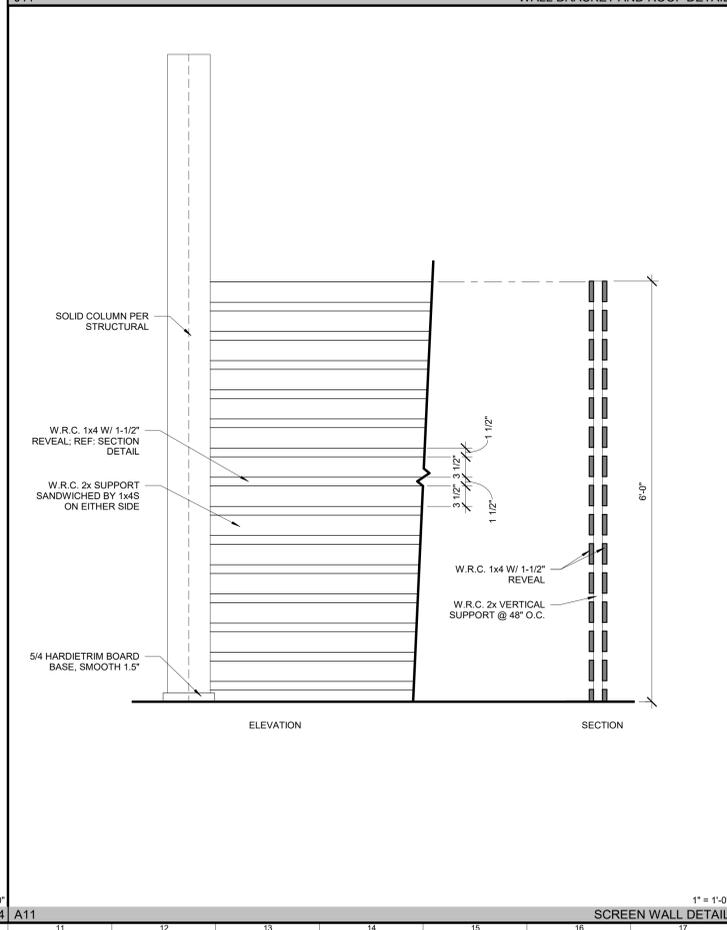
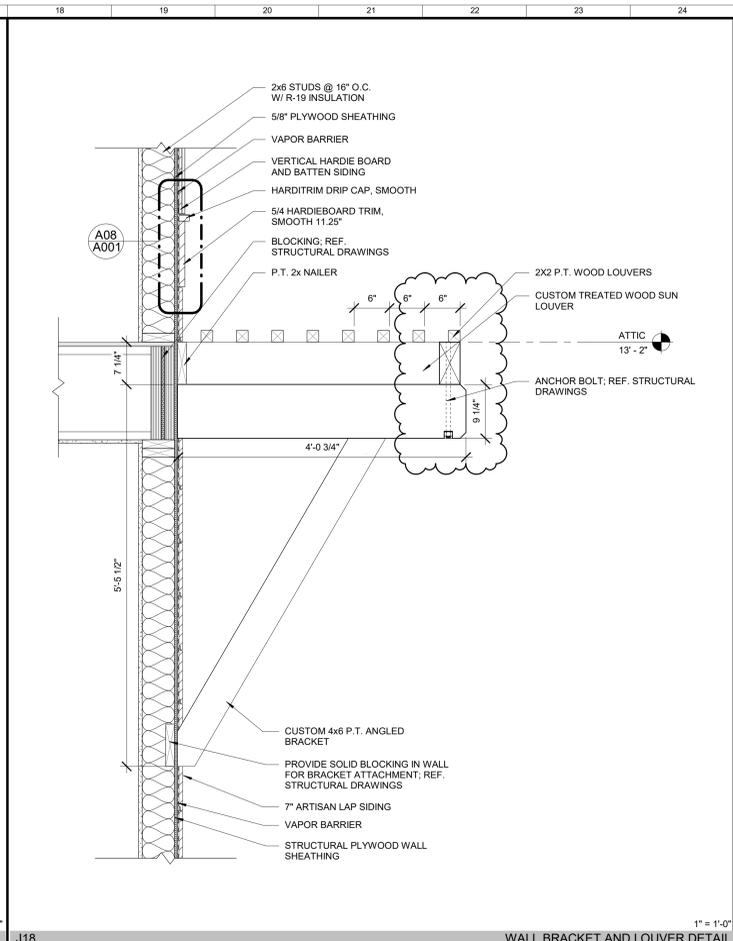
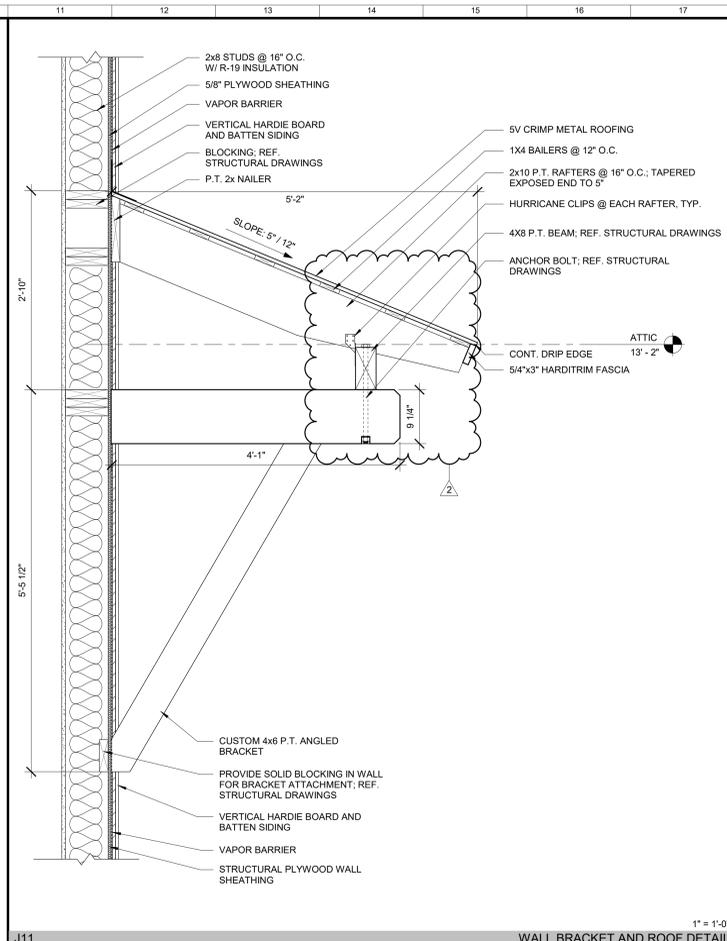
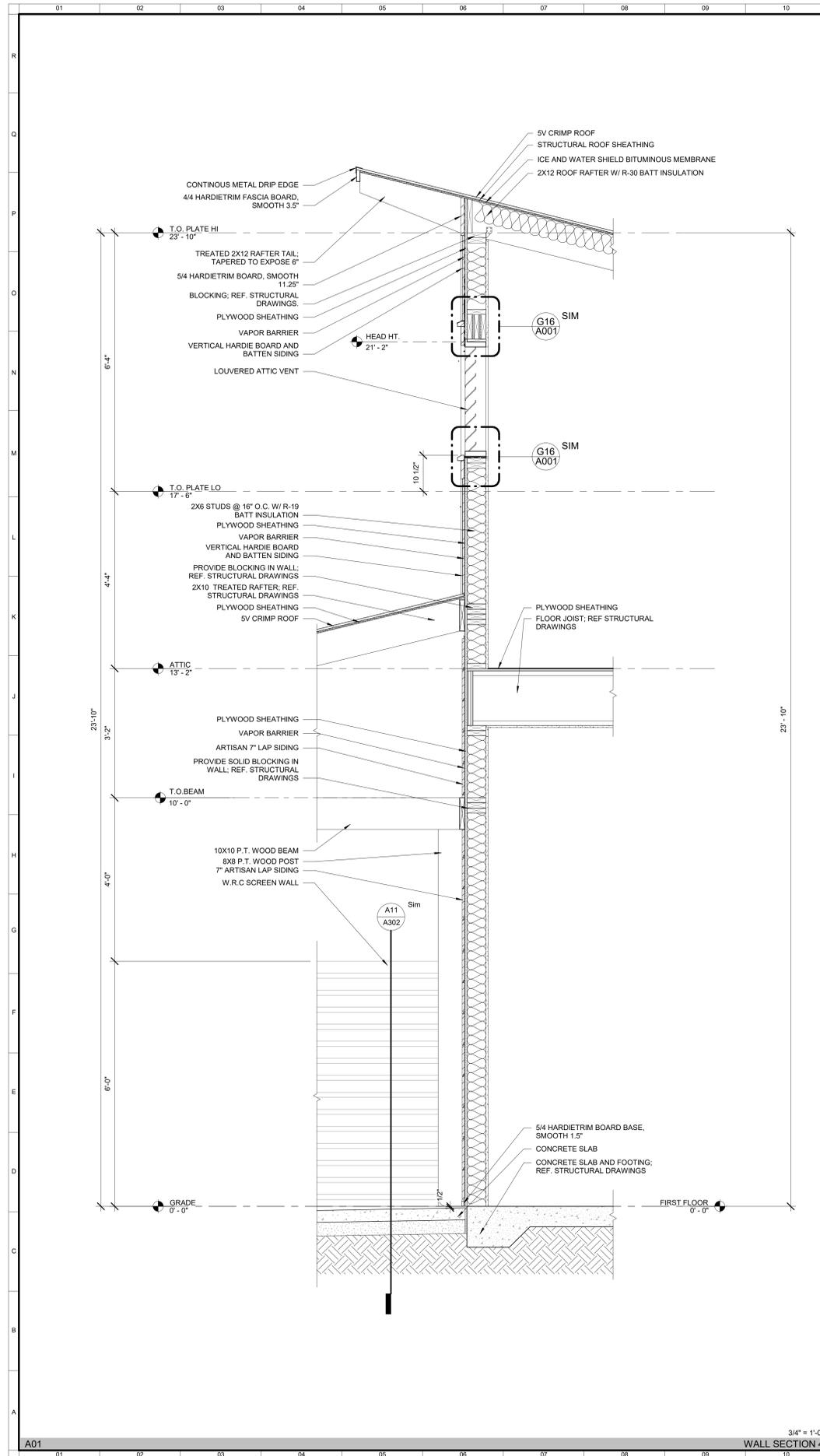
Revisions		
No	Date	Description
2	02/11/20	Revision 2

