

# TOWN COUNCIL

## STAFF REPORT



<b>MEETING DATE:</b>	May 12, 2015
<b>PROJECT:</b>	Resolution to Accept the Garvin House Structural Assessment & Preservation Plan
<b>PROJECT MANAGER:</b>	Erin Schumacher, Senior Planner

**RECOMMENDATION:** Town Staff recommends that Town Council adopt a Resolution to accept the Garvin House Structural Assessment & Preservation Plan.

**BACKGROUND:** As a result of direction provided by Town Council in the 2013 Strategic Plan and most recently at the April 21, 2015 Town Council Workshop, Town Staff has been working towards the development of a strategy for the Preservation of the Garvin House. In that regard, MEADORS, Inc. was contracted to assess the structure and prepare a Structural Assessment and Preservation Plan and the associated construction documents. The plans provide a framework for the rehabilitation of the structure that is independent of the final reuse strategy. This will result in a building that is adaptable to a number of different uses. As set forth in the plan the following uses were discussed as potential reuse strategies during the community outreach sessions:

1. Gullah Geechee Bookstore & Gallery (Cultural Center);
2. Artist-In-Residence; and
3. Interpretive Space/Short Term Rental.

The Gullah Geechee Cultural Center received the highest amount of support (by votes) from the public and provides a direct link to heritage tourism. Although a determination of the final use is not necessary until prior to the interior rehabilitation, any direction by Town Council at this time will allow Town Staff to focus partnership and funding strategies towards that end use.

This preservation plan and associated construction documents provide the following:

1. A treatment strategy for rehabilitating the building based on the remaining components and an assessment of the structural deficiencies of the building;
2. A phased approach to rehabilitation, breaking the work down into 4 phases based on priority: Immediate, Primary, Short Term, and Long Term; and
3. Bid-ready construction document that encapsulate all four phases of work.

**NEXT STEPS:** Below is a proposed schedule for next steps moving forward following acceptance of the plan:

1. Request allocation of \$50,000 in CIP funding in the FY2016 budget to fully fund the complete permanent stabilization of the structure – June 2015;

2. Release Bids and proceed with Phase 1 and 2 of the rehabilitation – July 2015;
3. Solicit community partners and funding resources for the future phases of work;  
and
4. Present to Town Council a strategy for completion of the remaining phases of work.

**ATTACHMENTS:**

1. Resolution
  - a. Exhibit A - Garvin House Structural Assessment and Preservation Plan\*
  - b. Exhibit B - Garvin House Construction Documents

\*Due to file size please find attached a linked table of contents to the plan. Please contact Town Staff with any difficulties accessing the document

**RESOLUTION**

**ACCEPTANCE OF THE GARVIN HOUSE STRUCTURAL ASSESSMENT & PRESERVATION PLAN**

**WHEREAS**, the need to preserve the Town of Bluffton's cultural identity and resources is identified as a goal of the Town of Bluffton Comprehensive Plan, adopted September 4, 2007 and last revised on December 9, 2014; and

**WHEREAS**, the Garvin House, located in the Oyster Factory Park, is believed to be one of the earliest known freedmen owned houses built during the Reconstruction Era still extant on the May River and is of historical significance to the Town and the region; and

**WHEREAS**, the Town of Bluffton has caused the stabilization of the Garvin House until such time as a preservation plan can be realized to determine how to move forward with the restoration of the structure; and

**WHEREAS**, the Town of Bluffton Town Council identified the need to address the preservation of the history of the Garvin House in the 2013 Strategic Plan and allocated funding as well as directed Staff to move forward with the project in 2014; and

**WHEREAS**, the Town of Bluffton contracted MEADORS, Inc. to prepare a structural assessment & preservation plan for the Garvin House which analyzes the existing structure and provides a framework for the rehabilitation that is appropriate for its historic nature; and

**WHEREAS**, Town Council desires to endorse the Structural Assessment & Preservation Plan prepared by MEADORS, Inc. and dated February 25, 2015 and associated construction documents.

**NOW THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF BLUFFTON, SOUTH CAROLINA**, that Town Council hereby accept the Garvin House Structural Assessment & Preservation Plan prepared by MEADORS, Inc. and dated February 25, 2015, which is attached and incorporated herein as Exhibit A, and associated construction documents, which are attached and incorporated herein as Exhibit B to allow for their implementation and the future rehabilitation of the structure.

**ADOPTED THIS 12<sup>th</sup> DAY OF MAY 2015**

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**Lisa Sulka, Mayor**  
**Town of Bluffton**

**ATTEST:**

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**Sandra Lunceford, Town Clerk**  
**Town of Bluffton**





# GARVIN HOUSE STRUCTURAL ASSESSMENT & PRESERVATION PLAN

PREPARED FOR:  
THE TOWN OF BLUFFTON  
20 BRIDGE STREET  
BLUFFTON, SC 29910

PREPARED BY:  
MEADORS, INC.  
PO BOX 21758  
CHARLESTON, SC 29413

DATE: 02.25.2015





Meadors, Inc.

Project: Garvin House - Structural Assessment and Preservation Plan

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# GARVIN HOUSE STRUCTURAL ASSESSMENT & PRESERVATION PLAN

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# GARVIN HOUSE: INTERIOR & EXTERIOR RESTORATION

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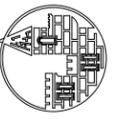
DRAWING LIST	
NO.	SHEET NAME
T100	COVER/TITLE SHEET
T101	CODE, ZONING, SYMBOLS AND ABBREVIATIONS
R100	SITE PLAN- EXISTING CONDITIONS
R101	PLANS- EXISTING CONDITIONS
R201	ELEVATIONS- EXISTING CONDITIONS
A101	FLOOR PLANS- NEW CONSTRUCTION
A201	ELEVATIONS- NEW CONSTRUCTION
A301	SECTIONS - NEW CONSTRUCTION
A302	SECTIONS- NEW CONSTRUCTION
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A407	ELEVATIONS ROOM 203
A501	LARGE SCALE DETAILS- ROOF
A601	DOOR SCHEDULE AND TYPES
A602	DOORS- EXISTING CONDITIONS
A603	WINDOW SCHEDULE AND TYPES
A621	FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS
S -1A	AS BUILT CONDITIONS
S - 1	FOUNDATION & GIRDER PLAN
S - 5	NORTH SIDE WALL SECTION
S - 6	SOUTH SIDE WALL SECTION



EXISTING NORTH ELEVATION



LOCATOR MAP- WHARF STREET BLUFFTON, SC



**MEADORS INC.**

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**GARVIN HOUSE**

RFP #2014-29 Garvin House  
Bluffton, SC 29910

**SCHEMATIC DOCUMENTS**

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: BLP

REVISIONS

NO.	DATE	NOTES

COVER/TITLE SHEET

**T100**

**GENERAL NOTES**

- THE BUILDING IS AN HISTORIC STRUCTURE. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015 FOR EXISTING PHOTOGRAPHS AND BUILDING CONDITIONS.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. SCOPE OF WORK, THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT. PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE INTENT OF THIS PROJECT IS FOR ALL SURFACES OF THE BUILDING INTERIOR TO BE RESTORED OR INSTALLED NEW AS TO CREATE A COMPLETE INTERIOR ASSEMBLY, INCLUDING BUT NOT LIMITED TO THE FOLLOWING SURFACES: ALL WALLS, CEILINGS, FLOORS, DOORS, AND WINDOWS.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- DO NOT SCALE DRAWINGS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZATION IN WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE IBC 2012 AND IBC 2012, AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- DIMENSIONS ON LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS ON SMALL SCALED DRAWINGS.
- PROVIDE TWO WEEKS WRITTEN NOTICE TO ARCHITECT AND OWNER PRIOR TO BEGINNING WORK IN A SPECIFIC AREA.
- THIS PROJECT FALLS UNDER THE ENVIRONMENTAL PROTECTION AGENCY'S RENOVATION, REPAIR, AND PAINTING PROGRAM.
- FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT GRADE. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO COMPLETE THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS FOR THE INSTALLATION OF NEW MECHANICAL & ELECTRICAL SYSTEMS, INSTALLING NEW MECHANICAL & ELECTRICAL SYSTEMS, AND REPAIRING ALL AREAS DISTURBED WITH NEW IN-KIND MATERIALS OR APPROVED EQUALS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO ROOM FINISH SCHEDULE AND FINISH LEGEND FOR NEW FINISHES.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS.
- CONTRACTOR SHALL COORDINATE WITH OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER, INCLUDING THOSE ITEMS CURRENTLY STORED, SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)
- PROVIDE AND MAINTAIN WEATHER BARRIERS AS NECESSARY TO PREVENT THE INTRUSION OF WATER AND WEATHER INTO THE BUILDING.
- PROTECT FLOORS IN AND ADJACENT TO DEMOLITION AND CONSTRUCTION AREAS WITH THERMAPLY OR EQUAL. PROTECTIVE COVERING TO EXTEND A MINIMUM OF 4' BEYOND WORK AREA. ALL JOINTS SHALL BE TAPED CONTINUOUSLY.
- AVOID DAMAGE TO INTERIOR & EXTERIOR FINISHES DURING THE COURSE OF THE WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL FINISHES.
- REMOVE ALL EXISTING ELECTRICAL SYSTEMS.
- ALL PLANTINGS AND PAVING TO REMAIN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESTORE THE SITE TO THE CONDITION IT WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS.

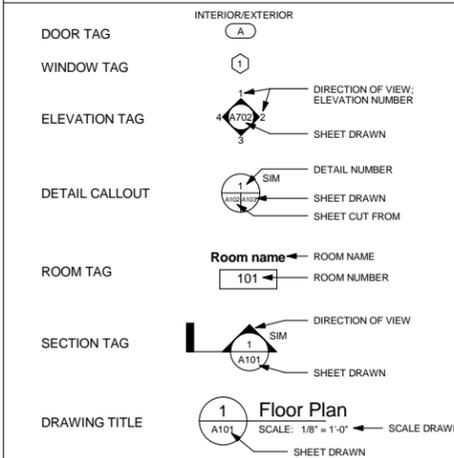
**ABBREVIATIONS**

&	AND	INSUL	INSULATION
@	AT	INTR	INTERIOR
AF	ABOVE FINISHED FLOOR	KH	KITCHEN HOUSE
ALT	ALTERNATE		
APPROX	APPROXIMATE		
ARCH	ARCHITECTURAL	MATL	MATERIAL
		MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
B.O.	BOTTOM OF	MFR	MANUFACTURER
		MIN	MINIMUM
CL	CENTERLINE	MISC	MISCELLANEOUS
CLG	CEILING	M.O.	MASONRY OPENING
COL	COLUMN	MTL	METAL
CONC	CONCRETE		
CONST	CONSTRUCTION	NIC	NOT IN CONTRACT
		NTS	NOT TO SCALE
DET / DTL	DETAIL	OC	ON CENTER
DIA	DIAMETER		
DIM	DIMENSION	PLUMB	PLUMBING
DN	DOWN	PT	PRESSURE-TREATED
DR	DOOR		
DWGS	DRAWINGS	REF	REFERENCE
		REINF	REINFORCING
EA	EACH	REQD	REQUIRED
ELEV	ELEVATION	REV	REVISION
EQ	EQUAL		
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXIST	EXISTING	SIM	SIMILAR
EXTR	EXTERIOR	SPECS	SPECIFICATIONS
		SQ	SQUARE
FV	FIELD VERIFY	SQ FT	SQUARE FEET
FF	FINISH FLOOR	STD	STANDARD
FACP	FIRE ALARM CONTROL PANEL	STRUCT	STRUCTURE / STRUCTURAL
FD	FLOOR DRAIN	SYM	SYMMETRICAL
FDN	FOUNDATION		
FE	FIRE EXTINGUISHER	TEMP	TEMPORARY
FEC	FIRE EXTINGUISHER & CABINET	T.O.	TOP OF
FIG	FIGURE	TRTD	TREATED
FIN	FINISH	TYP	TYPICAL
FLR	FLOOR		
		VERT	VERTICAL
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GA	GAUGE OR GAGE		
GYP BD	GYP SUM BOARD	W/	WITH
		W/O	WITHOUT
HORIZ	HORIZONTAL	WP	WATERPROOFING
HT	HEIGHT	WT	WEIGHT
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		