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WALL SECTIONS

Scale: 3/4" = 1'-0"
Date: 02/11/20
Project No: 1901.00
Drawing No:

A301





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architects

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Savannah, Georgia 31401
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F 912.349.5119
www.lynycharch.com

JAVA BURRITO COMPANY

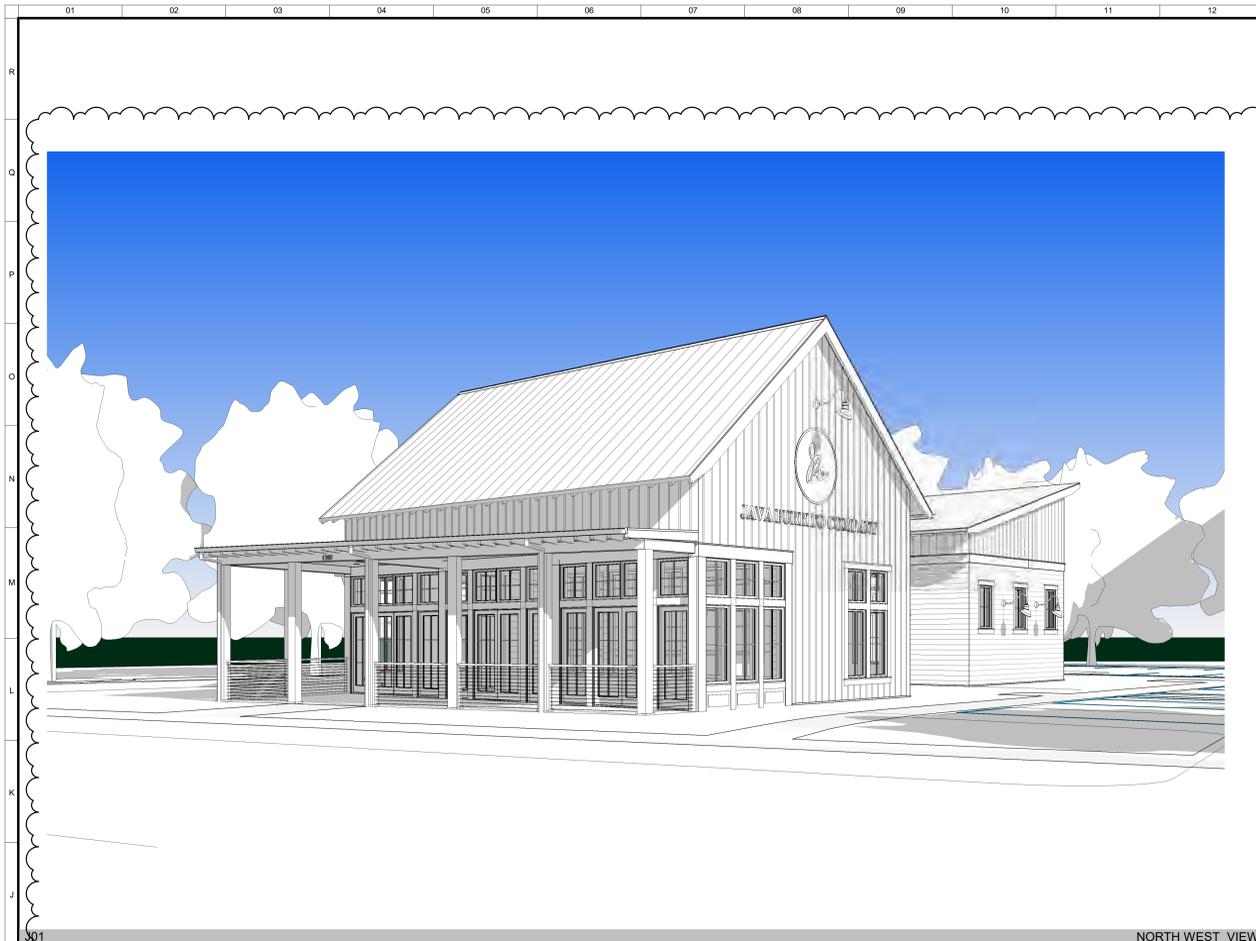
Revisions		
No	Date	Description
2	02/11/20	Revision 2

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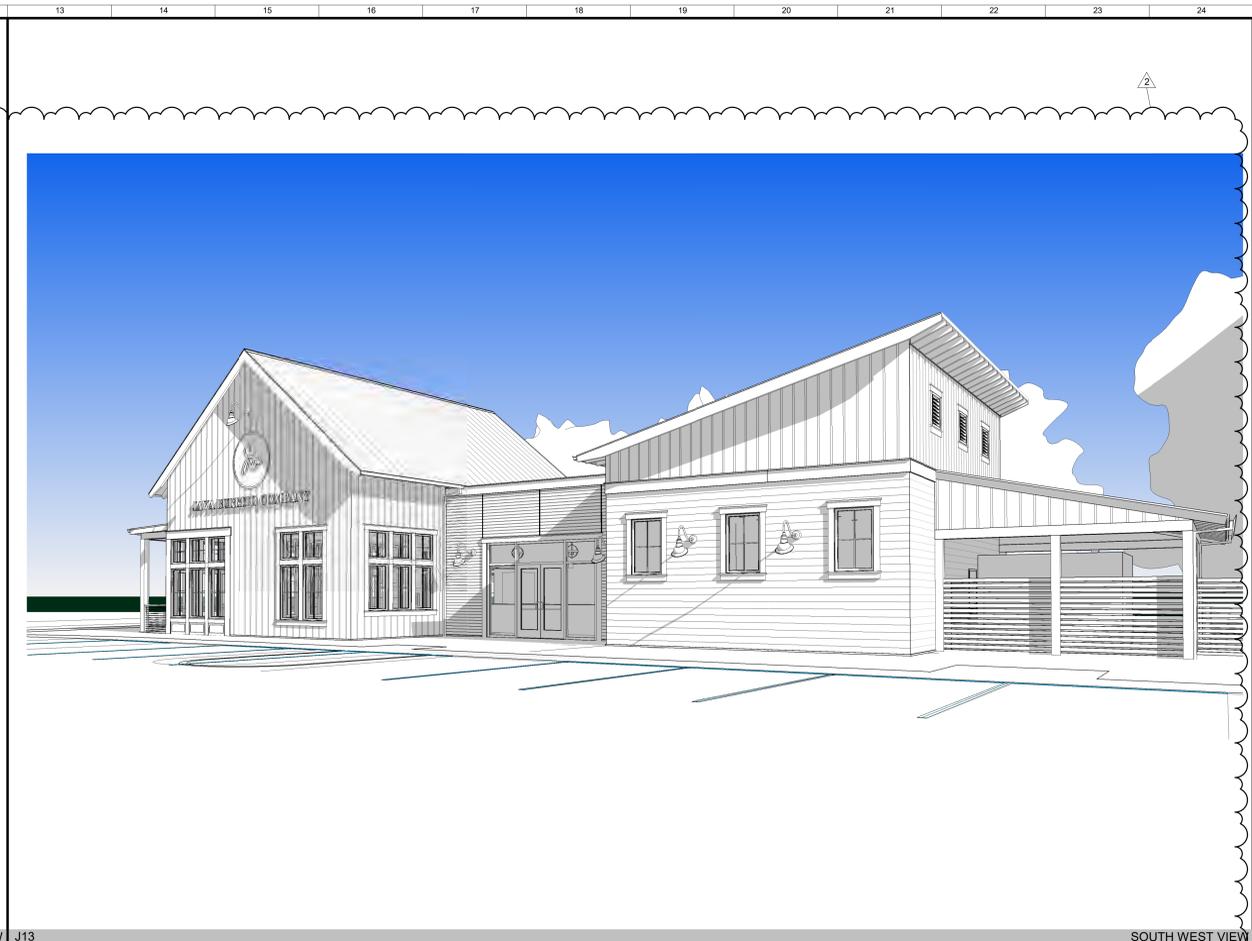
WALL SECTIONS & DETAILS

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Date: 02/11/20
Project No: 1901.00
Drawing No:

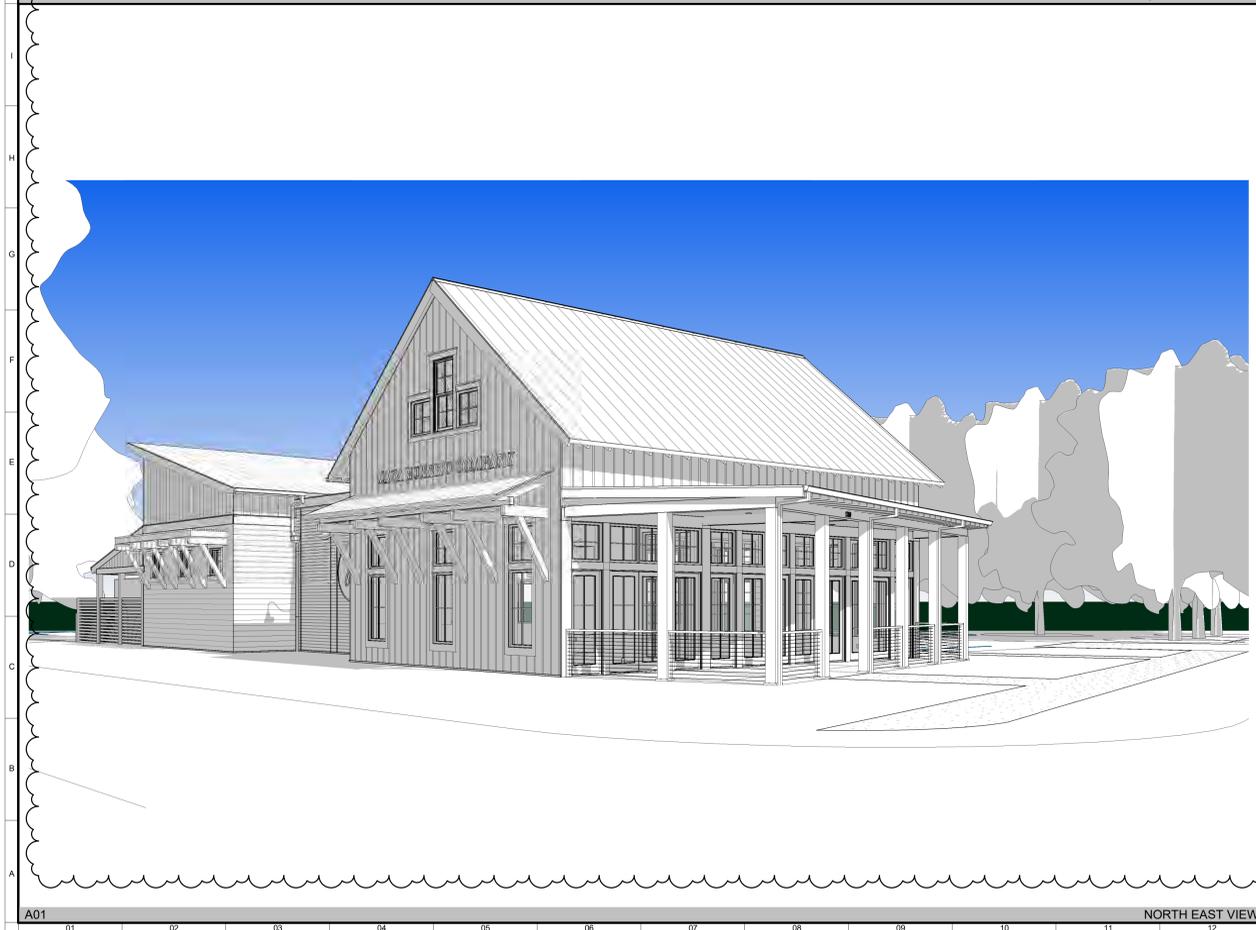
A302



NORTH WEST VIEW



SOUTH WEST VIEW



NORTH EAST VIEW



SOUTH EAST VIEW



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Revisions

No	Date	Description	Revision
1	10/09/19		Revision 1
2	02/11/20		Revision 2

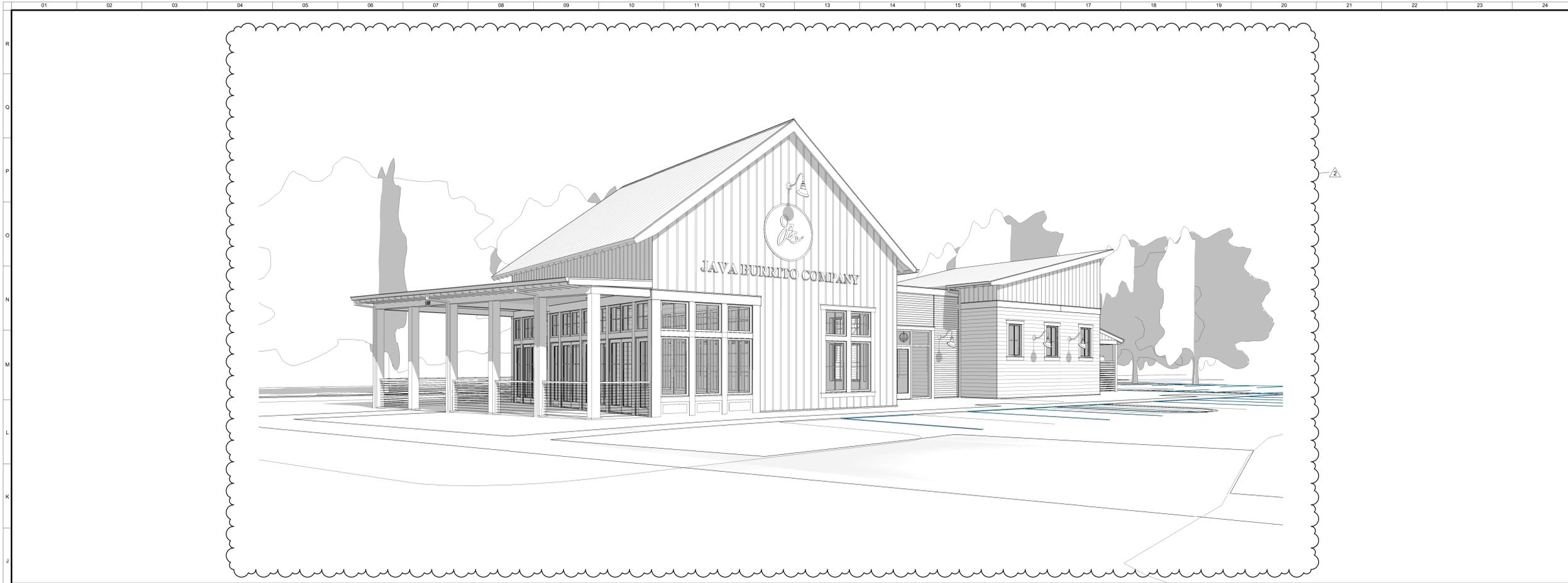
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3D VIEWS

Scale: _____
Date: 02/11/20
Project No: 1901.00
Drawing No: _____

A706

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PROPOSED MAY RIVER EAST VIEW



EXISTING MAY RIVER EAST VIEW



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Revisions		
No	Date	Description
2	02/11/20	Revision 2

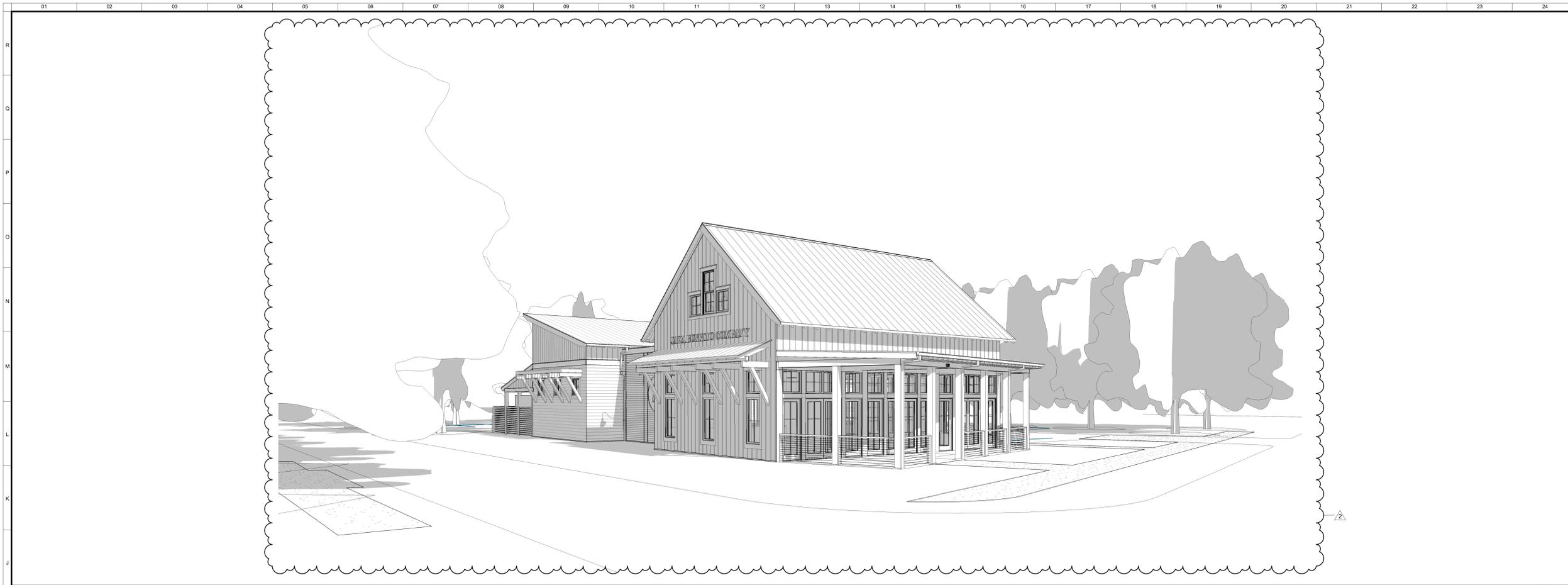
Note: This drawing is the property of LYNCH associates architects, P.C. and is not to be reproduced or copied in part or whole or be used on any other project without prior written consent by L.A.Z. Drawings shall be returned upon request.

APPROACH VIEWS

Scale: 12" = 1'-0"
Date: 02/11/20
Project No: 1901.00
Drawing No:

A707

2/13/2020 4:40:48 PM

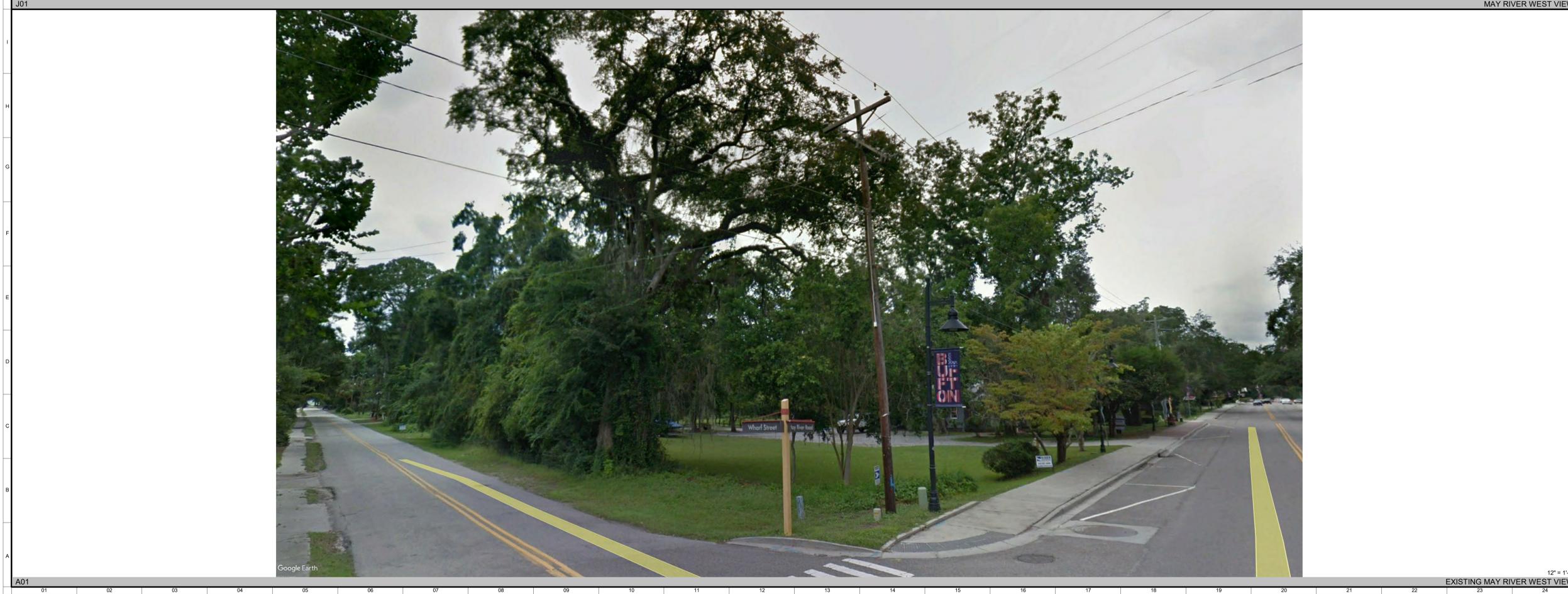


la₂

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Revisions

No	Date	Description
2	02/11/20	Revision 2

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APPROACH VIEWS

Scale 1/2" = 1'-0"
Date 02/11/20
Project No. 1901.00
Drawing No.