**GENERAL CODE NOTES**

APPLICABLE CODES:  
 - IBC 2012  
 - IBC 2012

**SYMBOLS LEGEND**

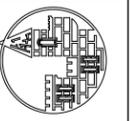


**NEW CONSTRUCTION PLAN LEGEND**

#	NUMBERED NEW CONSTRUCTION NOTE
[Pattern]	NEW WOOD FLOORING. LINEWORK PATTERN REPRESENTS DIRECTION OF FLOORING
[Pattern]	NEW WALL
[Pattern]	EXISTING FLOORS & WALLS (CONDITION VARIES- SEE ASSESSMENT AND EXISTING CONDITION PHOTOGRAPHS)
[Pattern]	NEW MASONRY PIERS & CHIMNEYS (NEW & REBUILT)

**REFERENCE PLAN LEGEND**

---	MISSING ELEMENT
-----	-----------------



**MEADORS INC.**  
 2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.729.8886



**GARVIN HOUSE**  
 RFP #2014-29 Garvin House  
 Bluffton, SC 29910

**SCHEMATIC DOCUMENTS**

PROJ. NO. RFP #2014-29  
 DATE: Garvin House 02.23.15  
 DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

CODE, ZONING, SYMBOLS AND ABBREVIATIONS

**T101**



1 SITE PLAN- OYSTER FACTORY PARK  
N.T.S



NOTE: ALL PLANTINGS AND PAVING TO REMAIN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESTORE THE SITE TO THE CONDITION IS WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS.



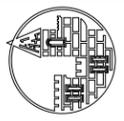
2 SITE PHOTO- LOOKING SOUTH FROM  
PARKING LOT  
N.T.S



3 SITE PHOTO- LOOKING NORTH FROM  
EDGE OF WATER  
N.T.S



4 SITE PHOTO- LOOKING EAST TOWARDS  
EXISTING CHIMNEY  
N.T.S



**MEADORS INC.**

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.729.8686



**GARVIN HOUSE**  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

**SCHEMATIC DOCUMENTS**

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
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REVISIONS		
NO.	DATE	NOTES

**SITE PLAN-  
EXISTING  
CONDITIONS**

**R100**





1 EAST ELEVATION- EXISTING CONDITION  
N.T.S



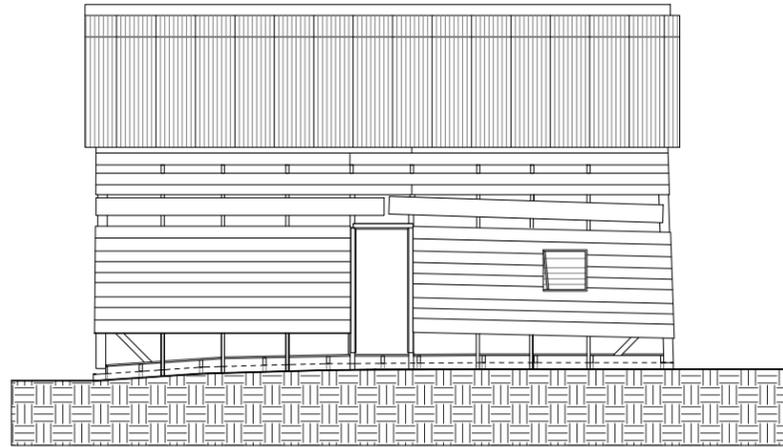
2 NORTH ELEVATION- EXISTING CONDITION  
N.T.S



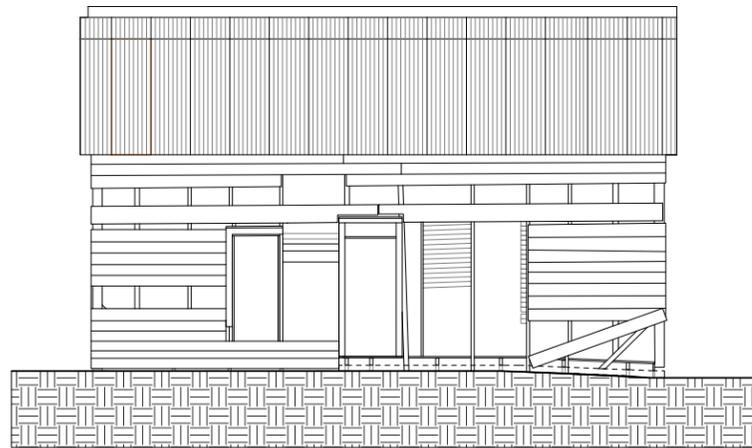
3 SOUTH ELEVATION- EXISTING CONDITION  
N.T.S



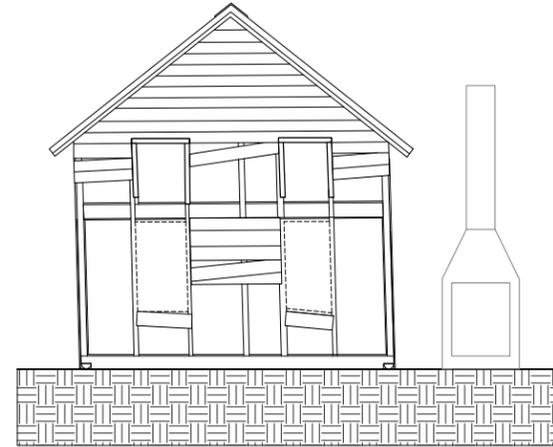
4 WEST ELEVATION- EXISTING CONDITION  
N.T.S



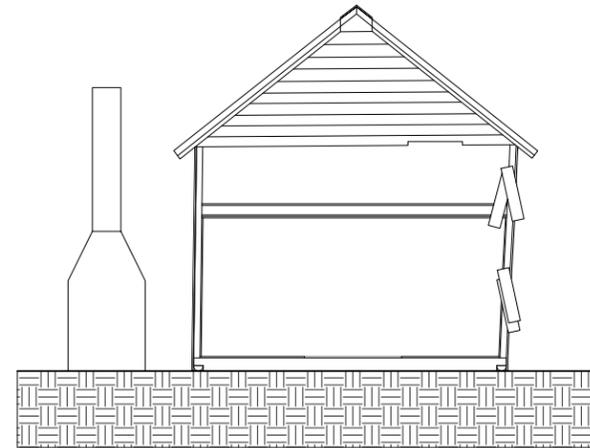
7 NORTH ELEVATION- EXISTING  
R201 SCALE: 1/4" = 1'-0"



6 SOUTH ELEVATION- EXISTING  
R201 SCALE: 1/4" = 1'-0"



8 EAST ELEVATION- EXISTING  
R201 SCALE: 1/4" = 1'-0"



5 WEST ELEVATION- EXISTING  
R201 SCALE: 1/4" = 1'-0"

GENERAL ELEVATION NOTES- EXISTING CONDITIONS

1. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
2. MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL.
3. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
4. CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
5. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
6. PORCH ADDITION AND PORCH ARE NO LONGER EXTANT



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NO.	DATE	NOTES

ELEVATIONS- EXISTING CONDITIONS

R201









EXISTING CONDITIONS



- REMOVE BOARD
  - REPLACE MISSING HANDRAIL
  - SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL, PHOTO TAKEN FROM INSIDE ROOM 101.

1 ROOM 101- NORTH WALL  
N.T.S



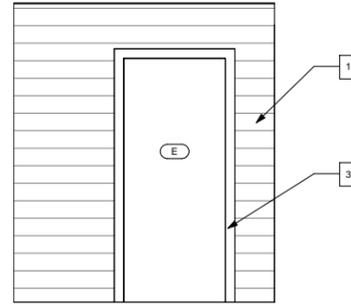
- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - TEMPORARILY STORE TRUNK DURING RESTORATION
  - REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
  - CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
  - RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL, PHOTO TAKEN FROM INSIDE ROOM 102.

2 ROOM 101- NORTH & WEST WALL AFTER 2014 STABILIZATION  
N.T.S

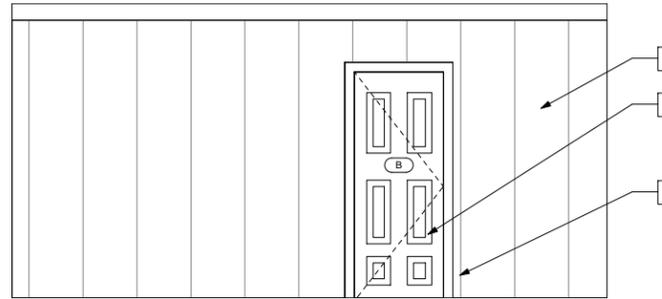


- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
  - PANEL WALL HAS BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG
  - ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG
  - CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:  
CURRENT CONFIGURATION OF STAIR HALL, PHOTO TAKEN FROM INSIDE ROOM 102.

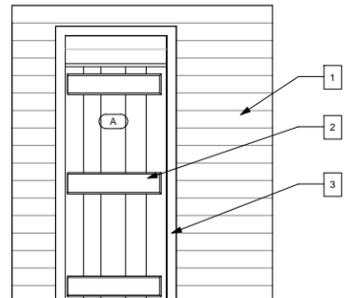
3 ROOM 101- EAST WALL BEFORE 2014 STABILIZATION  
N.T.S



4 INTERIOR ELEVATION- ROOM 101 NORTH WALL  
A401 SCALE: 1/2" = 1'-0"



5 INTERIOR ELEVATION- ROOM 101 EAST WALL  
A401 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 101 SOUTH WALL  
A401 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 101 WEST WALL  
A401 SCALE: 1/2" = 1'-0"

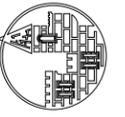
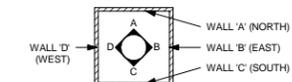
SHEET SPECIFIC NOTES

1. RESTORE WALL BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
2. INSTALL NEW DOOR, MATCH EXISTING BOARD AND BATTEN DOORS
3. RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT)
4. RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS SEEN IN PHOTOGRAPH 3 HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
5. RESTORE & REHANG EXISTING DOOR
6. STABILIZE AND RESTORE PANEL WALL AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
7. SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. PAINT ALL INTERIOR FINISHES COMPLETE.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL, AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
7. WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
8. FLOORS  
CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
9. CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR, TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS, REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR, FLOORING JOISTS WILL REQUIRE THE CEILING TO BE REINSTALLED -1 3/4" LOWER THAN THE CURRENT LOCATION.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION INCLUDING BUT NOT LIMITED TO METAL J-BEAMS, WOOD FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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ELEVATIONS  
ROOM 101

A401

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EXISTING CONDITIONS



CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES

RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE: CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

1 ROOM 102- NORTH WALL  
N.T.S.



CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES

RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE

RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE: CURRENT CONFIGURATION OF EAST WALL PHOTO TAKEN FROM INSIDE ROOM 102.