A708

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HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	March 4, 2020
PROJECT:	36 Tabby Shell Road, Lot 19 – New Construction
APPLICANT:	James Guscio
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, James Guscio, on behalf of the owner, Riverside Retreats, LLC, requests that the Historic Preservation Commission approve the following application:

1. **COFA-01-20-013886.** A Certificate of Appropriateness to allow for the construction of a new 2-story single-family residential structure of approximately 2,243 SF located at 36 Tabby Shell Road (Lot 19) in the Tabby Roads development in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a single-family residence located in the Tabby Roads development in the Old Town Bluffton Historic District. The proposed building, of approximately 2,243 SF meets the spatial and placement requirements of the Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district.

The structure features a side-facing gable with a shed dormer on the front. It has a full-length front porch under a shed roof and a rear-facing gabled addition to the rear. The proposed building reflects the vernacular characteristics of Bluffton by integrating a variety of typical architectural forms and features such front and rear porches, multiple roof types, a pier foundation with horizontal pig-board underpinning. Additional materials that are in keeping with the vernacular of Bluffton are the use of corner boards, columns with capitals and bases, and a combination 5V crimp metal roofing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the January 3, 2020 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a residential structure within the Tabby Roads development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed structure adds to the district as

well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of the Additional Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C.

As the project is located within the Tabby Roads development, the site is required to meet the front, rear, and side setbacks prescribed by the Tabby Roads development plan. The proposed site plan meets these established criteria.

- b. *Finding.* Town Staff finds that if the condition noted below is met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) Section 5.3.3.G. Maximum Replacement of Removed Trees. The amount of trees required to be planted on-site in order to meet replacement of removed trees requirements shall be limited to the number of trees necessary to provide 75 percent lot coverage with tree canopy measured as the mature canopy, not including rooftops. Additional information must be provided on the landscape plan showing the canopy will be met through rooftops, existing trees to remain and newly planted trees.
- 2) Section 5.3.7.A.1. All roadways on which development is proposed shall include large canopy street trees that are planted no greater than 50 feet apart. Additional trees must be planted, or existing trees shown, on the landscape plan to meet this standard.

3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter of approval has not yet been submitted by the Tabby Roads Habitat and Architectural Review Board. A letter must be provided to Town Staff stating that the HARB is satisfied before the Certificate of Appropriateness is issued.

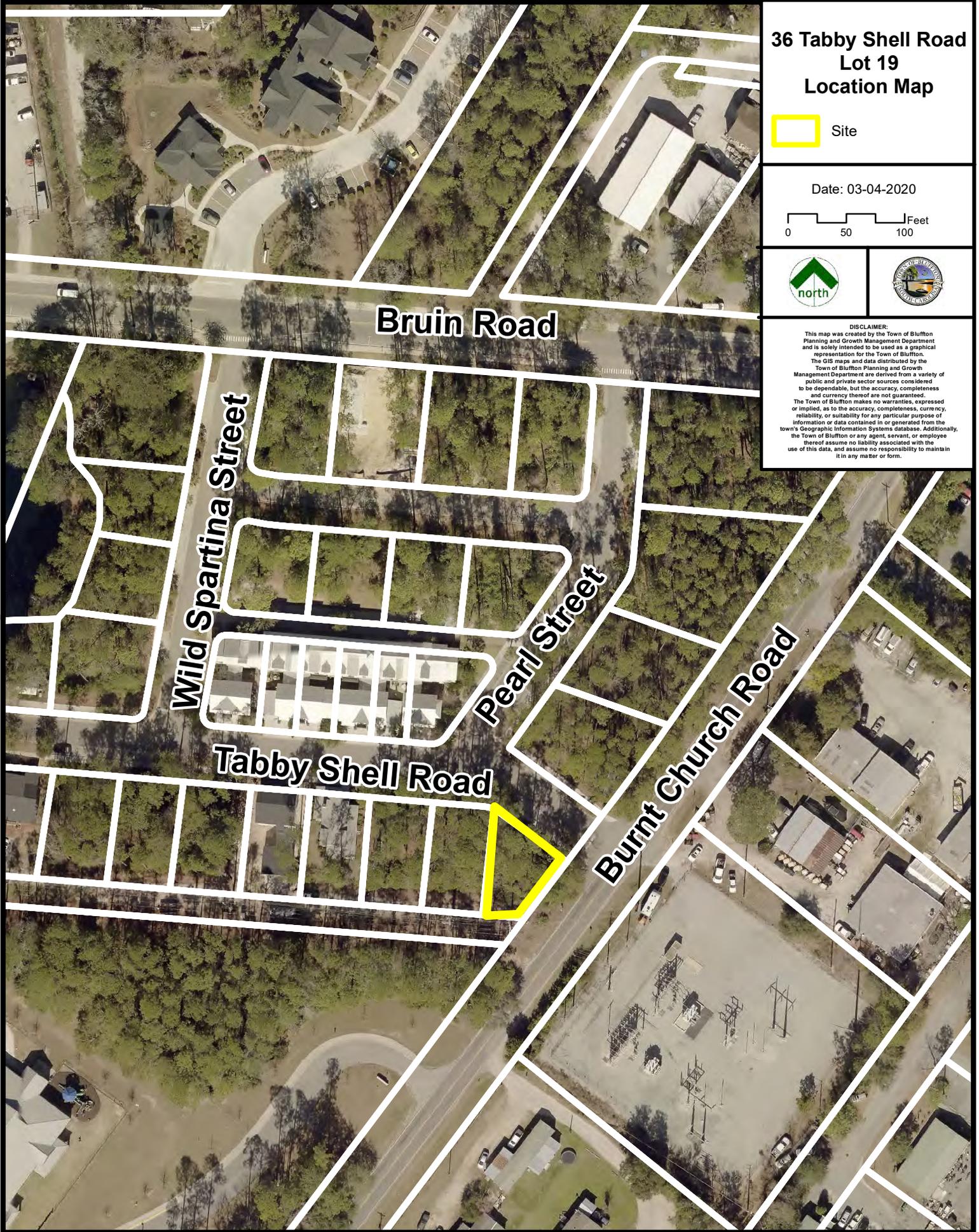
Additionally, as there are trees present that require removal for the proposed site layout, a Town of Bluffton tree removal permit is required for any tree 14" (DBH) or greater or any American holly, dogwood, redbud, southern magnolia or red buckeye 4 inches in DBH or greater located on a single-family lot.

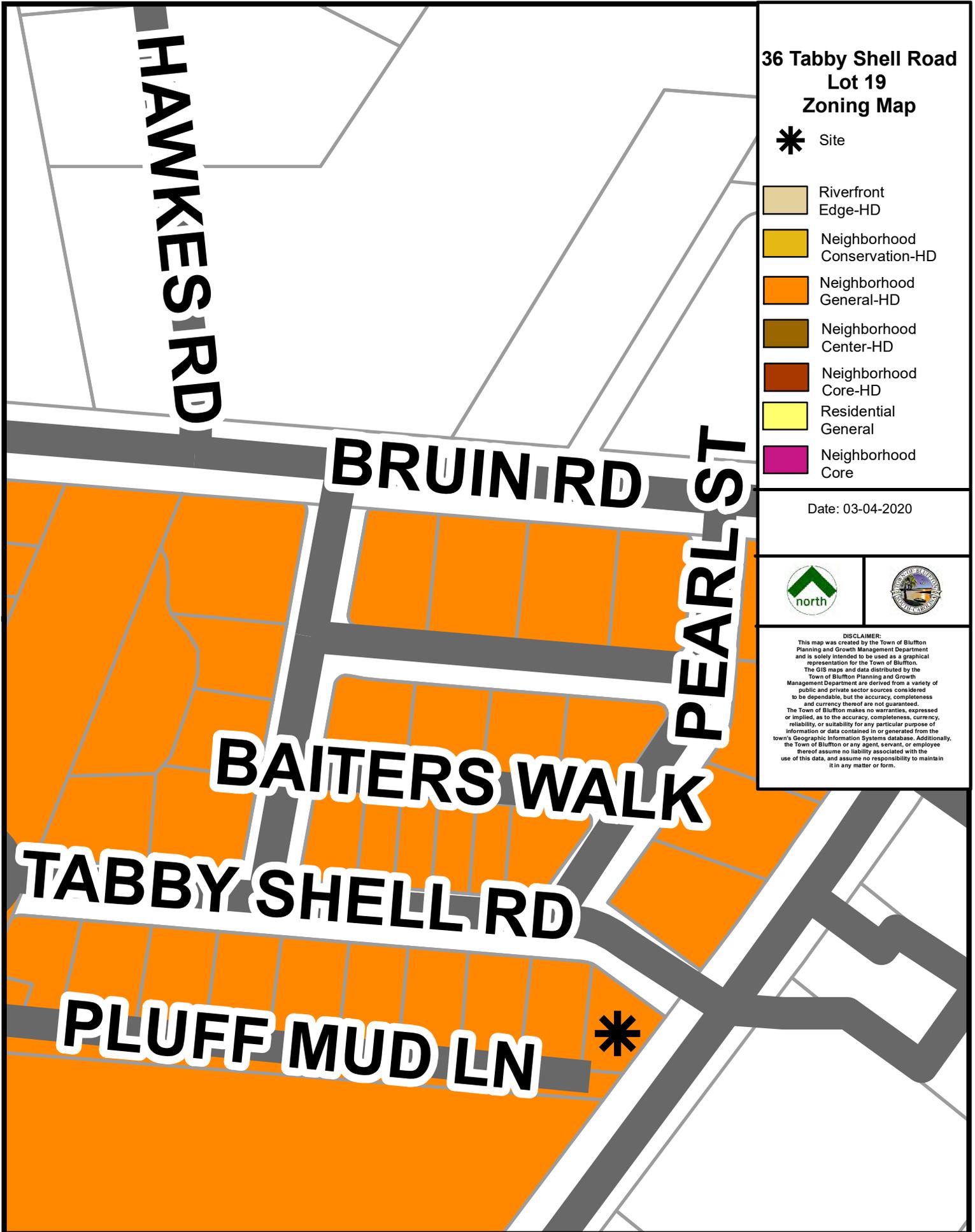
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

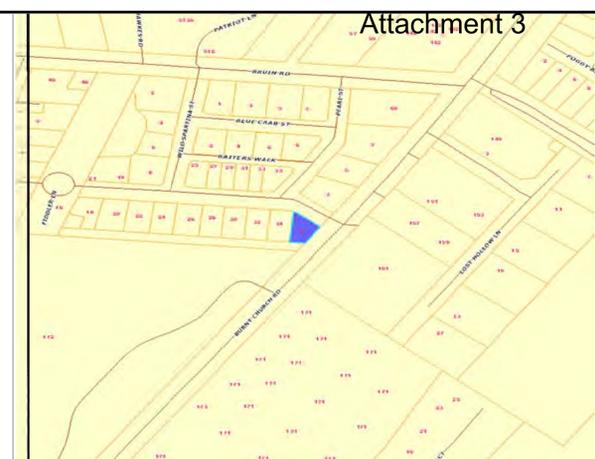
1. Per the Applications manual, a letter from the Tabby Roads HARB shall be provided to Town Staff stating that the plans have been reviewed and approved.
2. Per UDO Section 5.3.3.G. of the UDO, additional information must be provided on the canopy coverage for the lot to ensure it meets 75% canopy coverage.
3. Per UDO Section 5.3.7.A.1. additional trees must be planted, or existing trees shown, on the landscape plan to ensure street trees are planted no further than 50 feet apart.
4. Per Section 3.22.2. of the UDO, A Town of Bluffton Tree Removal Permit must be submitted and approved for the removal of any tree 14" (DBH) or greater located on a single-family lot.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



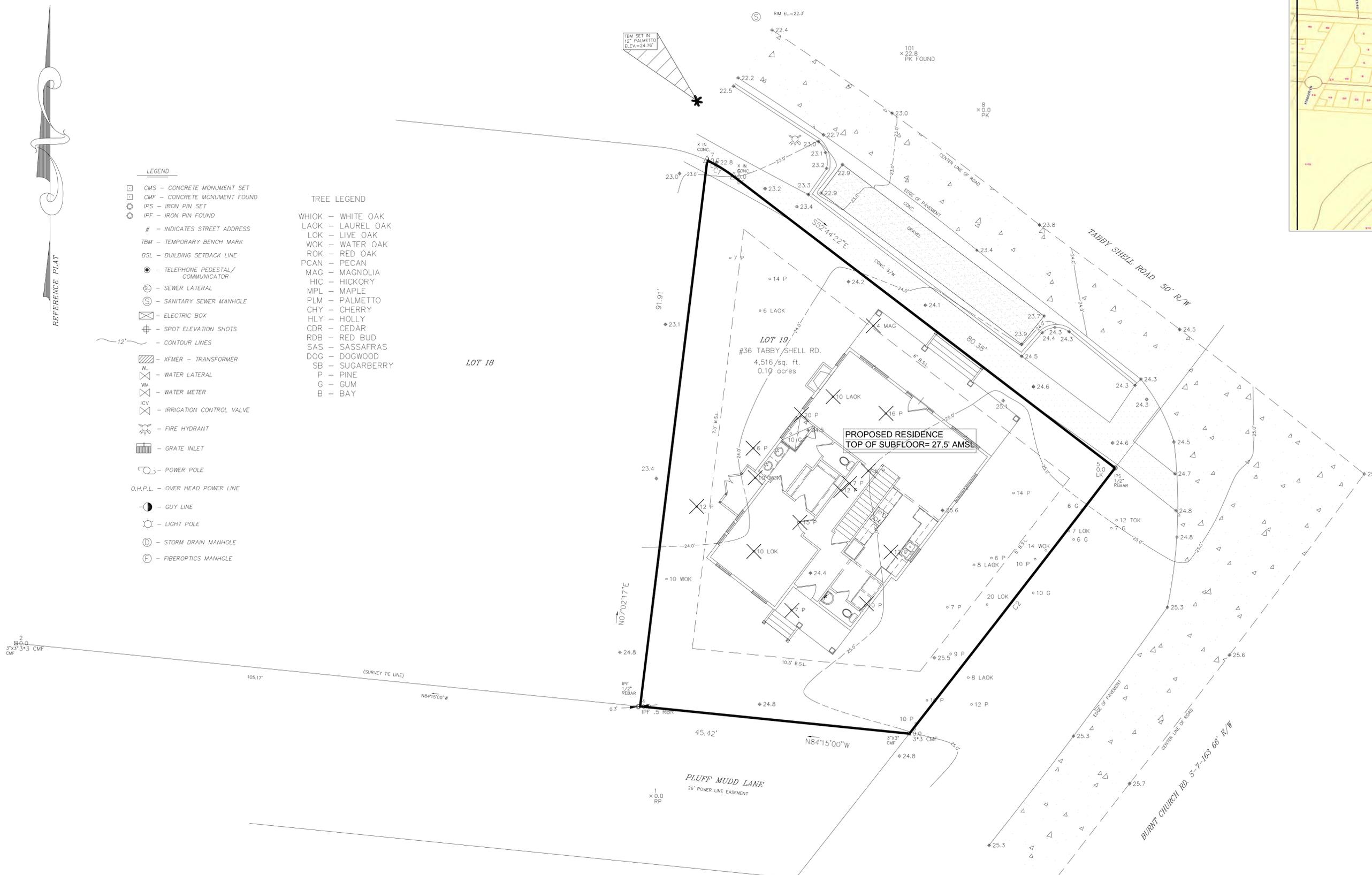




LOCATION MAP NOT TO SCALE

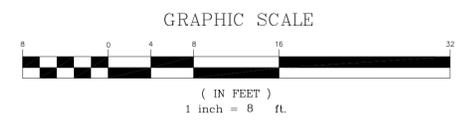
- REFERENCE PLAT
- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - - TELEPHONE PEDESTAL / COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊠ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - 12' - CONTOUR LINES
 - ⊞ - XFMR - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - CV - IRRIGATION CONTROL VALVE
 - ⊕ - FIRE HYDRANT
 - ⊠ - GRATE INLET
 - ⊕ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - GUY LINE
 - ⊕ - LIGHT POLE
 - ⊙ - STORM DRAIN MANHOLE
 - ⊕ - FIBEROPTICS MANHOLE

- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - SAS - SASSAFRAS
 - DOS - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	5.26	25.00	5.25	N58°45'53"W	12°03'01"
C2	56.24	5891.60	56.24	N37°53'03"E	0°32'49"



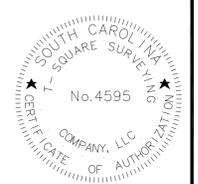
T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@hargray.com
Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
KINGFISHER CC
A TREE & TOPOGRAPHIC SURVEY OF LOT 19 TABBY SHELL ROAD,
A PORTION OF REEVES BROTHERS SUBDIVISION,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCEL 1199

NOTES:

1. According To FEMA Flood Insurance Rate Map # 450025 0115 D This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A Ft. NGVD29
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

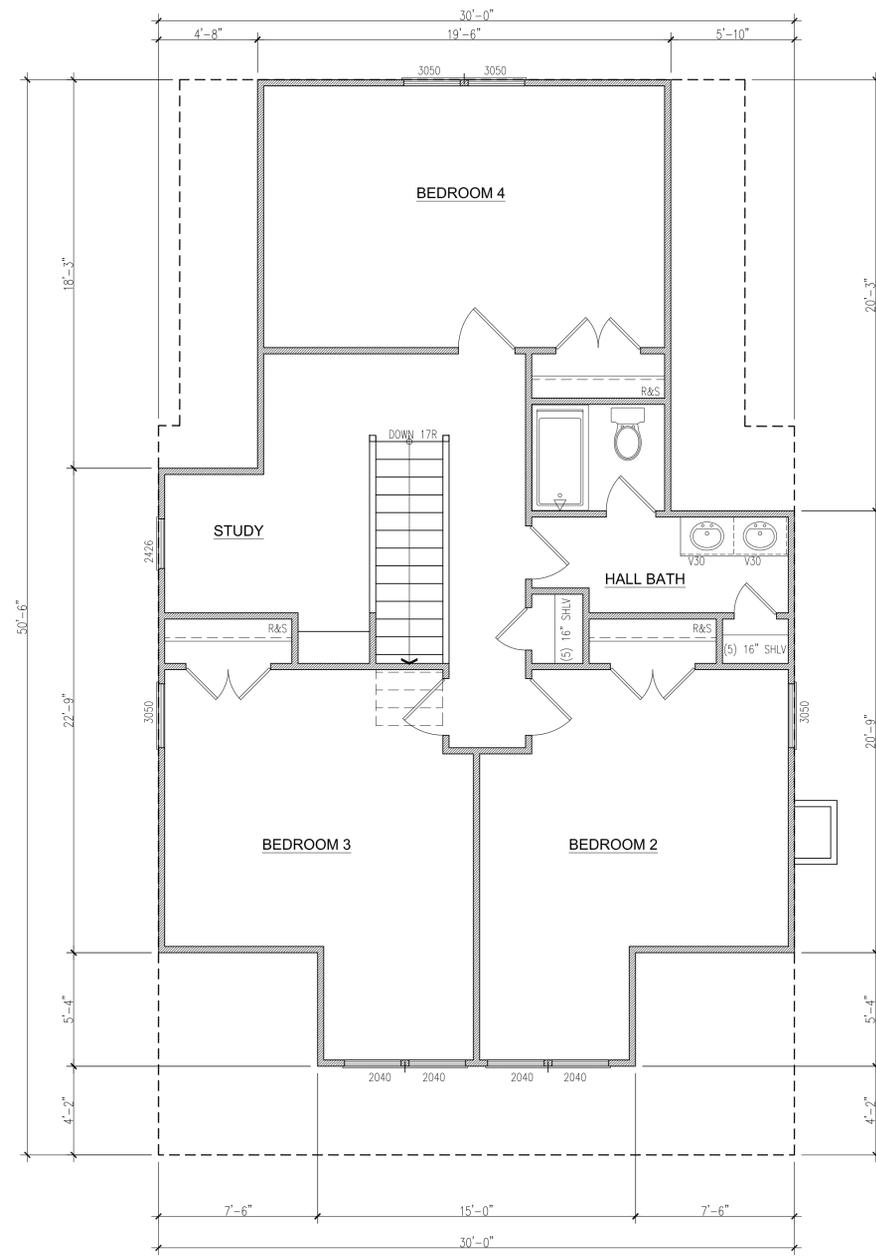
Reference Plat(s):
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S.