2 ROOM 102- EAST WALL  
N.T.S.



CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES

RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE

RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & REHANG DOOR

CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE: CURRENT CONFIGURATION OF SOUTH WALL PHOTO TAKEN FROM INSIDE ROOM 102.

3 ROOM 102- SOUTH WALL  
N.T.S.



CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES

RESTORE & RE-HANG DOOR

TEMPORARILY STORE TRUNK DURING RESTORATION

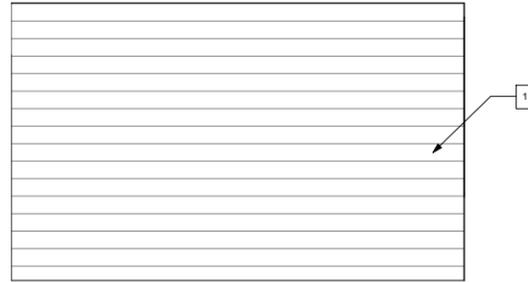
REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

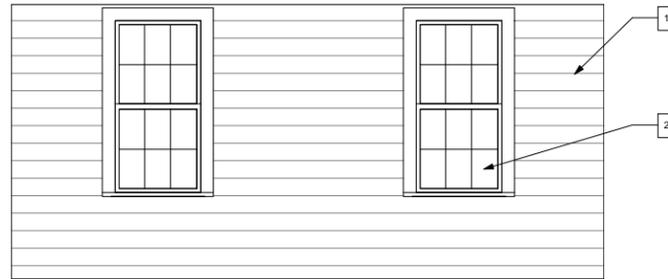
RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

NOTE: CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

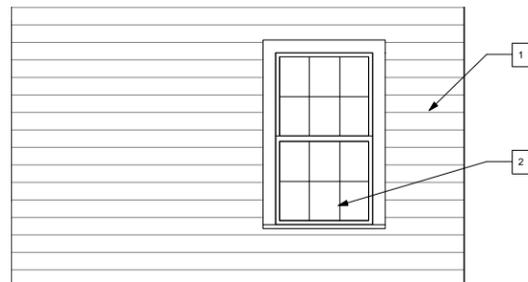
4 ROOM 102- WEST WALL  
N.T.S.



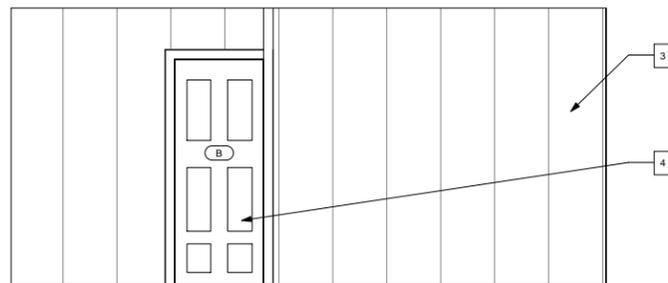
5 INTERIOR ELEVATION- ROOM 102 NORTH WALL  
A402 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 102 EAST WALL  
A402 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 102 SOUTH WALL  
A402 SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 102 WEST WALL  
A402 SCALE: 1/2" = 1'-0"

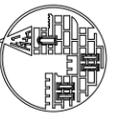
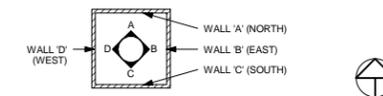
SHEET SPECIFIC NOTES

- RESTORE WALL BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
  - RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE
  - RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
  - RESTORE & REHANG EXISTING DOOR
- NOTE: TRANSPARENT CONSERVATION VIEWER TO BE INSTALLED IN CEILING OF ROOM 102- ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS.

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- PAINT ALL INTERIOR FINISHES COMPLETE.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
- WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
- FLOORS  
CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR, TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS, REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR, FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED -1 3/4" LOWER THAN THE CURRENT LOCATION.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

ELEVATIONS ROOM 102

A402

EXISTING CONDITIONS



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE EXISTING 2 X 4 TABLE COMPLETE

NOTE: CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

1 ROOM 103- NORTH WALL  
N.T.S



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED.

REMOVE EXISTING 2 X 4 TABLE COMPLETE

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE: CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

2 ROOM 103- EAST WALL  
N.T.S



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE

RESTORE WALL BOARDS, REFASTEN EXISTING AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

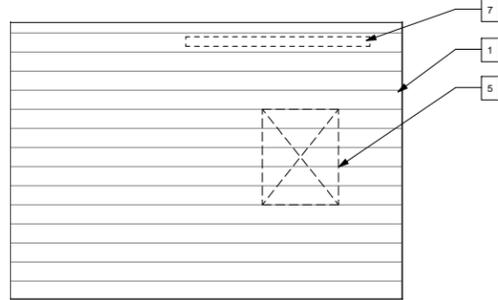
NOTE: CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

3 ROOM 103- SOUTH WALL  
N.T.S

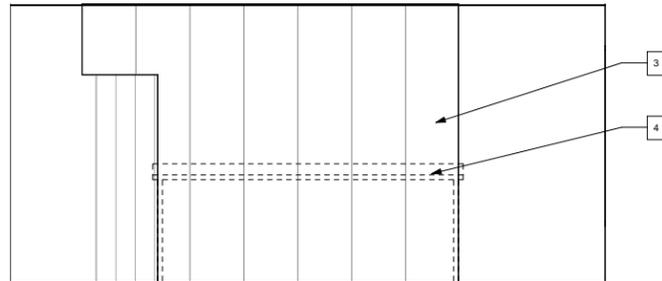


NOTE: WALL AND ALL ARCHITECTURAL ELEMENTS ARE MISSING FROM THIS ELEVATION. RESTORE COMPLETE.

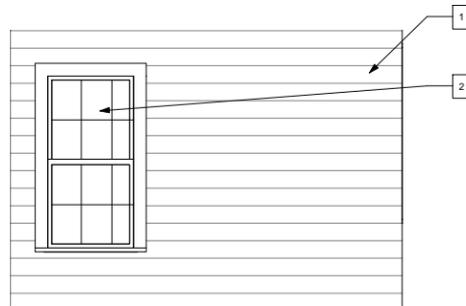
4 ROOM 103- WEST WALL  
N.T.S



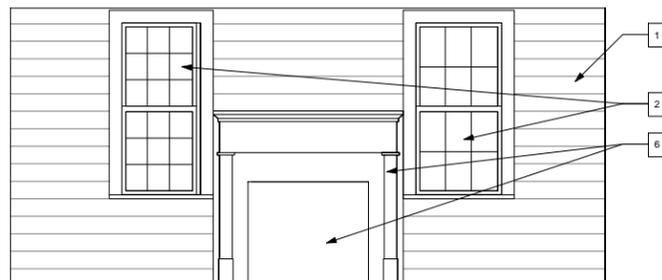
5 INTERIOR ELEVATION- ROOM 103 NORTH WALL  
A403 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 103 EAST WALL  
A403 SCALE: 1/2" = 1'-0"



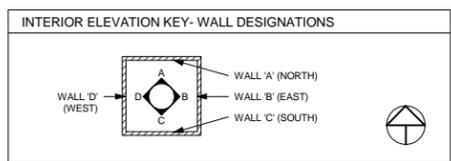
7 INTERIOR ELEVATION- ROOM 103 SOUTH WALL  
A403 SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 103 WEST WALL  
A403 SCALE: 1/2" = 1'-0"

- SHEET SPECIFIC NOTES
- RESTORE WALL BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
  - RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE
  - RESTORE PANEL WALL, TRIM, AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED
  - REMOVE EXISTING 2 X 4 TABLE COMPLETE
  - INSTALL HINGED CONSERVATION WINDOW. ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS
  - RESTORE MANTEL COMPLETE (CURRENTLY STORED), REBUILD CHIMNEY AND FIREBOX COMPLETE.
  - WALL HOOKS TO REMAIN

- GENERAL INTERIOR ELEVATION NOTES
- FIELD VERIFY ALL DIMENSIONS.
  - COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
  - PAINT ALL INTERIOR FINISHES COMPLETE.
  - PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
  - REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
  - REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
  - WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
  - FLOORS  
CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
  - CEILINGS  
CATALOGUE CEILING BOARDS ON FIRST FLOOR, TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS, REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE, IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR, FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED -1 3/4" LOWER THAN THE CURRENT LOCATION.
  - CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
  - EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
  - THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
  - REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP



**GARVIN HOUSE**  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

SCHEMATIC DOCUMENTS

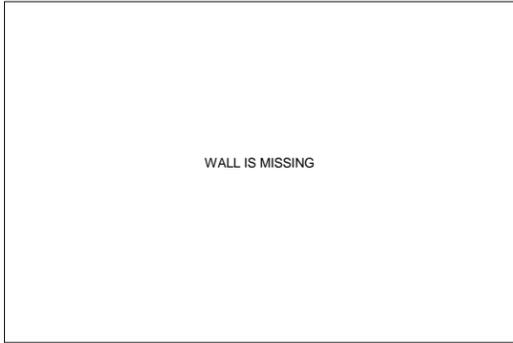
PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

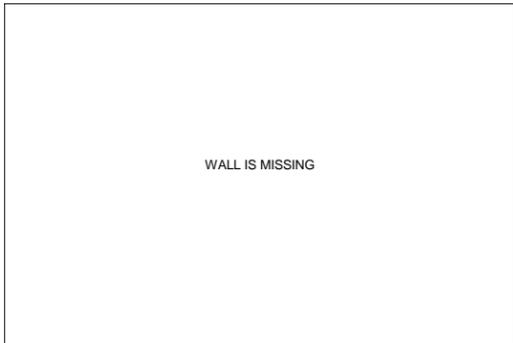
ELEVATIONS ROOM 103  
**A403**

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EXISTING CONDITIONS



1 ROOM 104- NORTH WALL  
N.T.S



2 ROOM 104- EAST WALL  
N.T.S



3 ROOM 104- SOUTH WALL  
N.T.S



4 ROOM 104- WEST WALL  
N.T.S

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE FRAMED OPENING COMPLETE.