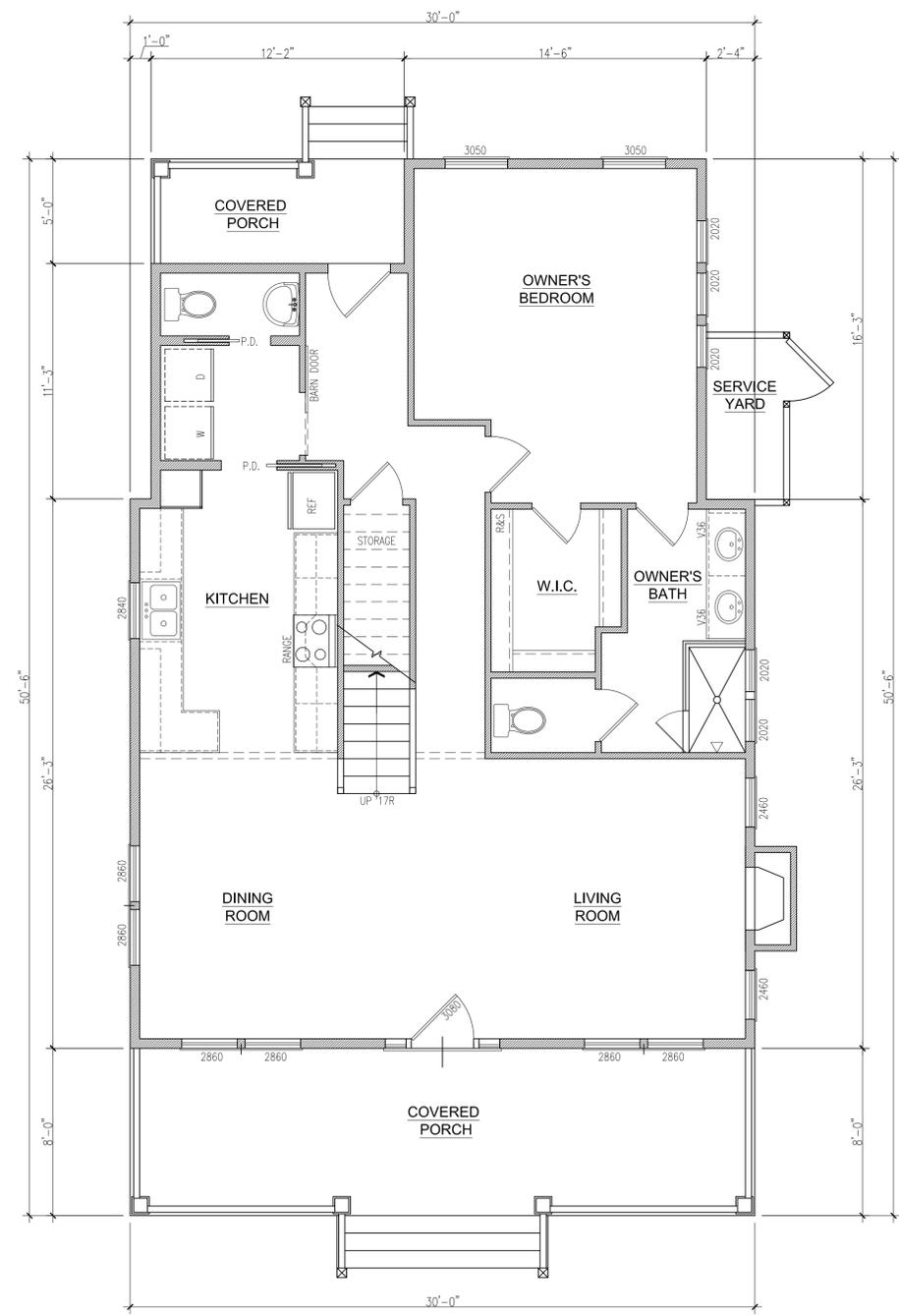
APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: JULY 24, 2019



SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

SQUARE FOOTAGE	
1st FLOOR =	1160 SF
2nd FLOOR =	1107 SF
TOTAL HEATED =	2267 SF
FRONT PORCH =	240 SF
REAR PORCH =	61 SF
TOTAL UNDER ROOF =	2568 SF

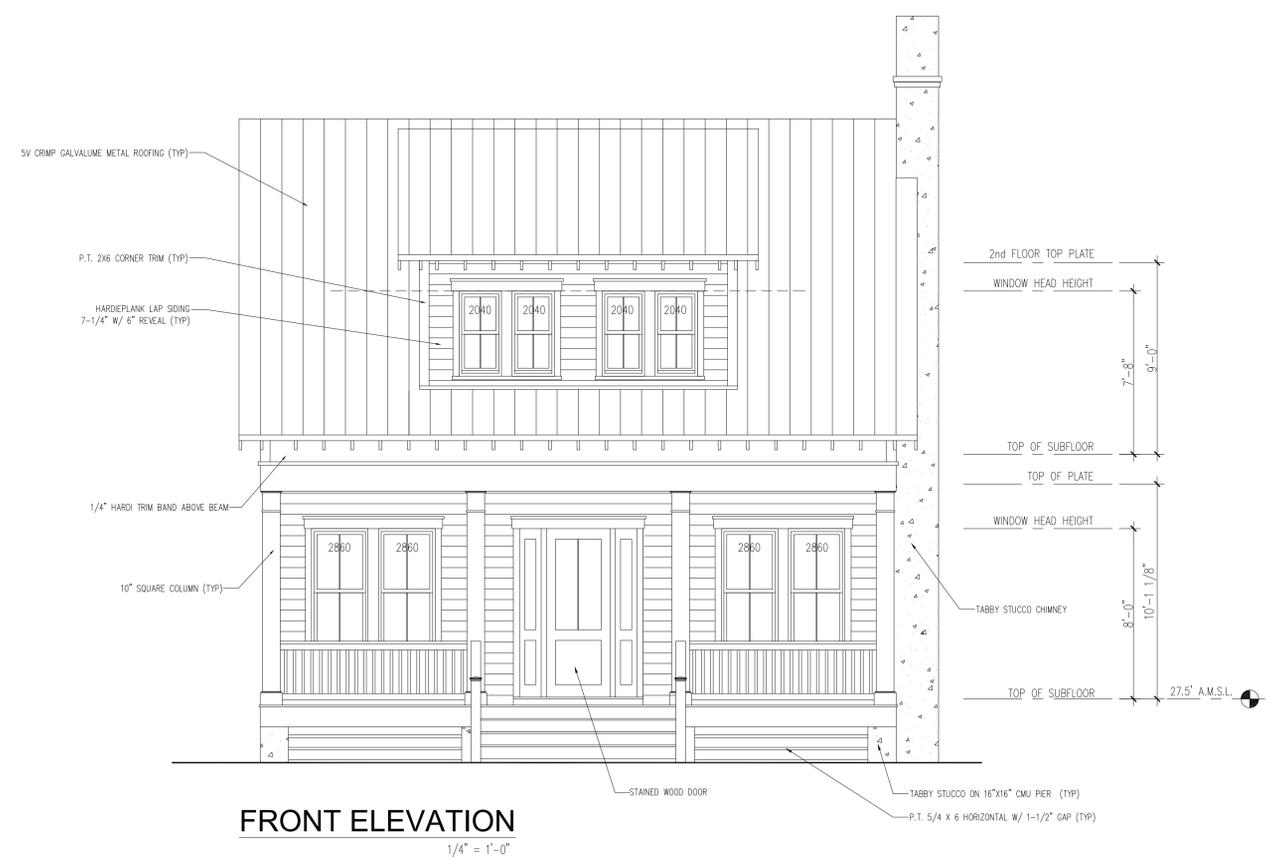
FIRST FLOOR PLAN
SECOND FLOOR PLAN

New Construction
36 Tabby Shell Road - Lot 19
Tabby Roads Subdivision, Bluffton Township
Beaufort County, South Carolina

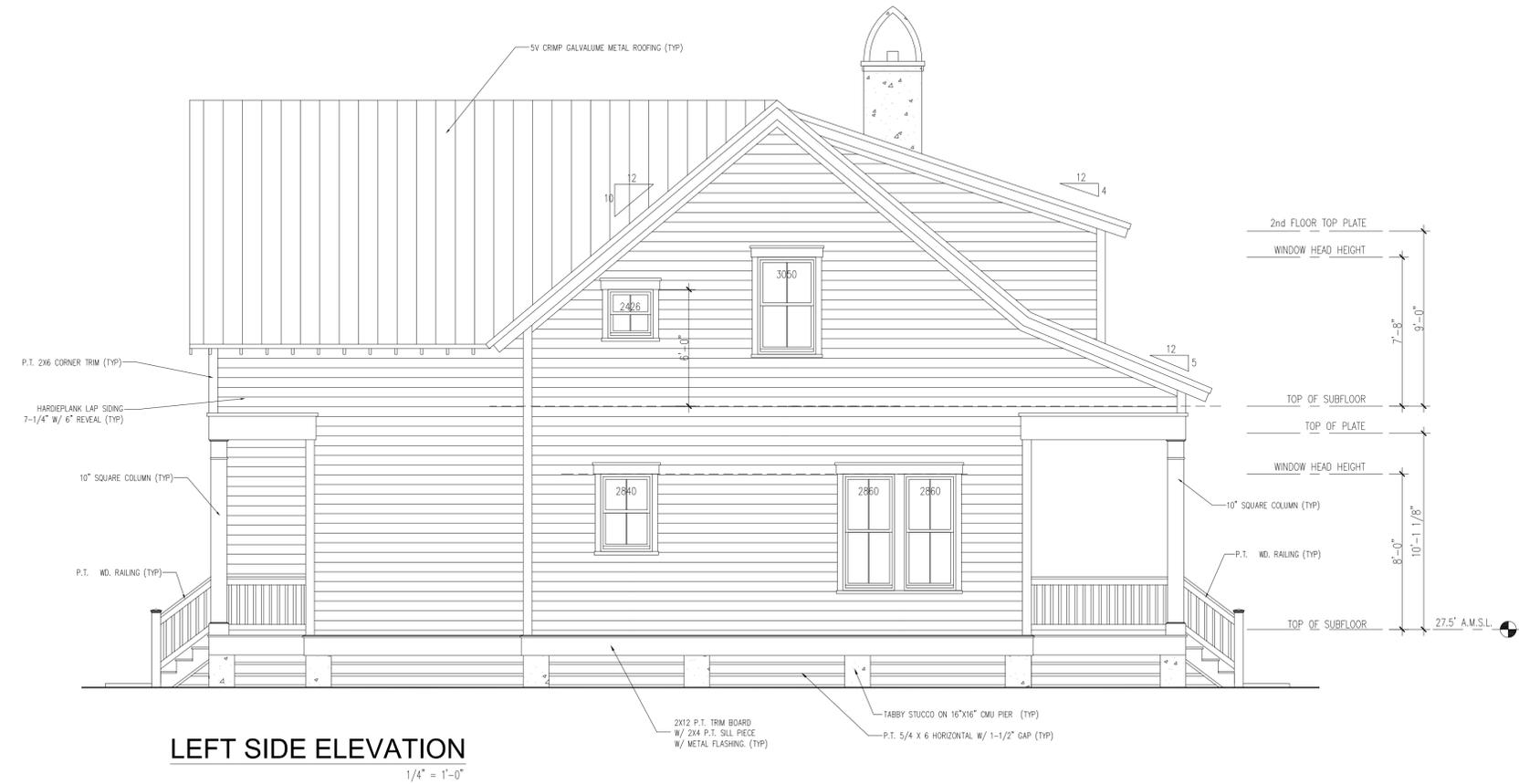
REVISION	DATE

SHEET #
A2
FILE # JG TS19-01.DWG
DATE 01.17.20

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK, AND COORDINATE ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES, INJURIES, DEATHS, LEGAL FEES OR LAWSUITS OF ANY KIND THAT MAY ARISE OR RESULT FROM THE EXECUTION OF THE DESIGN OR PERFORMANCE OF THE WORK BY THE CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONDITIONS PRESENT IN THESE DRAWINGS WITH ALL GOVERNING BUILDING CONSTRUCTION CODES PERTAINING TO THE EXECUTION OF THE DESIGN.



FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

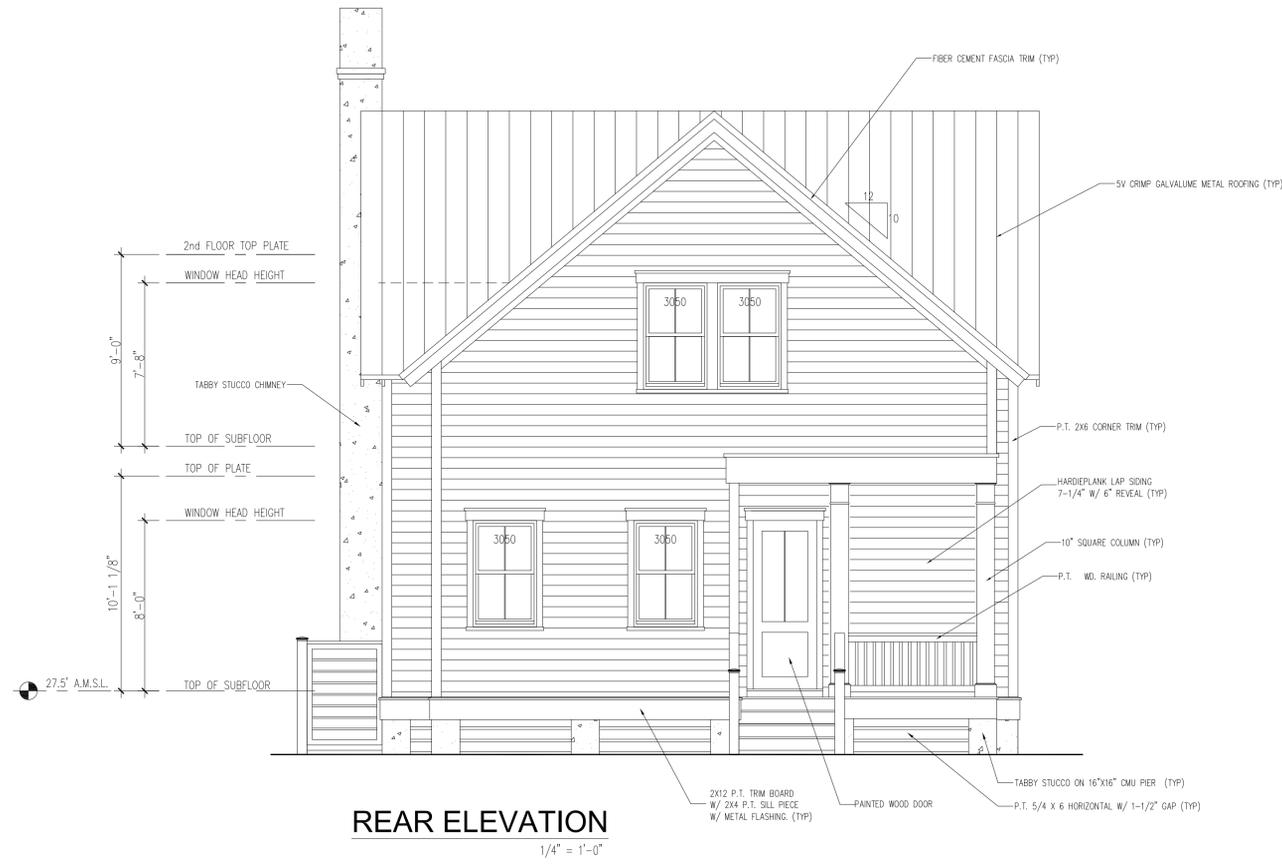
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FRONT ELEVATION
LEFT SIDE ELEVATION

New Construction
36 Tabby Shell Road - Lot 19
Tabby Roads Subdivision, Bluffton Township
Beaufort County, South Carolina

REVISION	DATE

SHEET #
A4
FILE # JG TS19-01.DWG
DATE 01.17.20



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK, AND COORDINATE ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES, INJURIES, DEATHS, LEGAL FEES OR LAWSUITS OF ANY KIND THAT MAY ARISE OR RESULT FROM THE EXECUTION OF THE DESIGN OR PERFORMANCE OF THE WORK BY THE CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONDITIONS PRESENT IN THESE DRAWINGS WITH ALL GOVERNING BUILDING CONSTRUCTION CODES PERTAINING TO THE EXECUTION OF THE DESIGN.

REAR ELEVATION
RIGHT SIDE ELEVATION

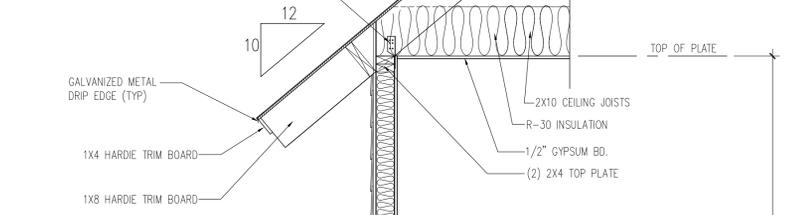
New Construction
36 Tabby Shell Road - Lot 19
Tabby Roads Subdivision, Bluffton Township
Beaufort County, South Carolina

REVISION	DATE

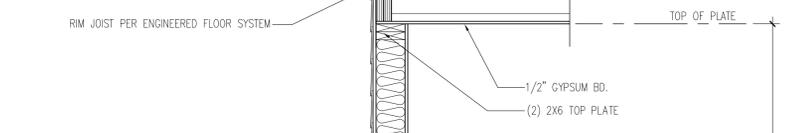
SHEET #
A5
FILE # JG TS19-01.DWG
DATE 01.17.20

- TYPICAL ROOF ASSEMBLY**
- 5V CRIMP GALVALUME METAL ROOFING (TYP)
 - ICE & WATER SHIELD
 - 1/2" CDX PLYWOOD OR OSB SHEATHING MEETING 140 MPH WIND LOAD STANDARDS AND OTHER LOCAL CODES. CONNECT W/ 100 BOX NAILS @ 3" O.C. @ EDGES & 6" O.C. IN FIELD
 - 2X8 RAFTERS @ 16" O.C. PROVIDE COLLAR TIES @ 32" O.C. AT RIDGE & HURRICANE CLIPS # EACH RAFTER / PLATE CONNECTION AS SHOWN.