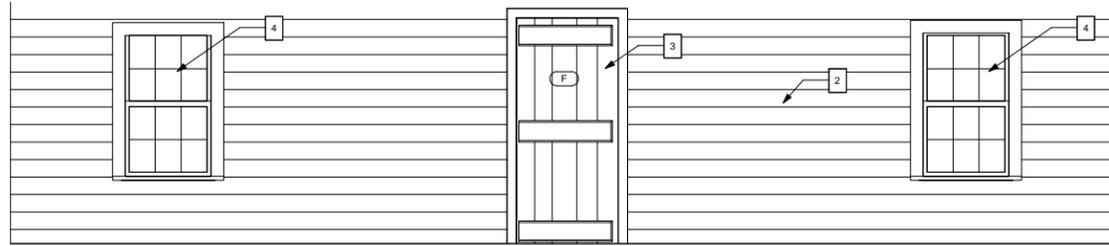
RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT) COMPLETE.

NOTE: CURRENT CONFIGURATION OF SOUTH WALL, CURRENTLY AN EXTERIOR WALL.

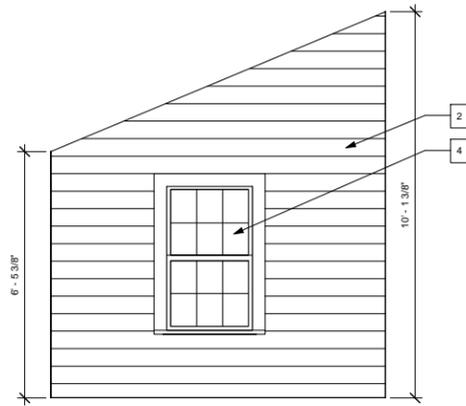
REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY

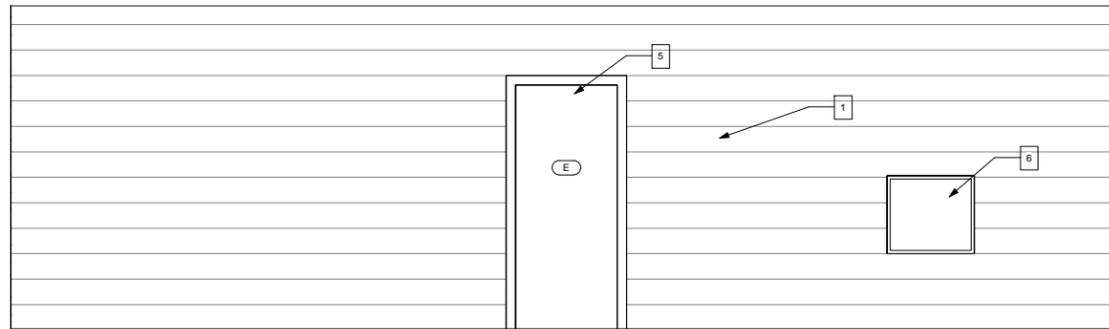
NOTE: CURRENT CONFIGURATION OF WEST WALL, ONLY CHIMNEY REMAINS.



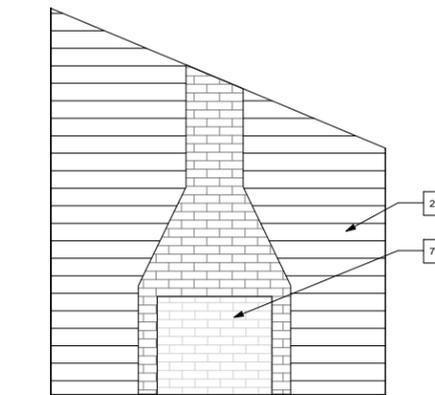
5 INTERIOR ELEVATION- ROOM 104 NORTH WALL  
A404 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 104 EAST WALL  
A404 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 104 SOUTH WALL  
A404 SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 104 WEST WALL  
A404 SCALE: 1/2" = 1'-0"

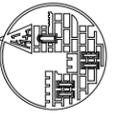
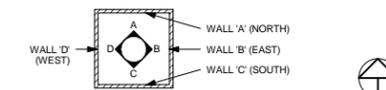
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- INSTALL NEW TONGUE AND GROOVE WALLBOARDS
- INSTALL NEW DOOR COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, AND DOOR), MATCH EXISTING BOARD AND BATTEN DOORS
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER)
- RESTORE EXISTING DOOR OPENING COMPLETE (INCLUDING BUT NOT LIMITED TO THE JAMB AND TRIM)
- CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY AND FIREBOX, INSTALL NEW HEARTH

GENERAL INTERIOR ELEVATION NOTES- NEW CONSTRUCTION

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND ME DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- PAINT ALL INTERIOR FINISHES COMPLETE.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
- FLOORS  
NEW BUTT TONGUE AND GROOVE FLOORING, ORIENTATION TO RUN NORTHSOUTH
- CEILINGS  
NEW BUTT CEILING BOARDS, SIZE AND DIMENSION TO MATCH INTERIOR CEILING BOARDS
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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GARVIN HOUSE  
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Bluffton, SC 29910

SCHEMATIC DOCUMENTS

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: Author

REVISIONS  
NO. DATE NOTES

ELEVATIONS  
ROOM 104

A404

EXISTING CONDITIONS



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE PANEL WALLS AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR. RESTORE DOOR TRIM AND JAMB COMPLETE.

SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL. PHOTO TAKEN FROM INSIDE ROOM 201.

1 ROOM 201- NORTH WALL  
N.T.S



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE & RE-HANG DOOR. RESTORE DOOR TRIM AND JAMB COMPLETE.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE

NOTE:  
CURRENT CONFIGURATION OF EAST WALL. PHOTO TAKEN FROM INSIDE ROOM 201.

2 ROOM 201- EAST WALL  
N.T.S



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR (STORED). RESTORE DOOR TRIM AND JAMB COMPLETE.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL. PHOTO TAKEN FROM INSIDE ROOM 201.

3 ROOM 201- SOUTH WALL  
N.T.S



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE & RE-HANG DOOR. RESTORE DOOR TRIM AND JAMB COMPLETE.

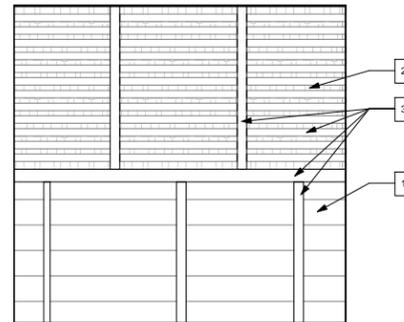
RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE BOARD

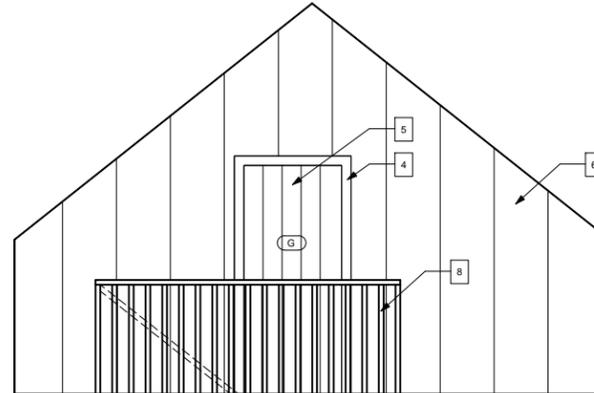
SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

NOTE:  
CURRENT CONFIGURATION OF WEST WALL. PHOTO TAKEN FROM INSIDE ROOM 201.

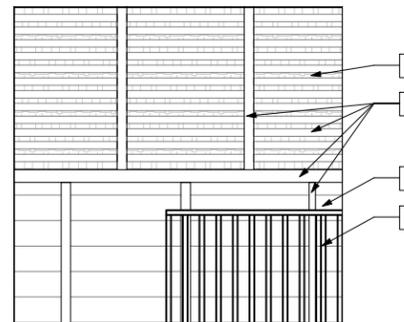
4 ROOM 201- WEST WALL  
N.T.S



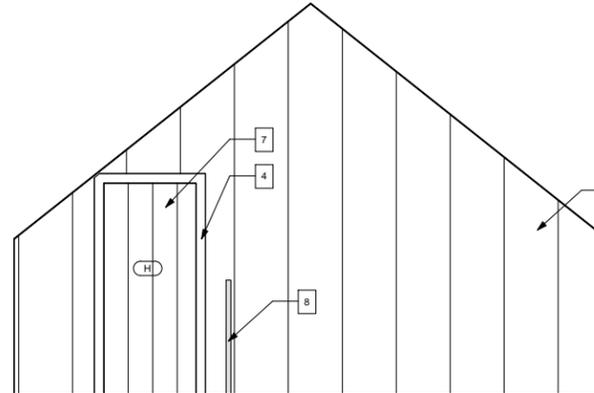
5 INTERIOR ELEVATION- ROOM 201 NORTH WALL  
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 201 EAST WALL  
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 201 SOUTH WALL  
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 201 WEST WALL  
SCALE: 1/2" = 1'-0"

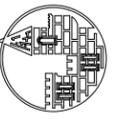
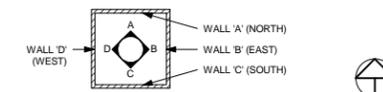
SHEET SPECIFIC NOTES

1. RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
2. SHAKES TO REMAIN. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE DURING COURSE OF WORK.
3. REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
4. RESTORE DOOR JAMB, TRIM
5. RESTORE & REHANG EXISTING DOOR
6. STABILIZE AND RESTORE PANEL WALL TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
7. RESTORE & REHANG DOOR (STORED)
8. NEW HANDRAIL COMPLETE

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL AND ME DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. PAINT ALL INTERIOR FINISHES COMPLETE.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
7. WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
8. FLOORS  
FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.
9. CEILINGS  
CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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GARVIN HOUSE  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

SCHEMATIC DOCUMENTS

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

ELEVATIONS  
ROOM 201

A405

EXISTING CONDITIONS



1 ROOM 202- NORTH WALL  
N.T.S

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS. NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL. PHOTO TAKEN FROM INSIDE ROOM 202.



2 ROOM 202- EAST WALL  
N.T.S

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

REMOVE BOARD

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS. NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF EAST WALL. PHOTO TAKEN FROM INSIDE ROOM 202.



3 ROOM 202- SOUTH WALL  
N.T.S

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL. PHOTO TAKEN FROM INSIDE ROOM 202.



4 ROOM 202- WEST WALL  
N.T.S

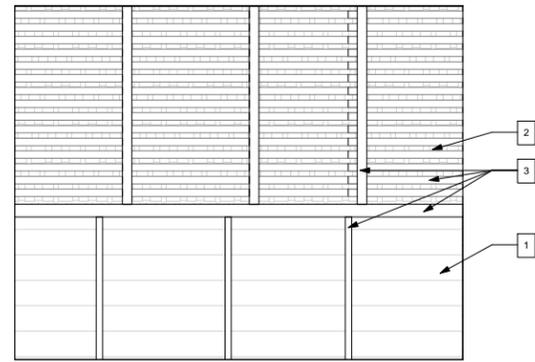
REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

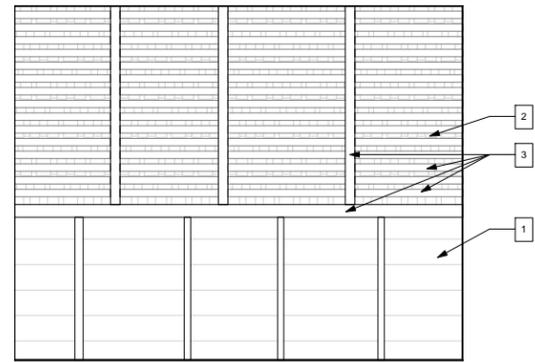
NOTE:  
CURRENT CONFIGURATION OF WEST WALL. PHOTO TAKEN FROM INSIDE ROOM 202.



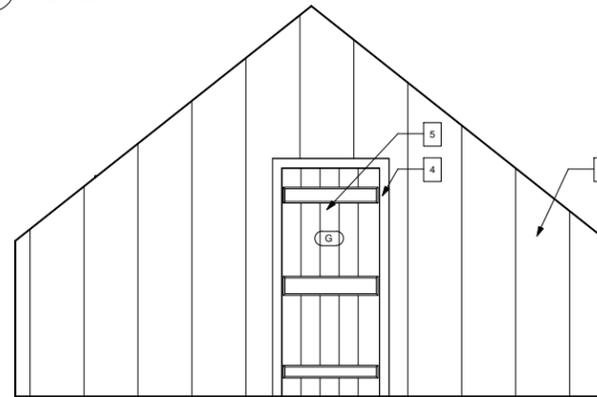
5 INTERIOR ELEVATION- ROOM 202 NORTH WALL  
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 202 EAST WALL  
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 202 SOUTH WALL  
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 202 WEST WALL  
SCALE: 1/2" = 1'-0"

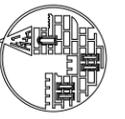
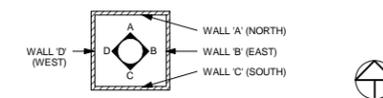
SHEET SPECIFIC NOTES

1. RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
2. SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE DURING COURSE OF WORK.
3. REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
4. RESTORE DOOR JAMB, TRIM
5. RESTORE & REHANG EXISTING DOOR
6. STABILIZE AND RESTORE PANEL WALL TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
7. INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER)

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL AND ME DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. PAINT ALL INTERIOR FINISHES COMPLETE.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
7. WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
8. FLOORS  
FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.
9. CEILINGS  
CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.729.8886



GARVIN HOUSE  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

SCHEMATIC DOCUMENTS

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: Author

REVISIONS		
NO.	DATE	NOTES

ELEVATIONS  
ROOM 202

A406

EXISTING CONDITIONS



1 ROOM 203- NORTH WALL  
N.T.S

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE PANEL WALLS AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



2 ROOM 203- EAST WALL  
N.T.S

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

RESTORE PANEL WALL AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



3 ROOM 203- SOUTH WALL  
N.T.S

REMOVE BOARD

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

NOTE:  
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



4 ROOM 203- WEST WALL  
N.T.S

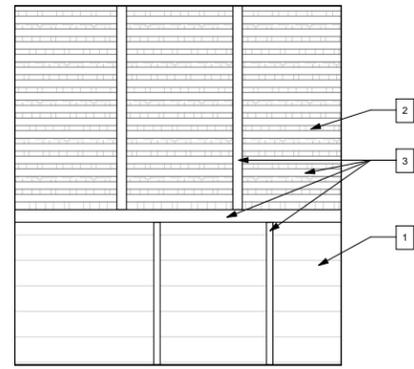
RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

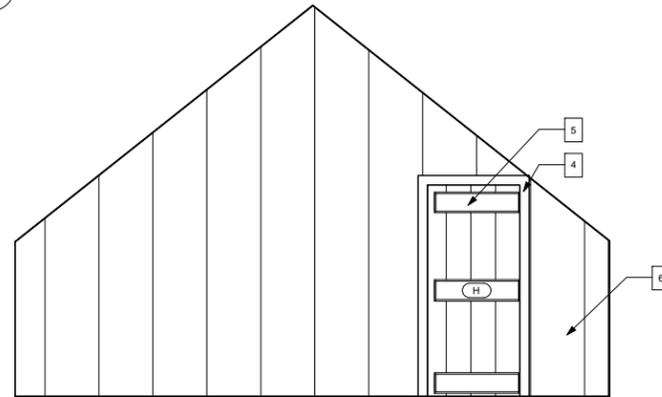
SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.

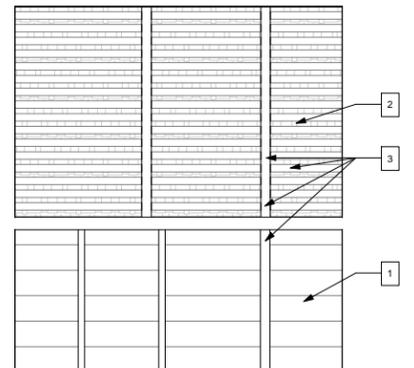
NOTE:  
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



5 INTERIOR ELEVATION- ROOM 203 NORTH WALL  
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 203 EAST WALL  
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 203 SOUTH WALL  
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 203 WEST WALL  
SCALE: 1/2" = 1'-0"

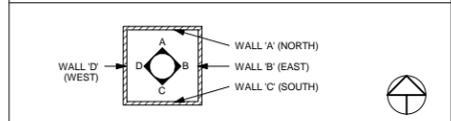
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE DURING COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE & REHANG DOOR (STORED)
- RESTORE & REHANG EXISTING DOOR
- STABILIZE AND RESTORE PANEL WALL TRIM, AND FLOOR STOPS. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER)

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND ME DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- PAINT ALL INTERIOR FINISHES COMPLETE.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG)
- FLOORS  
FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER DETERIORATED END BOARDS.
- CEILINGS  
CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO-LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



**GARVIN HOUSE**  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

SCHEMATIC DOCUMENTS

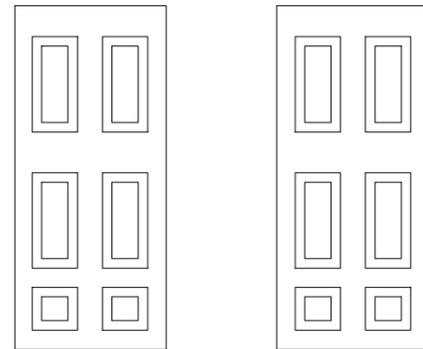
PROJ. NO.	RFP #2014-29
DATE:	Garvin House 02.23.15
DRAWN BY:	Author
REVISIONS	
NO.	DATE
	NOTES

ELEVATIONS  
ROOM 203  
**A407**

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PRINTED ON: 4/10/15 8:00:44 PM



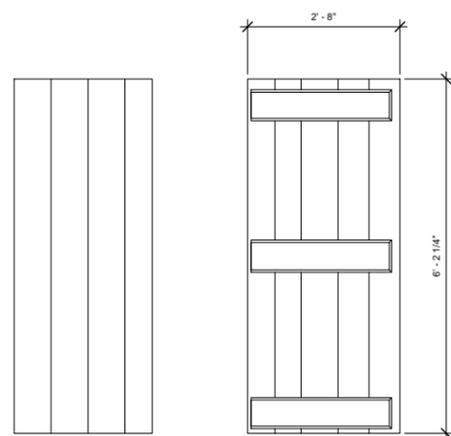
DOOR SCHEDULE													
Mark	Int./Ext.	Level	Width	Height	Door	Door Type	Hand	Existing Hardware Notes	Handle Style	New Lock Function/Notes	Finish	Model Number	Description
A	Ext.	FIRST FLOOR F.F.	2' - 8"	7' - 0"	New	Type 1	RH	New	N/A	S4001-00SP New Swival Hasp and Staple, 2 New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron	Swival Hasp and Staple, BPPCG	Hinge and Latch.com
B	Int.	FIRST FLOOR F.F.	2' - 4"	6' - 0"	Existing	Type 3	RH	Existing	porcelain knob	Remove Existing Hasp, Salvage and Restore Existing Rim Lock, Install S4001-00SP New Swival Hasp and Staple, Install 2 New hand forged tapered strap hinges (match existing)	cast iron	Swival Hasp and Staple, BPPCG	Hinge and Latch.com
E	Int.	FIRST FLOOR F.F.	2' - 8"	6' - 5 3/4"	Existing (Casement Opening)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
F	Ext.	FIRST FLOOR F.F.	2' - 8"	6' - 0"	New	Type 2	LH	New	knob	S4001-00SP New Swival Hasp and Staple, 2 New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron	Swival Hasp and Staple, BPPCG	Hinge and Latch.com
G	Int.	SECOND FLOOR F.F.	2' - 6 3/4"	6' - 0"	Existing	Type 4	RH	Existing Hinges, Hasp and Hand Pull Missing	pull	N/A	cast iron		
H	Int.	SECOND FLOOR F.F.	2' - 5"	5' - 6 1/2"	Stored	Type 5	LH	Existing Hasp, Hinges & Staple Missing	none	Reuse Existing Hasp, 2 New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron		



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR B IS EXISTING.

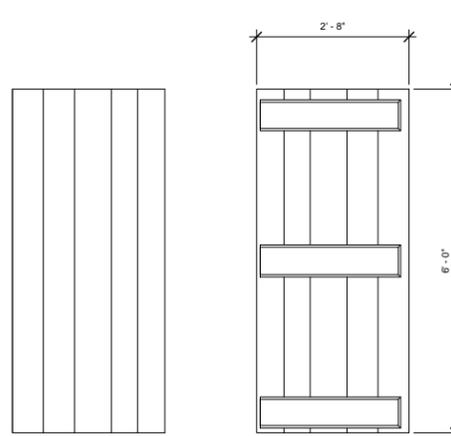
1 DOOR TYPE 3  
A601 SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR F IS MISSING. DETAILS & PROFILES FOUND ON EXISTING DOOR TYPES 4 & 5 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW DOORS FOR DOOR TYPE 1. ADJUST TO FIT OPENING.

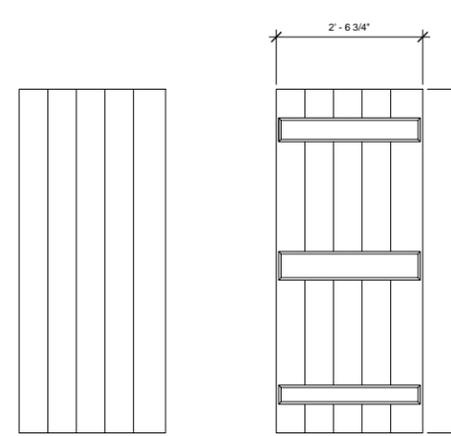
2 DOOR TYPE 1  
A601 SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR F IS MISSING. DETAILS & PROFILES FOUND ON EXISTING DOOR TYPES 4 & 5 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW DOORS FOR DOOR TYPE 1. ADJUST TO FIT OPENING.

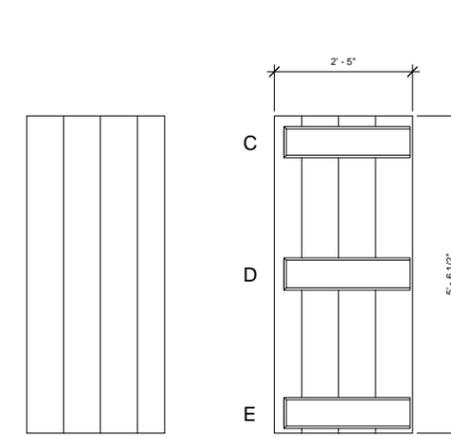
3 DOOR TYPE 2  
A601 SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR G IS EXISTING.

4 DOOR TYPE 4  
A601 SCALE: 3/4" = 1'-0"



EXTERIOR INTERIOR

FOR REFERENCE ONLY. DOOR H IS EXISTING (STORED).

5 DOOR TYPE 5  
A601 SCALE: 3/4" = 1'-0"

GENERAL DOOR SCHEDULE NOTES

- FIELD VERIFY ALL DIMENSIONS
- PAINT DOORS COMPLETE INCLUDING BUT NOT LIMITED TO THE DOORS, JAMBS, AND TRIM
- RESTORE ALL EXISTING DOORS COMPLETE INCLUDING BUT NOT LIMITED TO JAMBS, CASING, TRIM, TRANSOM, AND DOORS.
- DOORS THAT ARE MISSING ELEMENTS OF DOOR, TRIM, TRANSOM, OR JAMB SHOULD HAVE NEW ELEMENTS INSTALLED THAT MATCH HISTORIC ELEMENTS IN MATERIAL AND PROFILE UNLESS OTHERWISE NOTED.
- FIELD VERIFY THAT ALL SALVAGED DOORS FIT EXISTING & NEW JAMBS. ADJUST DOORS AND JAMBS TO ENSURE A FULLY FUNCTIONAL DOOR. VERIFY WITH THE ARCHITECT BEFORE ALTERING HISTORIC FABRIC.
- ALL EXISTING HARDWARE SCHEDULED TO BE REMOVED SHOULD BE CATALOGUED, SALVAGED AND RETURNED TO THE OWNER.
- ALL EXTERIOR DOORS TO HAVE THRESHOLDS AT TRANSITIONS BETWEEN ROOMS UNLESS OTHERWISE NOTED.



MEADORS INC.  
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GARVIN HOUSE  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

SCHEMATIC DOCUMENTS

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: BLP

REVISIONS  
NO. DATE NOTES

DOOR SCHEDULE AND TYPES

A601

EXISTING DOORS- EXISTING CONDITION



REMOVE EXISTING HASP, INSTALL NEW HASP  
RESTORE RIM LOCK  
REFASTEN KEY HOLE COVER

EXTERIOR



REMOVE NAIL  
REMOVE HOOK  
REMOVE EXISTING HASP, INSTALL NEW HASP  
RESTORE RIM LOCK  
REMOVE EXISTING DOOR HINGES, INSTALL NEW DOOR HINGES, TYP.

INTERIOR

2 DOOR TYPE 3- EXISTING CONDITION  
N.T.S



HAND PULL LATCH MISSING- NEW LATCH TO BE INSTALLED AT A LATER DATE

EXTERIOR



NEW HINGES FOR DOORS SPECIFYING NEW HARDWARE TO MATCH EXISTING TAPERED STRAP HINGE ON DOOR G

DOOR HINGES TO REMAIN, TYP.

INTERIOR

3 DOOR TYPE 4- EXISTING CONDITION  
N.T.S



HASP TO REMAIN, INSTALL NEW STAPLE  
INSTALL NEW HINGES, TYP.

INTERIOR

1 DOOR TYPE 5- EXISTING CONDITION  
N.T.S



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SCHEMATIC DOCUMENTS

PROJ. NO. RFP #2014-29  
DATE: Garvin House 02.23.15  
DRAWN BY: JMT

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NO.	DATE	NOTES

DOORS- EXISTING CONDITIONS

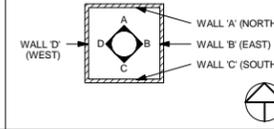
A602



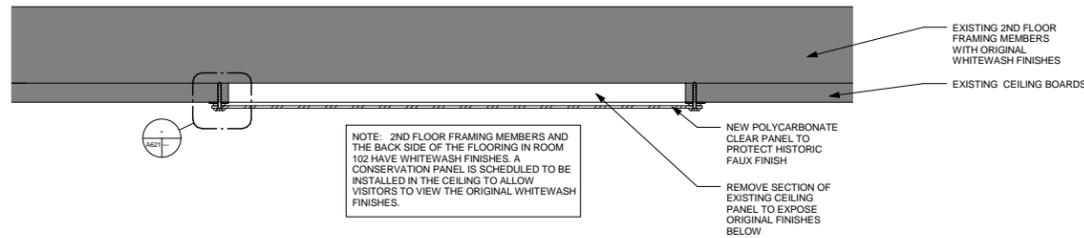
FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL- A MATERIAL/ PERCENT NEW	WALL- B MATERIAL/ PERCENT NEW	WALL- C MATERIAL/ PERCENT NEW	WALL- D MATERIAL/ PERCENT NEW	CEILING FINISH	FLOOR AREA	COMMENTS
101	STAIRHALL	WD, CATALOGUE, REMOVE, RESTORE	REPAIR GB	REPAIR GB	REPAIR GB	REPAIR GB	RESTORE EXISTING	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
102	ROOM 102	WD, RESTORE	RESTORE TGB	RESTORE PANEL WALL	RESTORE TGB	RESTORE TGB	RESTORE EXISTING	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
103	ROOM 103	WD, RESTORE	RESTORE TGB	RESTORE TGB	RESTORE TGB	RESTORE TGB	RESTORE EXISTING	156 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
104	REAR ENCLOSURE	WD, NEW	NEW TGB	NEW TGB	NEW TGB	RESTORE WOOD SIDING	NEW WD BOARDS, MATCH EXISTING IN ROOMS 102/103	138 SF	NEW CONSTRUCTION
105	FRONT PORCH	WD, NEW	RESTORE SIDING	N/A	N/A	N/A	OPEN TO STRUCTURE	94 SF	NEW CONSTRUCTION
201	STAIRHALL	WD, RESTORE	N/A	RESTORE PB	RESTORE PB	N/A	EX	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
202	CHAMBER 1	WD, RESTORE	N/A	RESTORE PB	RESTORE PB	N/A	EX	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
203	CHAMBER 2	WD, NO REPAIR	N/A	RESTORE PB	RESTORE PB	N/A	EX	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED

FINISHES SCHEDULE ABBREVIATIONS	
CONC	CONCRETE
EX	EXISTING
GB	GYPSUM BOARD
N/A	NOT APPLICABLE
TGB	TONGUE & GROOVE/BUTTED BOARDS
PB	PANEL BOARDS
WD	WOOD
MAS	MASONRY

FINISH SCHEDULE - WALL DESIGNATION:



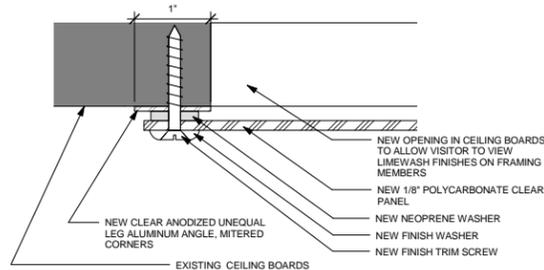
- GENERAL FINISH SCHEDULE NOTES**
1. FIELD VERIFY ALL DIMENSIONS
  2. PROVIDE BLOCKING AS NECESSARY TO INSTALL & RESTORE WALL, CEILING, AND FLOOR FINISHES
  3. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON FINISHES.
  4. FINISH SCHEDULE STATES INTENDED WALL FINISH FOR EACH OF FOUR WALLS IN EACH ROOM (SEE WALL DESIGNATION DIAGRAM).
  5. ALL INTERIOR PAINTING SHALL NOT COMMENCE UNTIL BUILDING IS COMPLETELY DRIED IN, MADE WATERTIGHT AND IS ENVIRONMENTALLY CONTROLLED INCLUDING TEMPERATURE AND HUMIDITY. THIS NOTE SUPERSEDES THE MANUFACTURER'S SPECIFICATIONS.
  6. ALL INTERIOR FINISHES TO REMAIN INTACT. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE PAINT DURING THE COURSE OF WORK



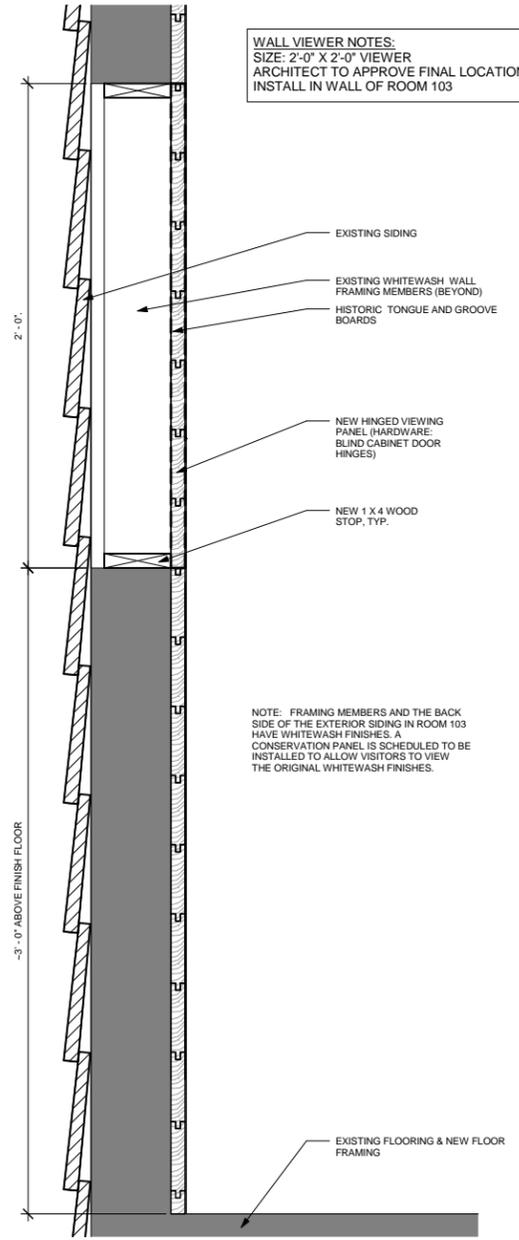
NOTE: 2ND FLOOR FRAMING MEMBERS AND THE BACK SIDE OF THE FLOORING IN ROOM 102 HAVE WHITEWASH FINISHES. A CONSERVATION PANEL IS SCHEDULED TO BE INSTALLED IN THE CEILING TO ALLOW VISITORS TO VIEW THE ORIGINAL WHITEWASH FINISHES.

**1 CONSERVATION WINDOW @ CEILING- SECTION DETAIL**  
SCALE: 3" = 1'-0"

CEILING VIEWER NOTES:  
SIZE: 2'-0" X 2'-0" VIEWER  
ARCHITECT TO APPROVE FINAL LOCATION  
INSTALL IN CEILING OF ROOM 102



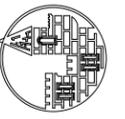
**2 CONSERVATION WINDOW @ CEILING - PROTECTIVE COVER SIDE**  
SCALE: 12" = 1'-0"



WALL VIEWER NOTES:  
SIZE: 2'-0" X 2'-0" VIEWER  
ARCHITECT TO APPROVE FINAL LOCATION  
INSTALL IN WALL OF ROOM 103

NOTE: FRAMING MEMBERS AND THE BACK SIDE OF THE EXTERIOR SIDING IN ROOM 103 HAVE WHITEWASH FINISHES. A CONSERVATION PANEL IS SCHEDULED TO BE INSTALLED TO ALLOW VISITORS TO VIEW THE ORIGINAL WHITEWASH FINISHES.

**3 CONSERVATION WINDOW @ WALL - SECTION DETAIL**  
SCALE: 3" = 1'-0"



**MEADORS INC.**  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.729.8986

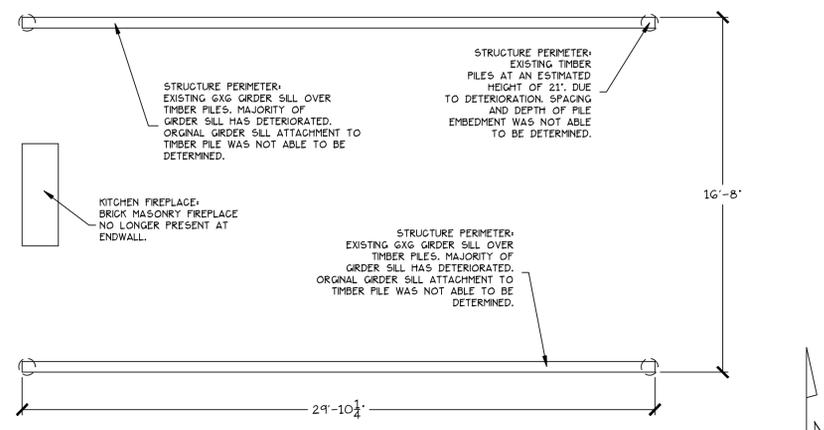


**GARVIN HOUSE**  
RFP #2014-29 Garvin House  
Bluffton, SC 29910

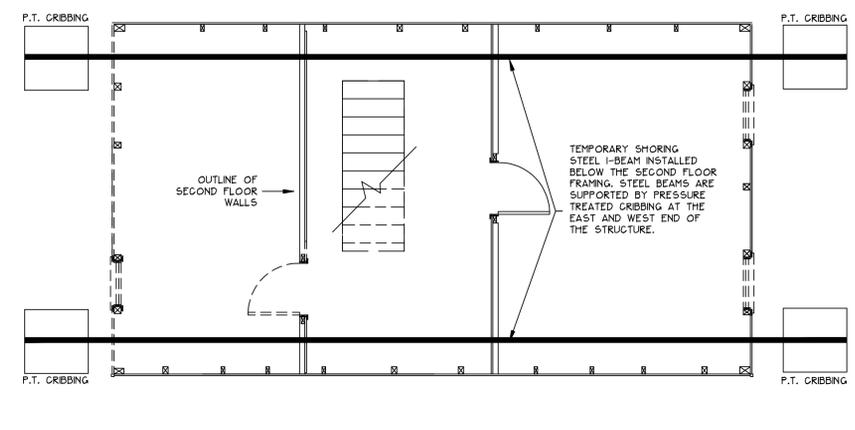
**SCHEMATIC DOCUMENTS**

PROJ. NO.	RFP #2014-29	
DATE:	Garvin House 02.23.15	
DRAWN BY:	BLP	
REVISIONS		
NO.	DATE	NOTES

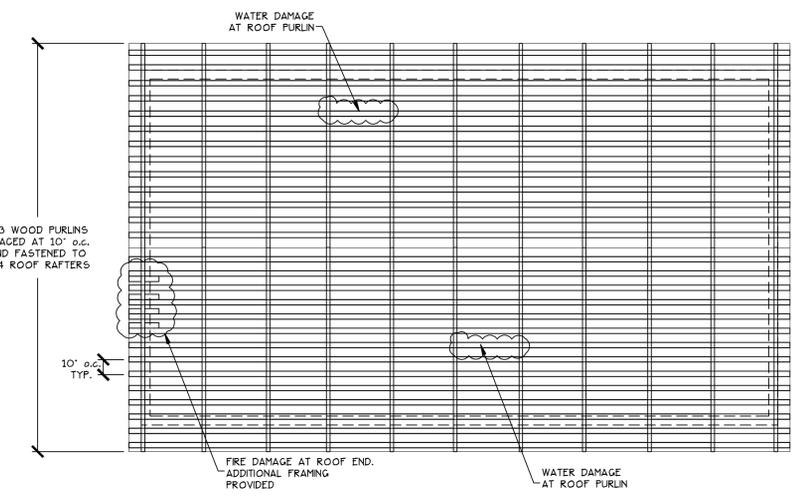
FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS  
**A621**



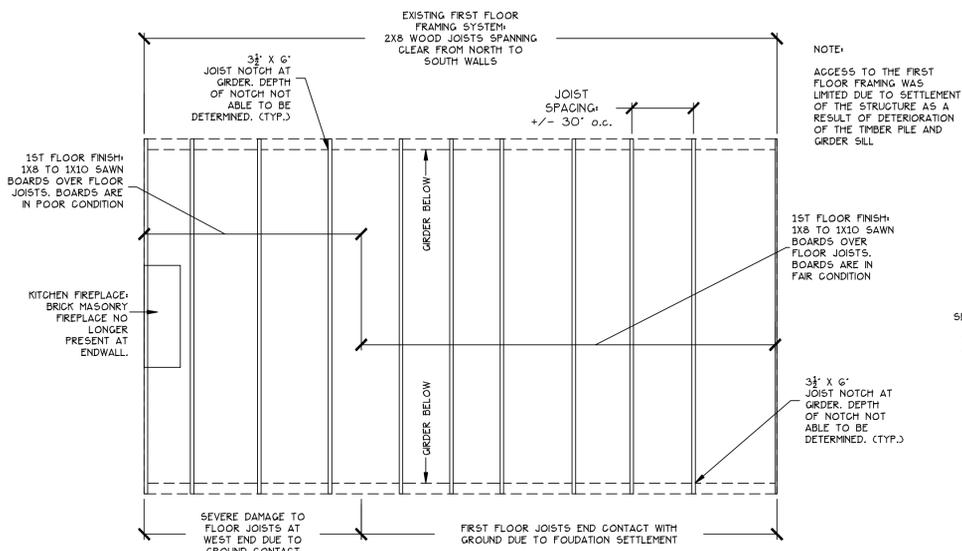
1 FOUNDATION PLAN  
SA1 SCALE: 1/4" = 1'-0"



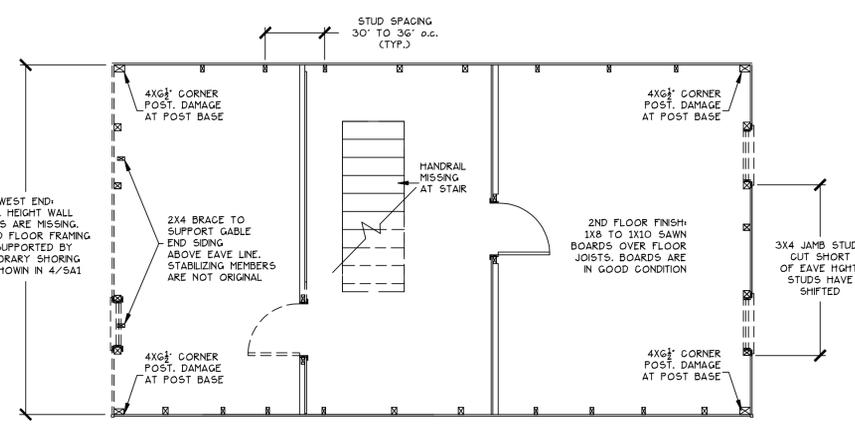
4 TEMPORARY SHORING  
SA1 SCALE: 1/4" = 1'-0"



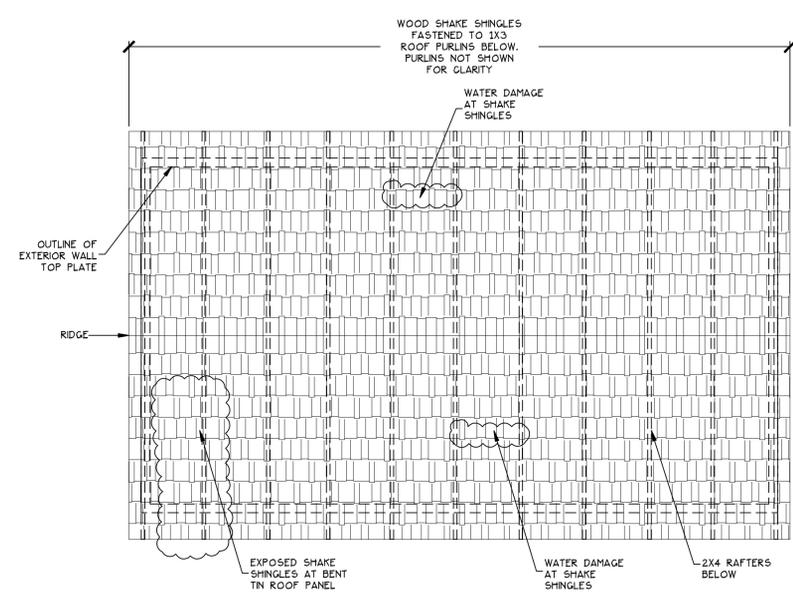
7 WOOD PURLIN FRAMING PLAN  
SA1 SCALE: 1/4" = 1'-0"



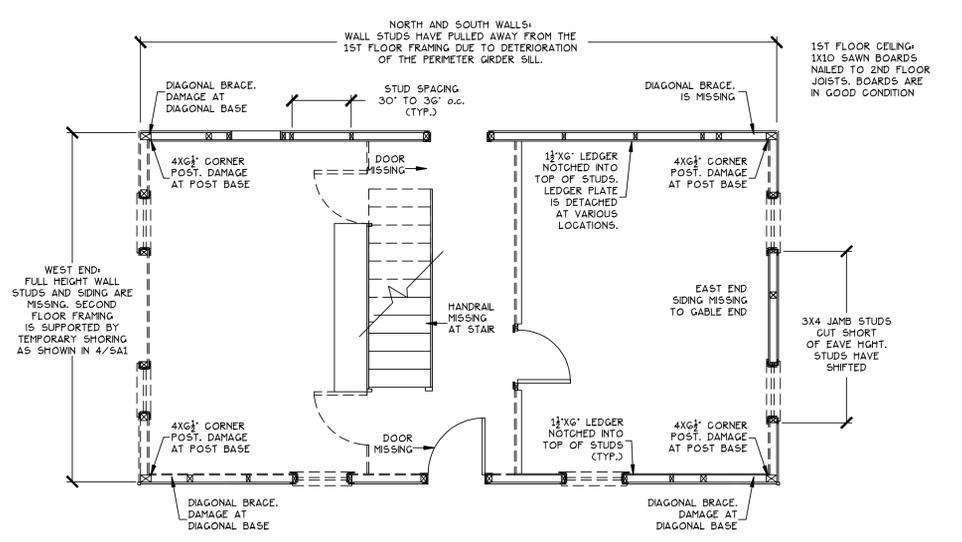
2 1ST FLOOR FRAMING PLAN  
SA1 SCALE: 1/4" = 1'-0"



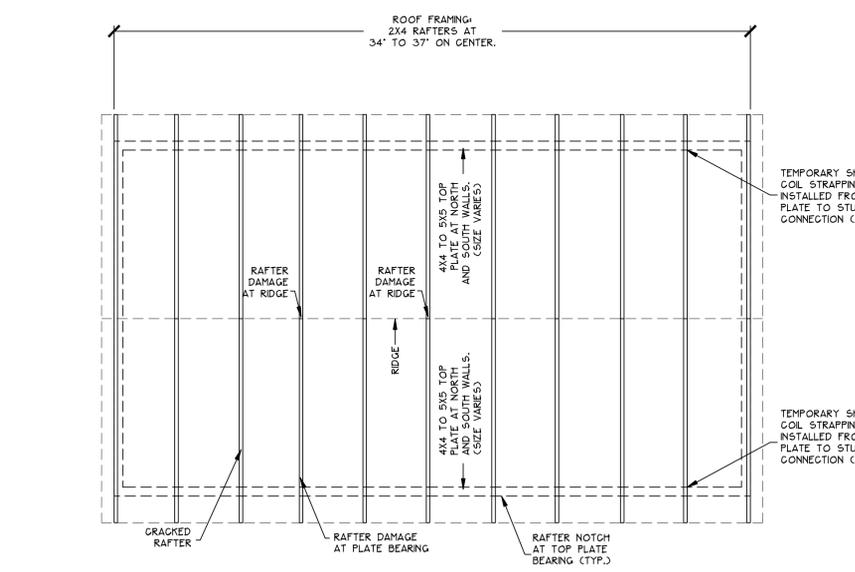
5 2ND FLOOR WALL COMPONENTS  
SA1 SCALE: 1/4" = 1'-0"



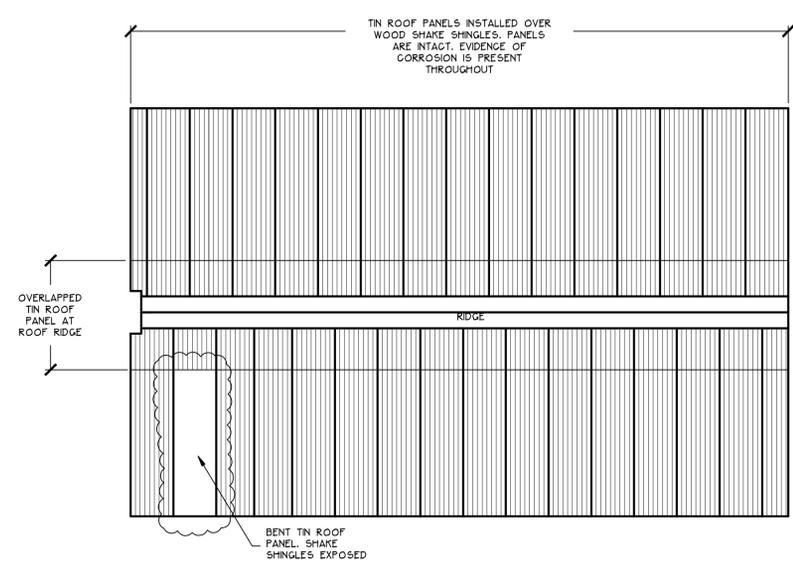
8 WOOD SHAKE SHINGLE PLAN  
SA1 SCALE: 1/4" = 1'-0"



3 1ST FLOOR WALL COMPONENTS  
SA1 SCALE: 1/4" = 1'-0"



6 RAFTER FRAMING PLAN  
SA1 SCALE: 1/4" = 1'-0"



9 TIN PANEL ROOF PLAN  
SA1 SCALE: 1/4" = 1'-0"

rev	drwn	chkd	appr	date	description

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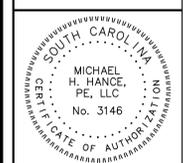
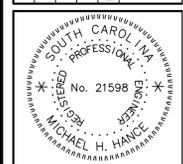
MICHAEL H. HANCE, PE LLC  
STRUCTURAL ENGINEER  
1133 Club Terrace  
Mount Pleasant, South Carolina 29464  
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN  
DRAWN: MHH  
DESIGN: MHH  
APP'D: MHH  
DEPT.: STRUCTURAL

PROJECT: STRUCTURAL ASSESSMENT  
GARVIN HOUSE  
BLUFFTON, SC  
TITLE: AS-BUILT CONDITIONS

DWG NO.: SA1  
DATE: March 5, 2015

Fevn	drwn	chkd	appr	date	description

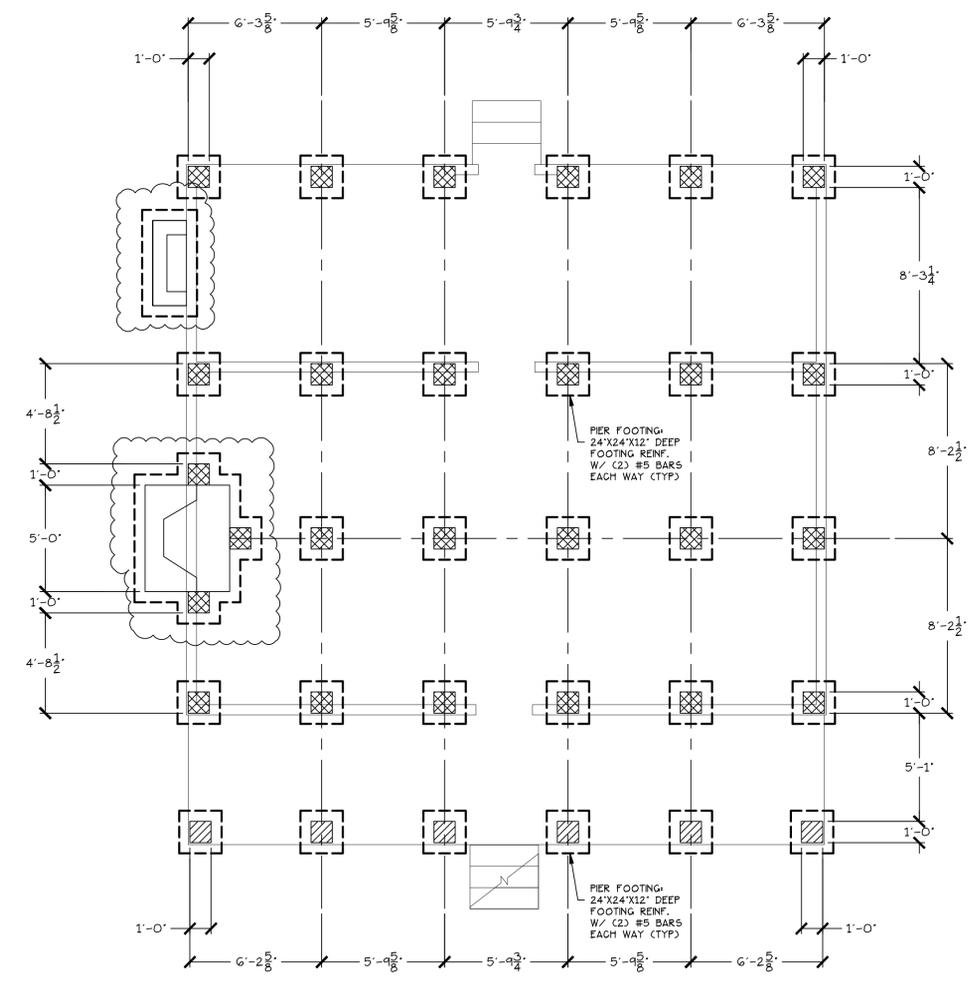


**MICHAEL H. HANCE, PE LLC**  
**STRUCTURAL ENGINEER**  
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 MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT	STRUCTURAL ASSESSMENT GARVIN HOUSE BLUFFTON, SC
TITLE	FOUNDATION/GIRDER PLAN

DWG NO:	<b>S1</b>
DATE:	March 5, 2015



**1 FOUNDATION PLAN**  
 S1 SCALE: 1/4" = 1'-0"

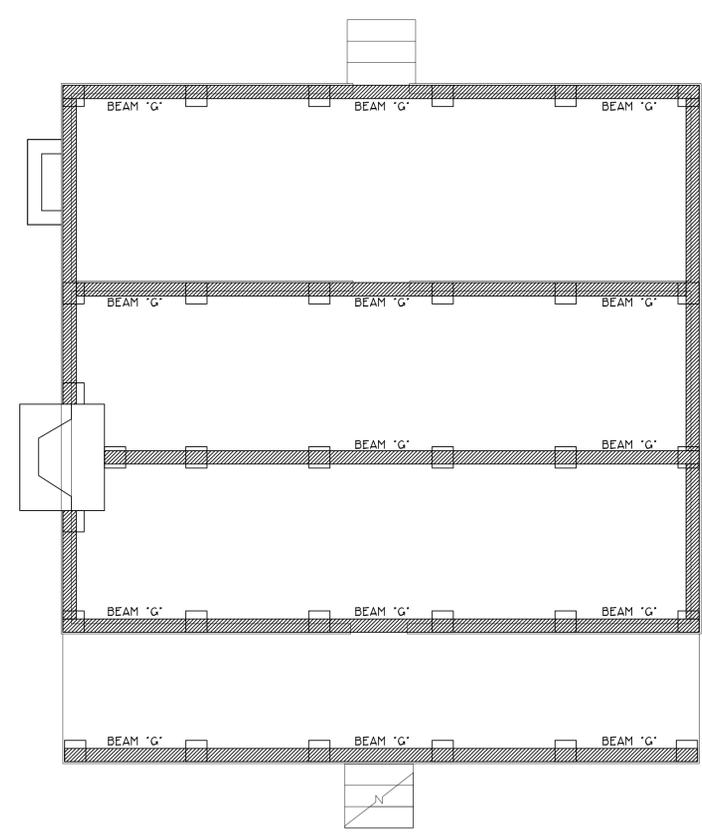
**FOUNDATION PIER LEGEND**

FRONT DECK: 12X12 SOLID BRICK PIERS. T.O.B. TO ALLOW FOR PORCH TRANSITION FROM FINISH FLOOR AND SLOPE TO EDGE. VERIFY WITH ARCH.

EXISTING STRUCTURE AND REAR ADDITION: NEW 8X16 CMU PIERS. TOP OF BLOCK TO ALLOW NEW FINISH FLOOR TO MATCH EXISTING. VERIFY WITH ARCH.

**KEY:**

INDICATES CENTERLINE OF 12"x12" BRICK PIER UNLESS OTHERWISE NOTED



**2 GIRDER SILL PLAN**  
 S1 SCALE: 1/4" = 1'-0"

**BEAM SCHEDULE:**

BEAM "A" - 6" H X 8" W PRESSURE TREATED GIRDER SILL.

**KEY:**

SEE BEAM SCHEDULE FOR SIZE AND DEPTH.