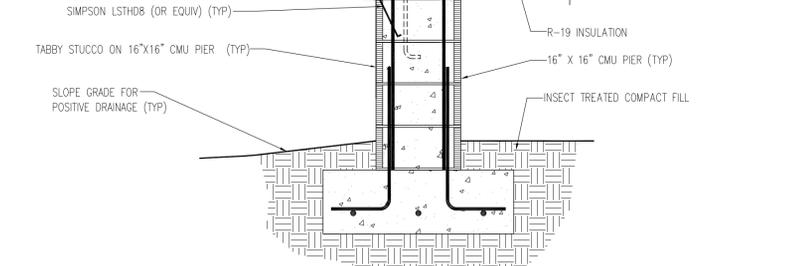
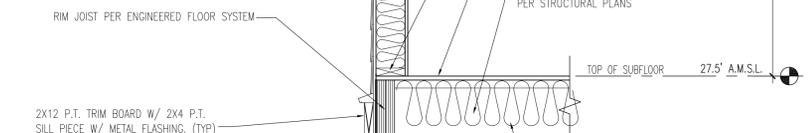
COORDINATE ALL STRAP, CLIP, AND TIE BOLT REQUIREMENTS W/ STRUCTURAL DRAWINGS



- TYPICAL WALL CONSTRUCTION**
- HARDIEPLANK HORIZ. LAP SIDING OVER HOUSEWRAP AIR INFILTRATION BARRIER
 - 1/2" CDX PLYWOOD OR OSB SHEATHING MEETING 140 MPH WIND LOAD STANDARDS AND LOCAL CODES FOR BEARING CONDITIONS. CONNECT W/ 100 BOX NAILS @ 3" O.C. @ EDGES & 12" O.C. IN FIELD
 - 2X4 WOOD STUDS @ 16" O.C. PROVIDE HORIZONTAL PURLINS CONTINUOUS AT MIDPOINT OF WALL
 - R-15 FIBERGLASS BATT INSULATION
 - PRIMED AND PAINT-READY GYPSUM WALLBOARD



- TYPICAL WALL CONSTRUCTION**
- HARDIEPLANK HORIZ. LAP SIDING OVER HOUSEWRAP AIR INFILTRATION BARRIER
 - 1/2" CDX PLYWOOD OR OSB SHEATHING MEETING 140 MPH WIND LOAD STANDARDS AND LOCAL CODES FOR BEARING CONDITIONS. CONNECT W/ 100 BOX NAILS @ 3" O.C. @ EDGES & 12" O.C. IN FIELD
 - 2X6 WOOD STUDS @ 16" O.C. PROVIDE HORIZONTAL PURLINS CONTINUOUS AT MIDPOINT OF WALL
 - R-15 FIBERGLASS BATT INSULATION
 - PRIMED AND PAINT-READY GYPSUM WALLBOARD



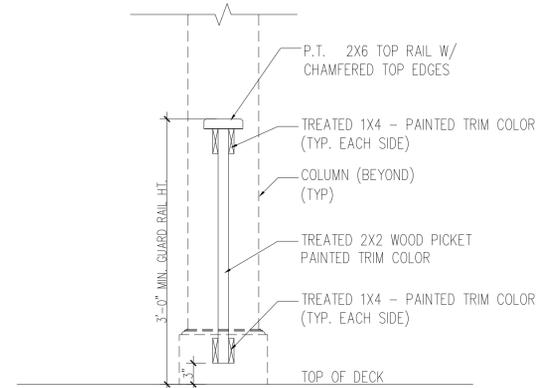
TYPICAL WALL SECTION
3/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK, AND COORDINATE ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS AND TO ASSURE THAT ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS ARE ACCURATE AND CORRECT. ANY DIMENSIONS OR ELEVATIONS NOT SHOWN ON THESE DRAWINGS SHALL BE AS SHOWN ON THE PERMITS AND ANY DAMAGES, INJURIES, DEATHS, LEGAL FEES OR LAWSUITS OF ANY KIND THAT MAY ARISE OR RESULT FROM THE EXECUTION OF THE DESIGN OR PERFORMANCE OF THE WORK BY THE CONTRACTORS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONDITIONS PRESENT IN THESE DRAWINGS WITH ALL GOVERNING BUILDING CONSTRUCTION CODES PERTAINING TO THE EXECUTION OF THE DESIGN.

SECTIONS

New Construction
36 Tabby Shell Road - Lot 19
Tabby Roads Subdivision, Bluffton Township
Beaufort County, South Carolina

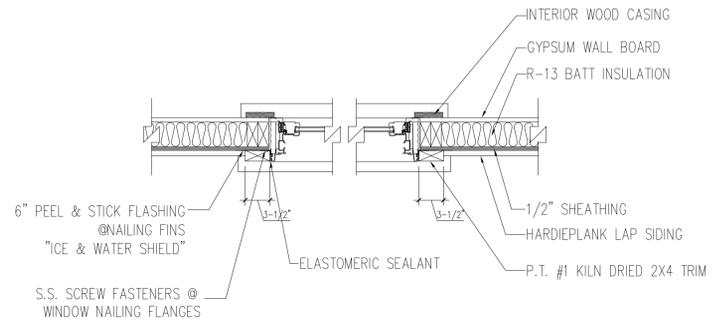
REVISION	DATE



NOTE: ALL FASTENERS (NAILS, BOLTS, SCREWS & WASHERS) SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL

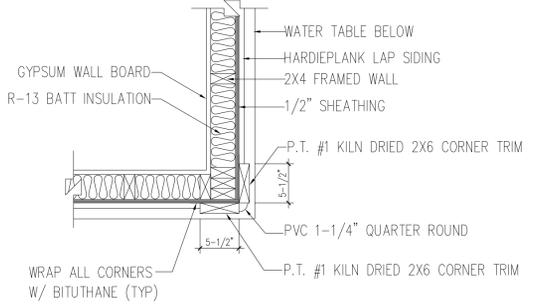
TYPICAL PICKET & RAIL DETAIL

SCALE: 1"=1'-0"



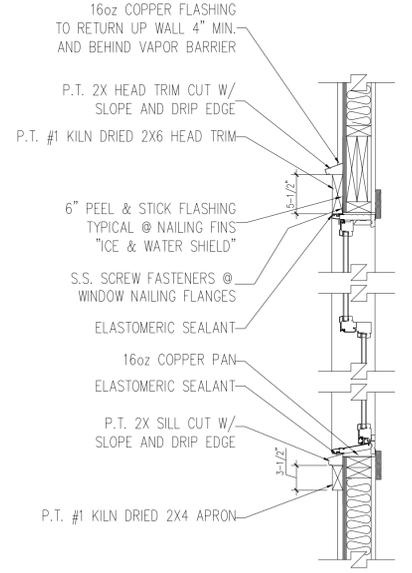
TYPICAL DETAIL AT WINDOW JAMB

SCALE: 1"=1'-0"



TYPICAL DETAIL AT CORNER TRIM

SCALE: 1"=1'-0"



TYPICAL DETAIL AT WINDOW HEAD & SILL

SCALE: 1"=1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK, AND COORDINATE ALL DIMENSIONS AND REQUIRED MINIMUM FLOOR ELEVATIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES, INJURIES, DEATHS, LEGAL FEES OR LAWSUITS OF ANY KIND THAT MAY ARISE OR RESULT FROM THE EXECUTION OF THE DESIGN OR PERFORMANCE OF THE WORK BY THE CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONDITIONS PRESENT IN THESE DRAWINGS WITH ALL GOVERNING BUILDING CONSTRUCTION CODES PERTAINING TO THE EXECUTION OF THE DESIGN.

DETAILS

New Construction
 36 Tabby Shell Road - Lot 19
 Tabby Roads Subdivision, Bluffton Township
 Beaufort County, South Carolina

REVISION	DATE

SHEET #

A8

FILE # JG TS19-01.DWG
 DATE 01.17.20

Attachment 4

Project Narrative
Tabby Roads
36 Tabby Shell Road
Lot 19

James Guscio is seeking a Certificate of Appropriateness on behalf of Riverside Retreats, LLC for the construction of a 2 story single family residence in the Tabby Roads Neighborhood of Old Town Bluffton Historic District. The home will be in the NG-HD district and will be following the vernacular style building as described in Article 5 of the UDO. This home will be built on tabby shell covered cmu piers creating a crawlspace foundation.



PLAN REVIEW COMMENTS FOR COFA-01-20-013886

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 01/21/2020
Plan Status: Active **Plan Address:** 36 Tabby Shell Rd
 BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1199 0000
Plan Description: A request by James Guscio, on behalf of Riverside Retreats, for review of a Certificate of Appropriateness to allow the construction of a new 2-story single-family building of approximately 2,243 SF located at 36 Tabby Shell Road in the Tabby Roads development in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD.
STATUS: The application is being reviewed and has been placed on the February 3, 2020 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Recieved: 01/21/2020 Completed: 01/31/2020

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Building Safety Review	01/21/2020	Richard Spruce	Revisions Required

Comments:

1. Any walking surface (porches) over 30 inches above grade, measured 3 feet horizontally from the edge of the porch, shall have guardrails at a minimum of 36-inches high from the deck surface with no opening that will allow a 4-inch sphere to pass per IRC section 312.1.1.

Growth Management Dept Review (HD)	01/31/2020	Katie Peterson	Approved with Conditions
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Comments:

1. The first floor finish height must be 3 feet above the average adjacent sidewalk grade. Provide elevation of adjacent sidewalk grade to confirm that the finished floor is 36" above grade. (UDO Section 5.15.5.F.1.c.)
 2. Porches are required to have a minimum height of 30 inches minimum from the adjacent grade to the top of stairs. The proposed height to top of stairs is 27". The height of the porch must be increased to meet this requirement. (UDO Section 5.15.6.E.5.c.)

HPRC Review	01/31/2020	Katie Peterson	Approved with Conditions
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Comments:

1. Provide additional information on the material used on the front elevation, wall face above the beam spanning the width of the front porch to ensure it meets the material and configuration standards in the UDO. (5.15.6.G.)
 2. Provide additional information on the proposed foundation plan to better understand how the home is being constructed. (crawl space or is this a slab on grade home).
 3. For the final application provide a landscape plan noting foundation plantings, street tree locations, and any landscaping proposed for buffering; as well provide architectural details of the railing and baluster, a typical window detail, door material, water table detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
 4. As the project moves toward Final submittal, a letter of approval from the Tabby Roads HARB is required. (Applications Manual)

Beaufort Jasper Water and Sewer Review	01/31/2020	James Clardy	Approved
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Comments:

1. No comment.

Transportation Department Review - HD	01/31/2020	William Howard	Approved
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Comments:

1. No Comment.

Comments:

1. Small Construction Activities, The Town will require a Stormwater Affidavit and implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual and the SCDHEC Erosion and Sediment Reduction standards and other Stormwater Management regulations, where applicable before Building Permits will be issued.

Addressing Review

01/22/2020

Nick Walton

Approved

Comments:

1. No comment.

Plan Review Case Notes: