

TOWN OF BLUFFTON



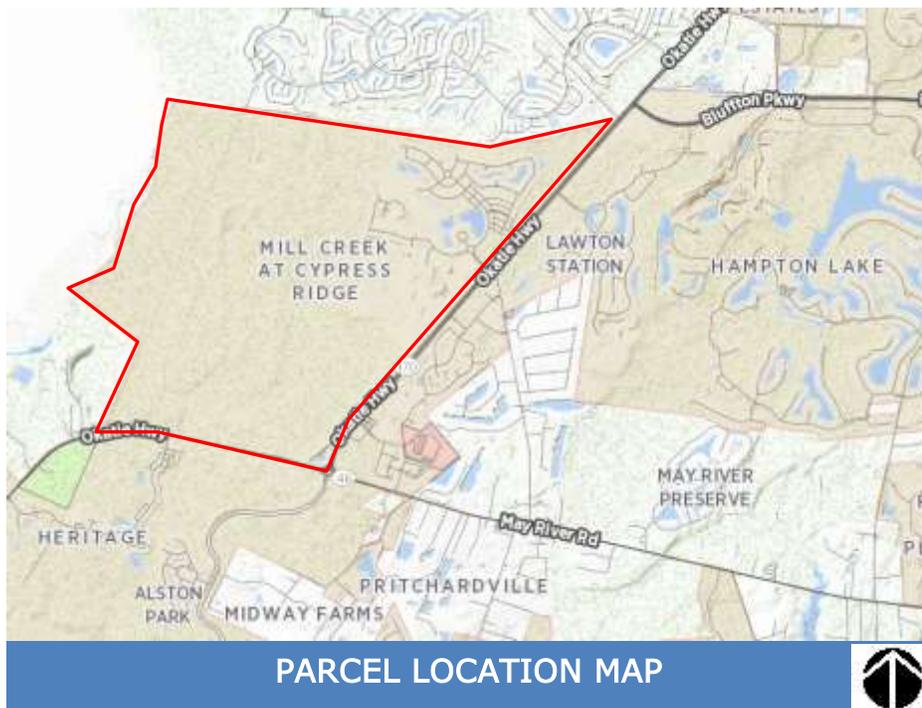
STAFF REPORT Department of Growth Management

MEETING DATE:	January 27, 2016
PROJECT:	Cypress Ridge Entrance Design Certificate of Appropriateness Highway Corridor Overlay
PROJECT MANAGER:	Kendra Lelie, AICP Director of Growth Management

APPLICATION REQUEST: The Applicant, Josh K. Tiller, on behalf of the parcel owner DR Horton, requests that the Planning Commission approve the following application:

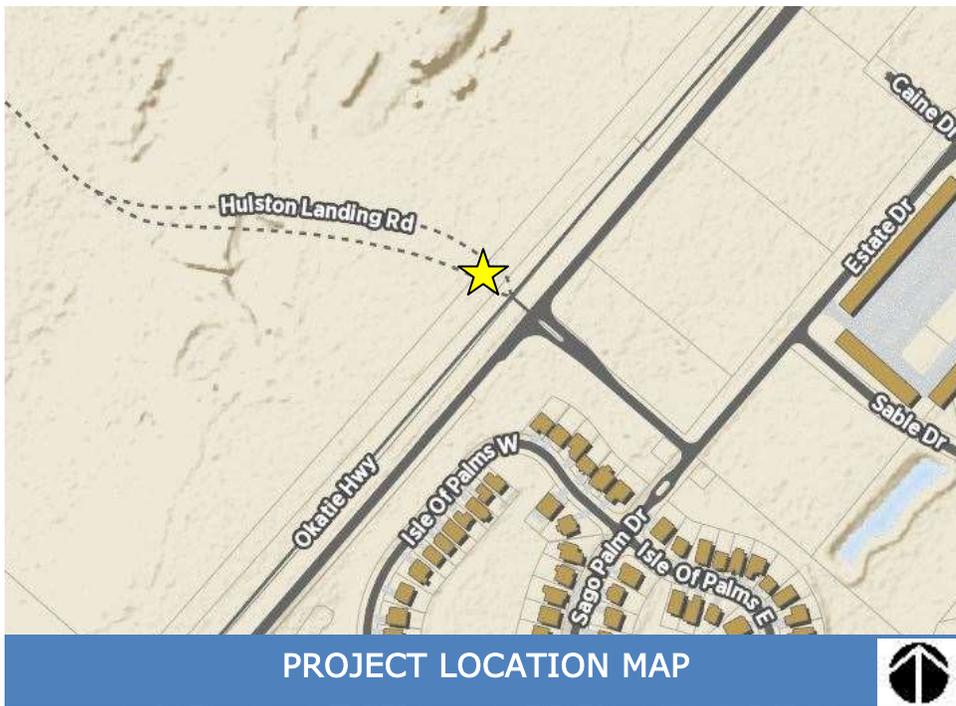
1. **COFA-01-16-9477.** A Certificate of Appropriateness to permit the entrance design for the Cypress Ridge development including new landscaping, lighting and sign installation. The Cypress Ridge entrance is located at the intersection of Highway 170 and Hulston Land Road, is zoned PUD and within the Jones Estate PUD and Cypress Ridge Master Plan.

INTRODUCTION: The conceptual plan for the Jones Estate PUD was approved by Bluffton Town Council in June 21, 2000. As approved, the plan organized the 4,400 acre Jones tract into planning areas to provide for the regulation and arrangement of land uses as well as the allotment of densities. The subject parcel is located within the Cypress Ridge Master Plan planning area which was approved by Town Council on February 23, 2005.



The Applicant is proposing the improvement of one of three Cypress Ridge entrances with egress and ingress to Route 170. The subject entrance is located at the intersection of Hulston Land Road and Route 170.

The Applicant is requesting approval of a Certificate of Appropriateness – Highway Corridor Overlay application which is subject to review by the Planning Commission providing authority over the architectural, landscaping, and lighting design only.



PLANNING COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.C.6. of the Unified Development Ordinance, the Planning Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Planning Commission are required to consider the criteria set forth in Section 3.17.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness- HCO. These criteria are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Section 3.17.3.A. The proposed development must be in conformance with applicable landscaping, lighting, and architectural provisions provided in Article 5, Design Standards.

- a) *Finding*. The project is located in the Jones Tract PUD and is part of the Cypress Ridge Master Plan. There are specific design standards established by the PUD via the Beaufort County 1990/3 Zoning and Development Standards Ordinance and the Highway Corridor Overlay District (HCOD) within of the 2000 Town of Bluffton Zoning and Development Standards Ordinance (BZDSO) which are attached to the PUD. As a result, the design criteria of Article 5 of the current Unified Development Ordinance does not apply to this proposal.
2. Section 3.17.3.B. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.

The property is located in the Jones Tract PUD and is identified on the Cypress Ridge Master Plan as an open space land use. As a result, the property is subject to the Beaufort County 1990/3 Zoning and Development Standards Ordinance and the Town of Bluffton Zoning and Development Standards Ordinance and Design Guidelines contain architectural, landscaping, and lighting design standards for properties located in the Highway Corridor Overlay District (HCOD).

A. JONES ESTATE PUD/PUD CONCEPT PLAN

The Jones Estate PUD refers to the Beaufort County 1990/3 Zoning and Development Standards Ordinance (ZDSO) and The Town of Bluffton Zoning and Development Standards Ordinance Highway Corridor Overlay District (HCOD) for development standards.

Landscaping

- 1) Finding – Highway Buffers. Section 5.15.8(B) of the BZDSO requires a 25' wide landscaped buffer parallel to the entire front of the property along the highway right-of-way and contain vegetative landscaping materials. While the applicant is proposing to preserve the existing Live Oaks (4) within the 50' highway corridor buffer area, no additional plantings are proposed for the area along the highway right-of-way. The applicant shall comply with the requirement to provide a landscape buffer plan that will achieve a semi-continuous and semi-opaque vertical plane of tree canopy, understory trees and shrubbery coverage.
- 2) Finding – Landscaping. Section 5.15.8 9(C.2) of the BZDSO requires a minimum of six (6) broad-leaved overstory trees, seven (7) understory trees, and thirty (30) shrubs for every 100 linear feet for frontage on the highway. The applicant shall provide a planting plan that confirms compliance with this requirement. Existing vegetation may be used in the calculation in meeting this requirement.

Lighting

- 1) *Finding – Lighting.* Section 5.15.11 (D) of the BZDSO permits lighting for entrances to developments provided such lighting does not exceed the foot-candle requirements for lighting as provided in Section 4.23.3 (C.2.4) of the BZDSO. The lighting plan shall be revised to include foot-candle information to ensure compliance is achieved.

B. PUD MASTER PLAN

The Cypress Ridge Master Plan document refers to the Jones Estate PUD for design standards.

- 1) *Finding. Cypress Ridge Master Plan.* The property is noted in the Cypress Ridge Master Plan, at the western edge of the Town of Bluffton boundary. The intent for development is to create a community that recognizes the basic character of the Low Country and the quality of life that makes Beaufort County both unique and appealing.

As there are no the design guidelines established in the Cypress Ridge Master Plan for the site, no additional design review was performed.

C. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS

The Declaration of Covenants, Conditions, and Restrictions for the Cypress Ridge Master Plan.

- 1) *Finding. Declaration of Covenants, Conditions, and Restrictions for Buckwalter Crossroads.* The applicant shall confirm conformance with the covenants and restriction which are recorded with the Cypress Ridge Master Plan with an approval from the Declarant.
3. Section 3.17.3.C. The application must comply with applicable requirements in the Application Manual.
 - a. *Finding.* The application has been reviewed by Town Staff and has been determined to be complete and that it meets all requirements of the Applications Manual.

TOWN STAFF RECOMMENDATION: Town Staff finds that with the conditions noted below, the requirements of Section 3.17.3 of the Unified Development Ordinance will be met and recommends that the Planning Commission approve the application with the following conditions:

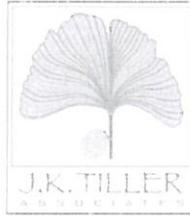
1. Landscape.
 - a. Per Section 5.15.8(B) of the BZDSO, provide the required plantings within the buffer area.
 - b. Per Section 5.15.8 9(C.2) of the BZDSO indicate the required plantings per 100 linear feet are provided.

2. Lighting
 - a. Per Section 5.15.11 (D) of the BZDSO, provide the foot-candle illumination information to ensure compliance with Section 4.23.3 (C.2.4) of the BZDSO.

3. Additional Requirements.
 - a. Signage Permits must be submitted to the Town of Bluffton for review and approval for the signage proposed at each site in the proposed development.
 - b. Approval from the Cypress Ridge Master Plan Declarant responsible for the covenants and restrictions for the community.

ATTACHMENTS:

1. Narrative
2. Landscape Plan Package



January 7, 2016

**DR Horton
CYPRESS RIDGE
ENTRANCE DESIGN**

Narrative – Certificate of Appropriateness – Highway Corridor Overlay (HCO)

This is a Certificate of Appropriateness- Highway Corridor Overlay application for the Cypress Ridge Entrance located at the intersection of Highway 170 and Hulston Landing Road & Highway 170 and zoned PUD (Cypress Ridge PUD/Jones Estate PUD). This application is required to install, modify, or remove landscaping, lighting, or architectural elements within the HCO District within 500' of the Highway 170 ROW as defined in the Cypress Ridge and Jones Estate PUDs. The submitted plans provide the conceptual design for landscaping, lighting and monument signs (Both the new sign and the replacement for the existing sign located at Mill Creek Boulevard).

COMMUNITY CONCEPTS

The original Cypress Ridge PUD Master Plan was originally approved by Bluffton Town Council on April 13, 2005. At that time, Mill Creek and Cypress Ridge, though part of the same Master Plan, were intended to be two separate communities. Mill Creek, as it exists today, was planned to be a dense mixed use village planned community. Cypress Ridge was initially planned to be a less dense gated golf course community. After the economic downturn, the demand for golf course communities plunged, so the Cypress Ridge PUD Master Plan was revised to convert the golf course to lakes and open space. With the elimination of the golf course, the developer decided to combine the two separate communities into one and rebrand the entire community as Cypress Ridge. The existing entrance (formerly Mill Creek) has a more village/urban feel that creates a transition from Highway 170 to the village streetscape of the yet to be developed village located at the existing gateway to the community. In contrast, the proposed new entrance for Cypress Ridge reflects the water oriented park-like development proposed for the southern half of the community.

ENTRANCE PLANNING

The project plans were developed in accordance with the Jones Estate PUD and Cypress Ridge PUD Master Plan, as amended. Access points, wellands, archeology and storm water methods have been coordinated in accordance with the Cypress Ridge Master Plan. The project monument signage, landscaping, lighting and development standards meet the Town of Bluffton Zoning and Development Standards Ordinance (ZDSO) approved with the Jones Estate PUD. Applicable site design standards have been met as set forth under the Jones Estate PUD and Development Agreement.

The site is currently under development. Lagoons, horizontal infrastructure including stormwater BMPs, roads, curbs and medians shown on the attached plans are already permitted and in the process of construction and nearing completion. Tree cover consists of hardwoods including some beautiful specimen trees. Careful attention to the existing specimen trees allowed for their incorporation into the planning of the entrance. The property drains west towards the New River. The entrance is bounded to

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the east by Highway 170, to the west by wetlands, to the north by Phase 7 of Cypress Ridge and to the south by future development within the Cypress Ridge PUD.

DESIGN INTENT

The Highway 170 corridor between Bluffton and Beaufort is one of the most picturesque corridors in the Lowcountry, if not, the entire state. It can be described as a series of long marsh filled vistas peppered with moss covered canopy oaks. As you travel along the corridor, your vistas and corridor edges are defined as a series of solids and voids (canopied tree lined solids and long marsh filled voids).

In keeping with the Highway 170 corridor appeal, the entrance to Cypress Ridge uses the concept of solids and voids to mimic the character of the Highway 170 corridor experience. The entrance design is enhanced by two sets of butterfly lagoons that provide long water filled vistas with the backdrop of natural wetlands and native vegetation providing a natural buffer to the future development of Cypress Ridge. In addition, the preserved specimen oaks enhance the natural character of the site. Both elements reveal to the public the character of the Cypress Ridge community hidden within. In contrast to the urban entrance to the former Mill Creek village, this entrance has the feel of entering a park. A mixture of lawns, plantings, trails, existing tree canopies and water features add to the creation of the park-like character. At night, subtle lighting will enhance the presence of the existing oaks and water features. In addition, the entrance monument sign reflects a more nature oriented park vernacular.

The entrance design concept protects the architectural and historical heritage of the Town of Bluffton by maintaining the design precedent set forth within the Highway 170 corridor. It also enhances the Town's cultural image, strengthens the property values, will attract new residents, businesses and tourists, creates and reflects the corridor's sense of place, promotes community unity, creates a climate for attracting investment and protects open space.

The monument sign materials and colors are compatible with the Lowcountry or coastal vernacular palette as required in Article 5.14 of the UDO.

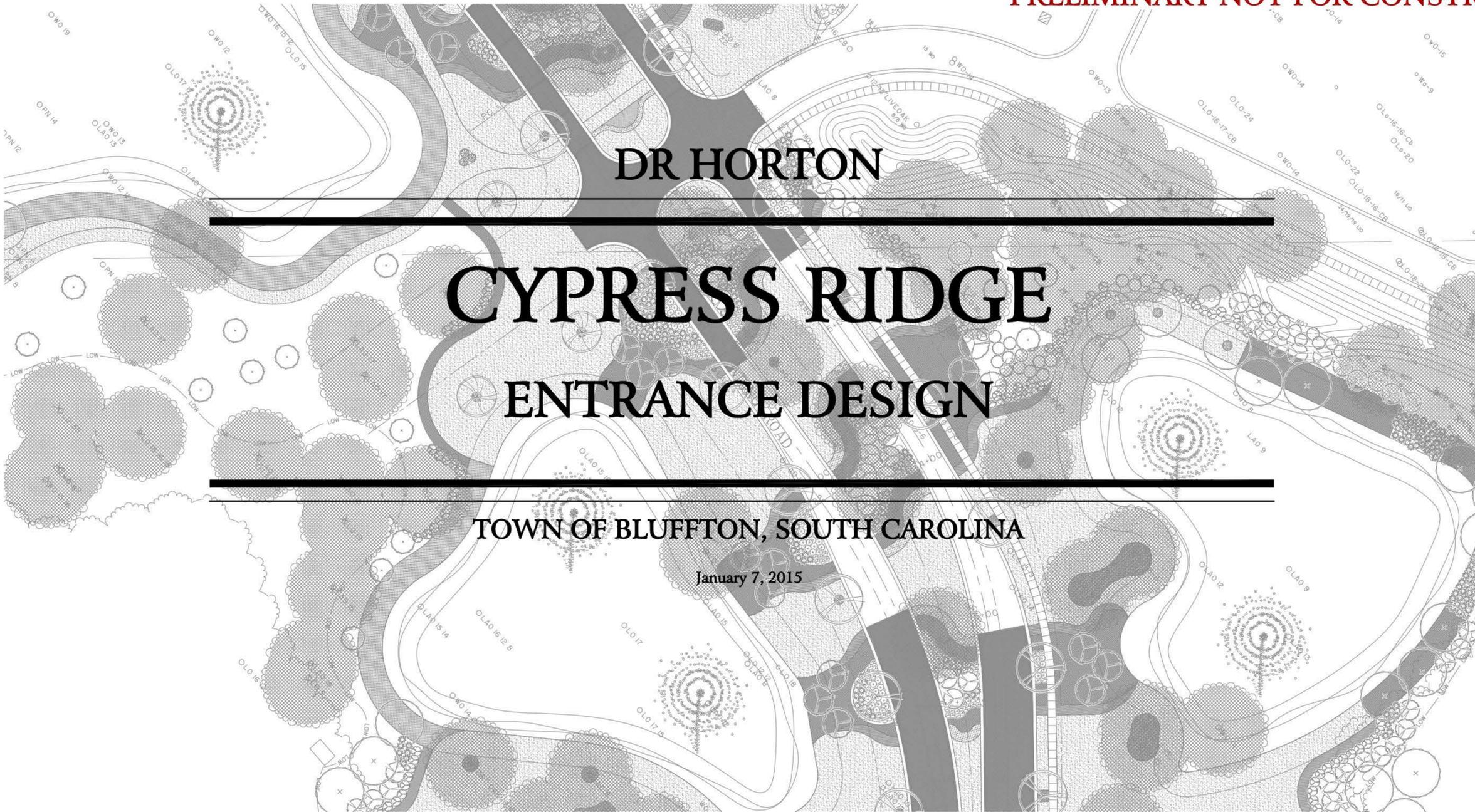
The proposed Cypress Ridge entrance conceptual design complies with the UDO and Jones Estate PUD as illustrated in the attached plans, illustrations and studies.

Regards,



Josh K. Tiller, PLA, ASLA
Vice President

PRELIMINARY NOT FOR CONSTRUCTION



J. K. TILLER ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 TEN PINKNEY COLONY ROAD SUITE 101 BLUFFTON, SC 29909
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 jtiller@jtiller.com



CYPRESS RIDGE ENTRANCE
 LANDSCAPE PLANS
 Town of Bluffton, South Carolina

Sheet Title:
 Cover Sheet
Job Number:
 201505-01
Date:
 January 7, 2015
Drawn:
 JKT
Approved:
Revisions:

Sheet
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 Of 11

DR HORTON

CYPRESS RIDGE
ENTRANCE DESIGN

TOWN OF BLUFFTON, SOUTH CAROLINA

January 7, 2015

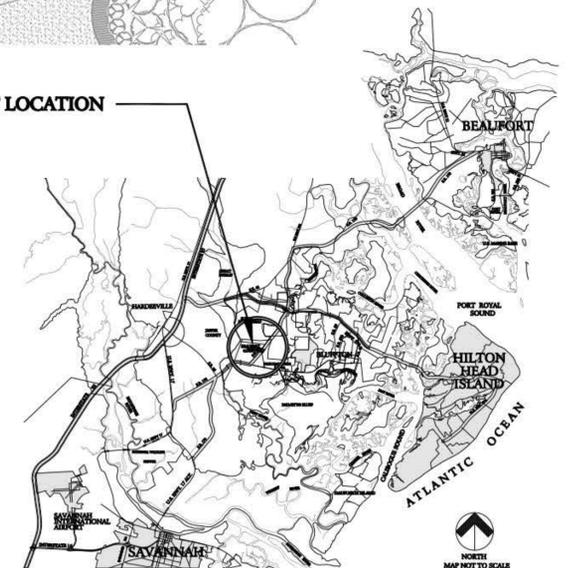
SHEET INDEX

- C6 COVER SHEET
- S1 SHEET LAYOUT
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE PLAN
- L3 LANDSCAPE PLAN
- L4 LANDSCAPE PLAN
- L5 LANDSCAPE PLAN
- L6 LANDSCAPE PLAN
- P6 PLANT SCHEDULE
- LP LIGHTING PLAN
- M6 MONUMENT SIGN

GENERAL NOTES:

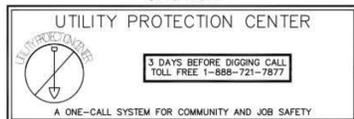
1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. JK TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS, REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE.
4. ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM THOMAS AND HUTTON ENGINEERING (17028 10B03-REVISED POINTS-FIX.DWG 3/10/2015).
5. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
6. THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
7. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY LOCAL PLANNING, ZONING AND BUILDING CODE AUTHORITIES.
9. JK TILLER ASSOCIATES, INC. THE OWNER'S AND / OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY REQUIREMENTS.
11. THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
12. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
13. ALL WORKMANSHIP AND INSTALLATION FOR ALL TRADES SHALL MEET OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND/OR ALL NATIONAL, STATE, AND LOCAL CODES.
14. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY JK TILLER ASSOCIATES, INC. AND THE OWNER OR OWNER'S REPRESENTATIVE.

PROJECT LOCATION



JKT JOB NUMBER: 201505-01

CAUTION



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14.35 Ac

L1

L2

L3

L4

L5

L6

500' HCOB SETBACK

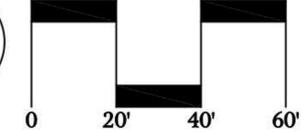
HULSTON LANDING ROAD

← TO HWY 46 HIGHWAY 170 TO BEAUFORT →

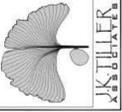


NORTH

GRAPHIC SCALE



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CYPRESS RIDGE ENTRANCE
LANDSCAPE PLAN
Town of Bluffton, South Carolina

Sheet Title:
SHEET LAYOUT

Job Number:
201505-01

Date:
December 3, 2015

Drawn:

Approved:

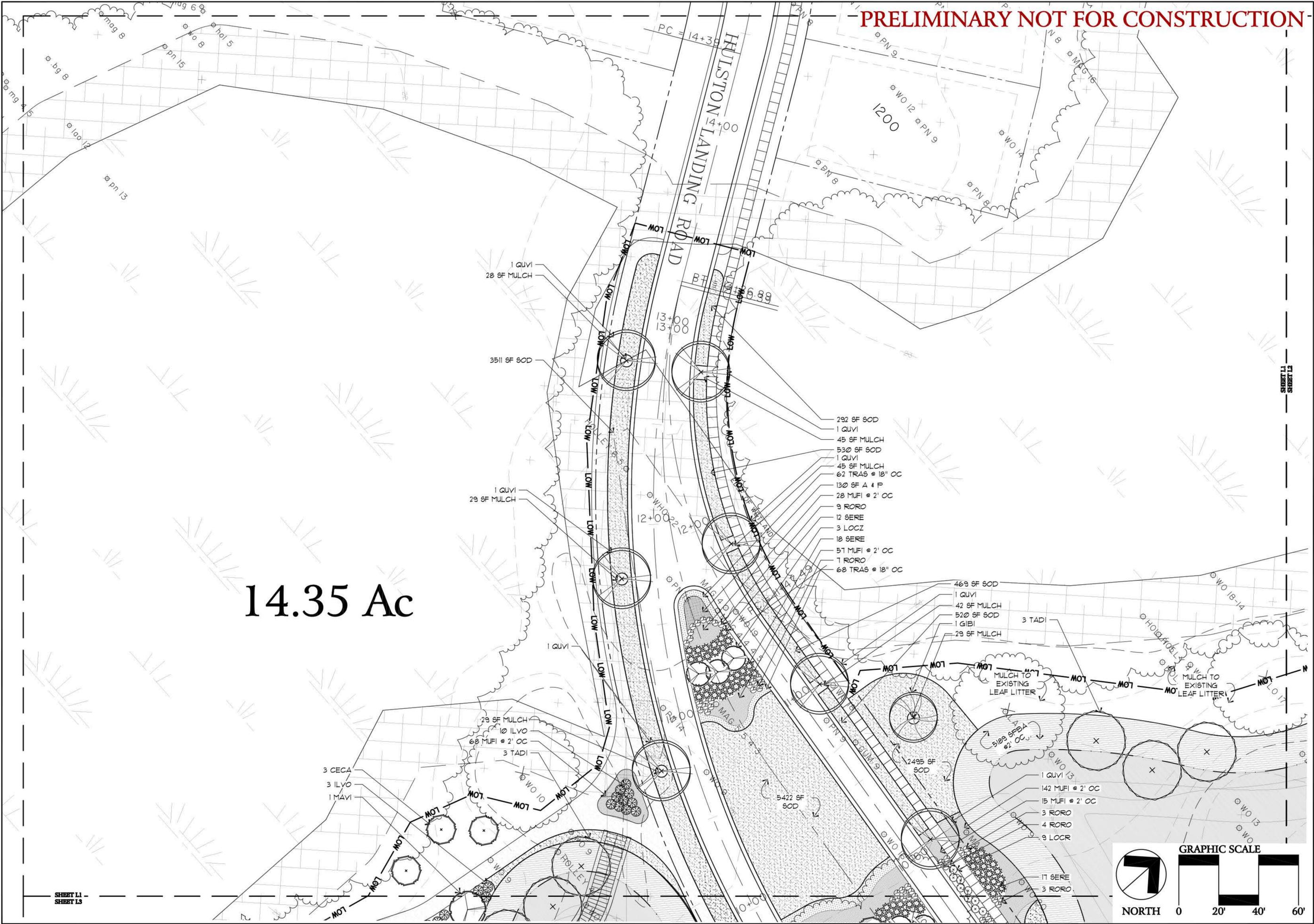
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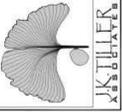
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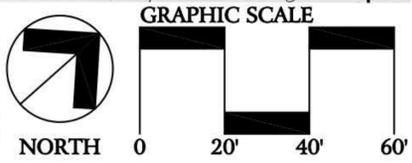
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CYPRESS RIDGE ENTRANCE
 Landscape Plan
 Town of Bluffton, South Carolina

Sheet Title:
Planting Plan
Job Number:
201505-01
Date:
November 3, 2015
Drawn:
Approved:
Revisions:

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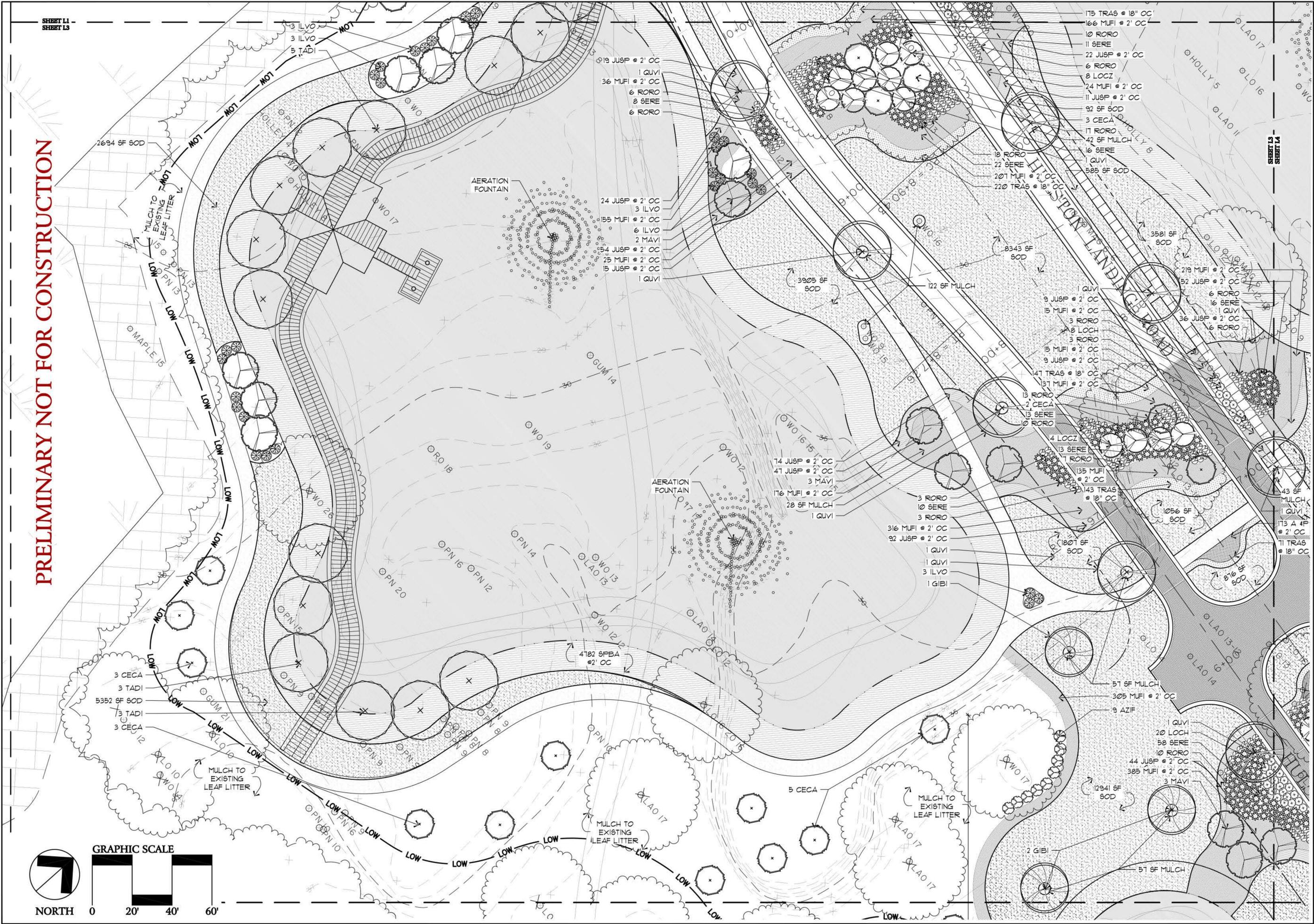


SHEET L1
 SHEET L3

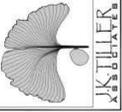
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 SHEET L3

SHEET L1
SHEET L3

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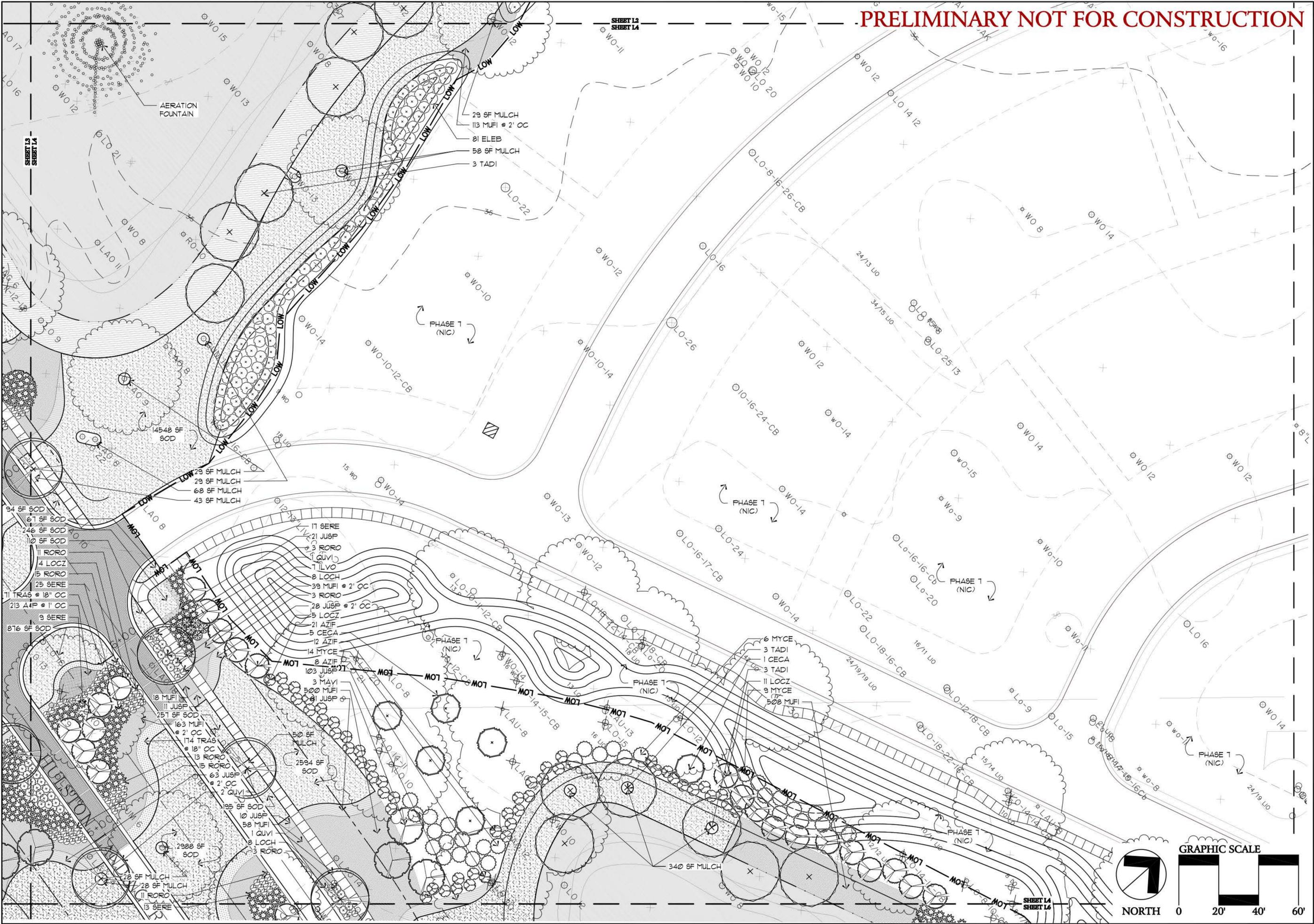


CYPRESS RIDGE ENTRANCE
 Planting Plan
 Town of Bluffton, South Carolina

Sheet Title:
Planting Plan
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201505-01
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December 3, 2015
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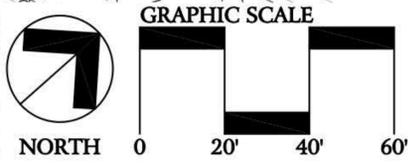
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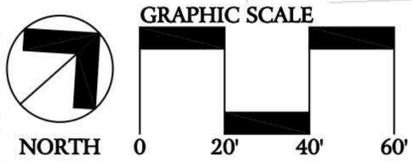
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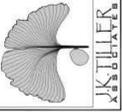
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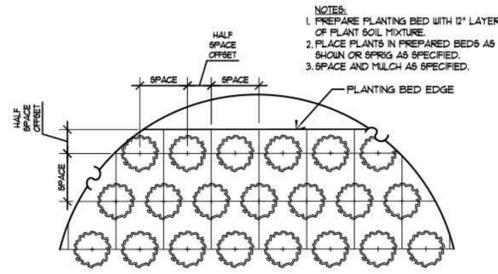
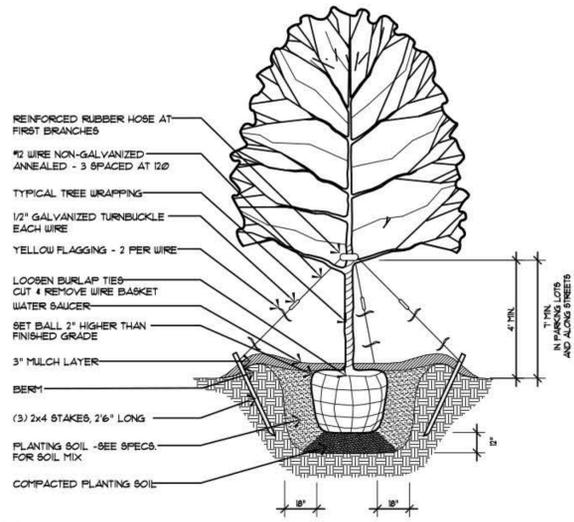
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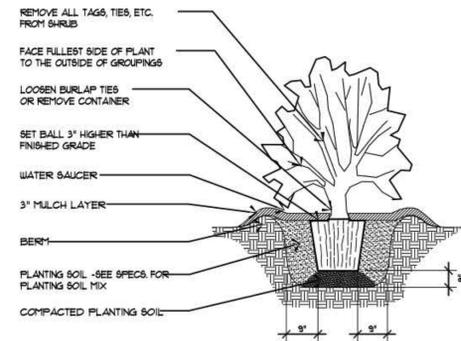
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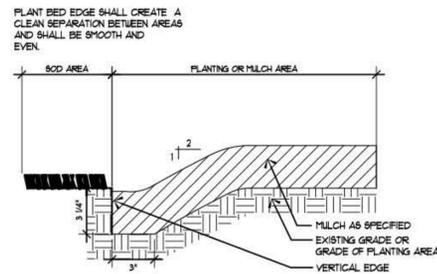


1 Tree Planting
 L# Not to Scale

4 Ground Covers, Annuals & Perennials
 L# Not to Scale



2 Shrub Planting
 L# Not to Scale



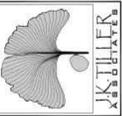
3 Sod / Plant Bed Edge Detail
 L# Not to Scale

PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOTS	NOTES
TREES								
CECA	29	<i>Cercis canadensis</i>	Eastern Red Bud	2"-3"	8'-10'	-	Cont.	Full
GIBI	4	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2"-3"	8'-10'	4'-6'	Cont.	Full
LOZC	68	<i>Loropetalum chinense</i> 'Zhuzhou'	Zhuzhou Loropetalum	Multi-Trunk	7'	5'-6'	B4B.	Treeform, available MC Makin Farms
MAYI	21	<i>Magnolia virginiana</i>	Sweet Bay Magnolia	2"-3"	10'-12'	-	Cont.	Full, Multi-trunk
MYCE	31	<i>Myrica cerifera</i>	Wax Myrtle	-	6'-8'	6'-8'	20 Gal. Cont.	Full
QUVI	26	<i>Quercus virginiana</i> 'Highrise'	High Rise Live Oak	4"	12'-14'	8'-10'	Cont.	Full
TADI	41	<i>Taxodium distichum</i>	Bald Cypress	2"-3"	10'-12'	4'-6'	Cont.	Full
SHRUBS								
AZIF	106	<i>Azalea x encore</i>	Encore Azalea	-	3'-4'	3'-4'	1 Gal. Cont.	Full
ELEB	124	<i>Elaeagnus pungens</i>	Silverthorn Elaeagnus	-	2'-3'	2'-3'	3 Gal. Cont.	# 2' O.C.
ILVO	41	<i>Ilex vomitoria</i>	Yaupon Holly	2"	8'-10'	3'-4'	Cont.	Full
LOCH	92	<i>Loropetalum chinense</i> 'Ruby'	Ruby Chinese Fringe Flower	-	3'-4'	3'-4'	1 Gal. Cont.	Full
RORO	348	<i>Rosa x 'Radtke'</i>	Double Knock Out Rose	-	2'-3'	2'-3'	3 Gal. Cont.	Full, Red Flowers, 3' O.C.
SERE	455	<i>Serenoa repens</i>	Saw Palmetto	-	2'-3'	2'-3'	5 Gal. Cont.	4'-6' O.C.
ORNAMENTAL GRASSES								
MUFI	6586	<i>Muhlenbergia filipes</i>	Gulf Muhly Grass	-	18"-24"	-	3 Gal. Cont.	# 2' O.C.
SPBA	10712	<i>Spartina bakeri</i>	Bend Cordgrass	-	2'-3'	-	3 Gal. Cont.	# 3' O.C.
GROUND COVERS, VINES + PERENNIALS								
A 4 P	644	Annuals and Perennials	Annual Color	-	-	-	Quart.	Annuals and Perennials for seasonal color
JUSP	1555	<i>Juniperus squamata</i> 'Parsonii'	Parson's Juniper	-	8'-12"	18"-24"	3 Gal. Cont.	# 3' O.C.
TRAS	1641	<i>Trachelooperum asiaticum</i>	Asiatic Jasmine	-	6"-12"	-	1 Gal. Cont.	# 18" O.C.
SOD								
SOD	150,052	<i>Cynodon dactylon</i> 'Celebration'	Celebration Bermuda Grass					
MULCH + IRRIGATION								
MULCH	100%	All Plant Beds	3" DEEP LONGLEAF PINE STRAW MULCH					
IRR	100%	COVERAGE OF ALL PLANT BED AND SOD AREAS						

PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINE STRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "A 4 P" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.



Sheet Title:
 Planting Schedule, Notes and Details

Job Number:
 201505-01

Date:
 January 7, 2016

Drawn:
 JKT

Approved:

Revisions:

Sheet

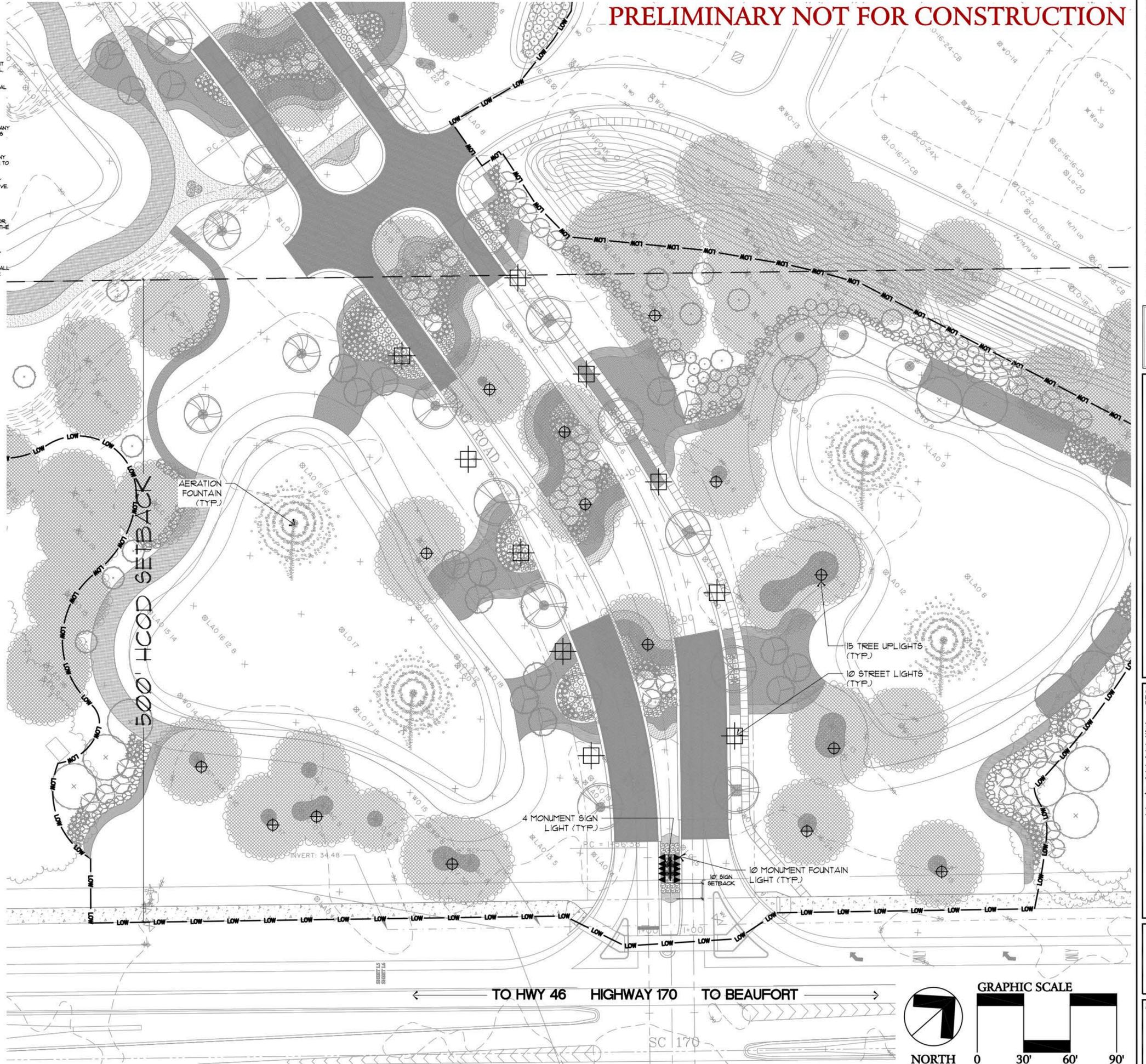
PRELIMINARY NOT FOR CONSTRUCTION

ELECTRICAL NOTES:

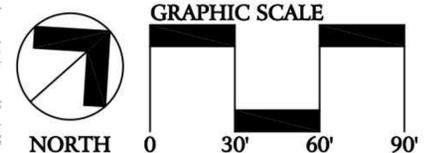
1. THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL, UNDISTURBIVE SITE LIGHTING AND ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
2. THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION, AND CONTROL SYSTEM.
3. THE CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO FINAL INSTALLATION.
4. FINAL DIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
5. THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO ANY PERMANENT INSTALLATION.
6. THE CONTRACTOR SHALL STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR PVC SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO INSTALLATION FOR EASY IDENTIFICATION.
7. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACK FILL NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIED EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
9. ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION. FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
10. THE CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE, AND LOCAL CODES.
11. THE CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO EXISTING UTILITY PANEL AND TRANSFORMER.
12. ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
13. THE CONTRACTOR SHALL USE EXTREME CARE TO AVOID ANY DAMAGE TO EXISTING TREES OR OTHER PLANT MATERIALS DURING INSTALLATION.
14. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY JUSTIFY ANY MODIFICATION TO THE PLANS.
15. IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
16. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTIONS/ APPROVALS REQUIRED.
17. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACK FILL NECESSARY TO COMPLETE THE WORK.
18. THE CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
19. SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR SHALL BE GUARANTEED, AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.

LEGEND

SYMBOL	QTY.	TYPE	IMAGE	PRODUCT DESCRIPTION
	4	LIGHTED AERATION FOUNTAIN • FOR POOD AERATION • FOR VISUAL APPEAL		MODEL: CELESTIAL STANDARD SCORPIO FOUNTAIN • 10 HP • 60HZ • 8" LIGHT SET • HT X DIA = 25" X 10" MANUFACTURER: AQUAMASTER 8624 COUNTY RD X, KEL, WI 53045 1-800-693-3444
	10	MONUMENT FOUNTAIN LIGHT • TO BE USED FOR ILLUMINATING FOUNTAIN TEK BUBBLERS		MODEL: FOUNTAIN TEK M855 LED • COOL WHITE STAINLESS STEEL LED WHITE • 6 WATT • 12 VOLT • 36" CORD MANUFACTURER: FOUNTAIN TEK NORTH FORT MYERS, FL (739) 566-5267
	4	MONUMENT SIGN LIGHT • TO BE USED FOR ILLUMINATING THE MONUMENT SIGN		MODEL: FOUNTAIN TEK M855 LED • COOL WHITE STAINLESS STEEL LED WHITE • 9 WATT • 12 VOLT • 36" CORD MANUFACTURER: FOUNTAIN TEK NORTH FORT MYERS, FL (739) 566-5267
	10	SCE 4 G STREET LIGHTS AND POLES • TO BE USED FOR ILLUMINATING TRAVEL LANES AND SIDEWALK		LIGHT MODEL: SCE 4 G "ROUND" - HIGH-END GLASS FIXTURE • 100 WATT LED • COLOR: BLACK POLE MODEL: SCE 4 G 14" "CHARLESTON SMOOTH" • ONE-PIECE ALL-ALUMINUM • FLUTED UPPER BASE PATTERN RESTING ON DECORATIVE CURVED BASE • COLOR: BLACK • MATCHES EXISTING COMMUNITY LIGHTS AND POLES
	5	TREE UPLIGHTS • TO BE USED FOR ILLUMINATING EXISTING TREE CANOPY		MODEL: PHILIPS HADCO DESIGNER SPOTLIGHT DIP-5V • J-BOX MOUNT • DISTRIBUTION: PAR30 • WATTAGE: 39W (METAL HALIDE) • 120 VOLTS • FINISH: BLP (BLACK PAINT) • CUTOFF HOOD TO ELIMINATE GLARE ON VEHICULAR TRAFFIC



TO HWY 46 HIGHWAY 170 TO BEAUFORT

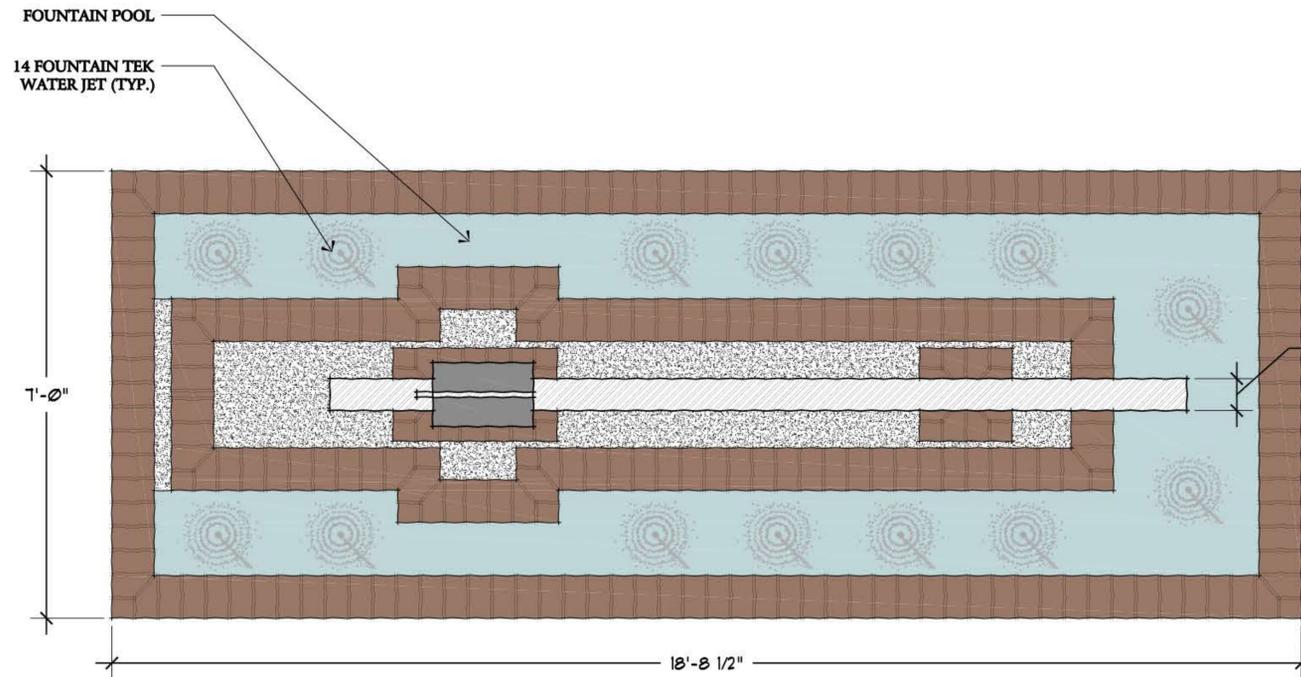


J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
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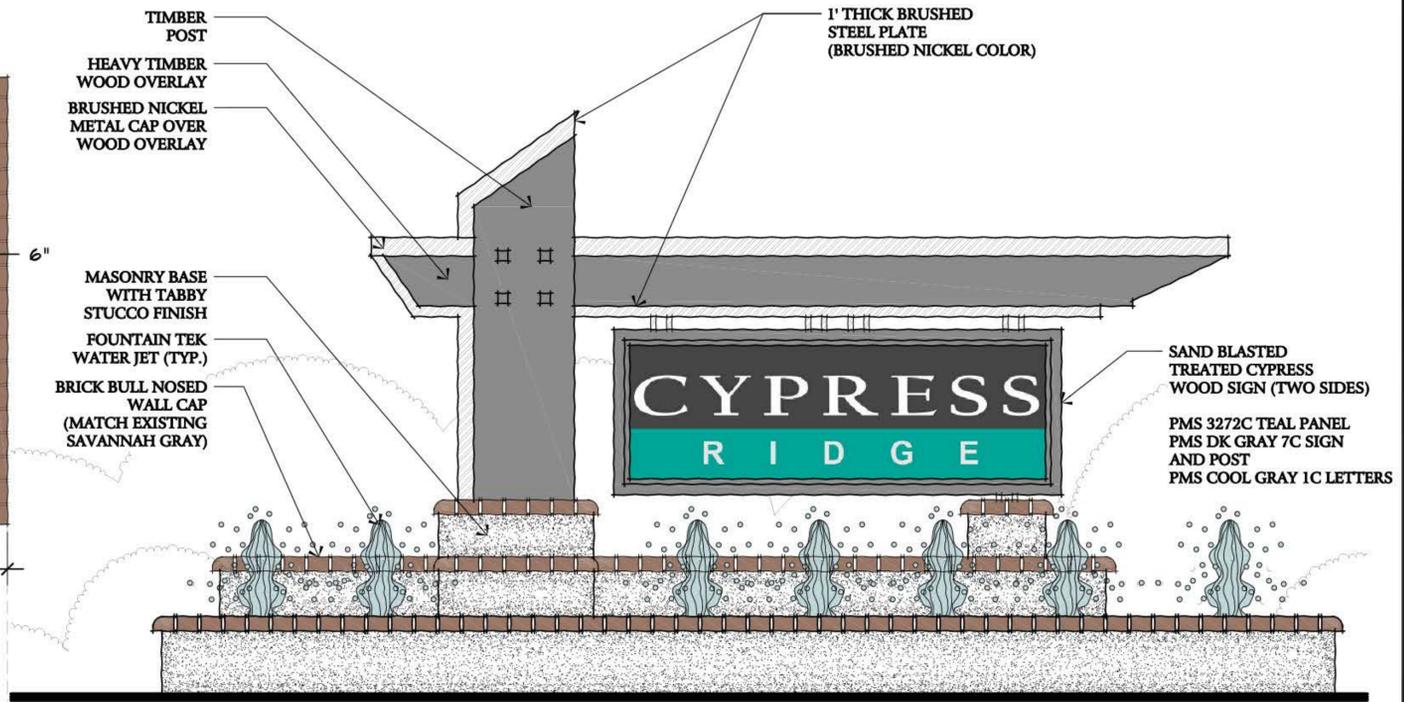
CYPRESS RIDGE ENTRANCE
Lighting Plan
Town of Bluffton, South Carolina

Sheet Title:
Electrical Plan
Utility Plan
Job Number:
201505-01
Date:
January 7, 2015
Drawn:
JKT
Approved:
Revisions:

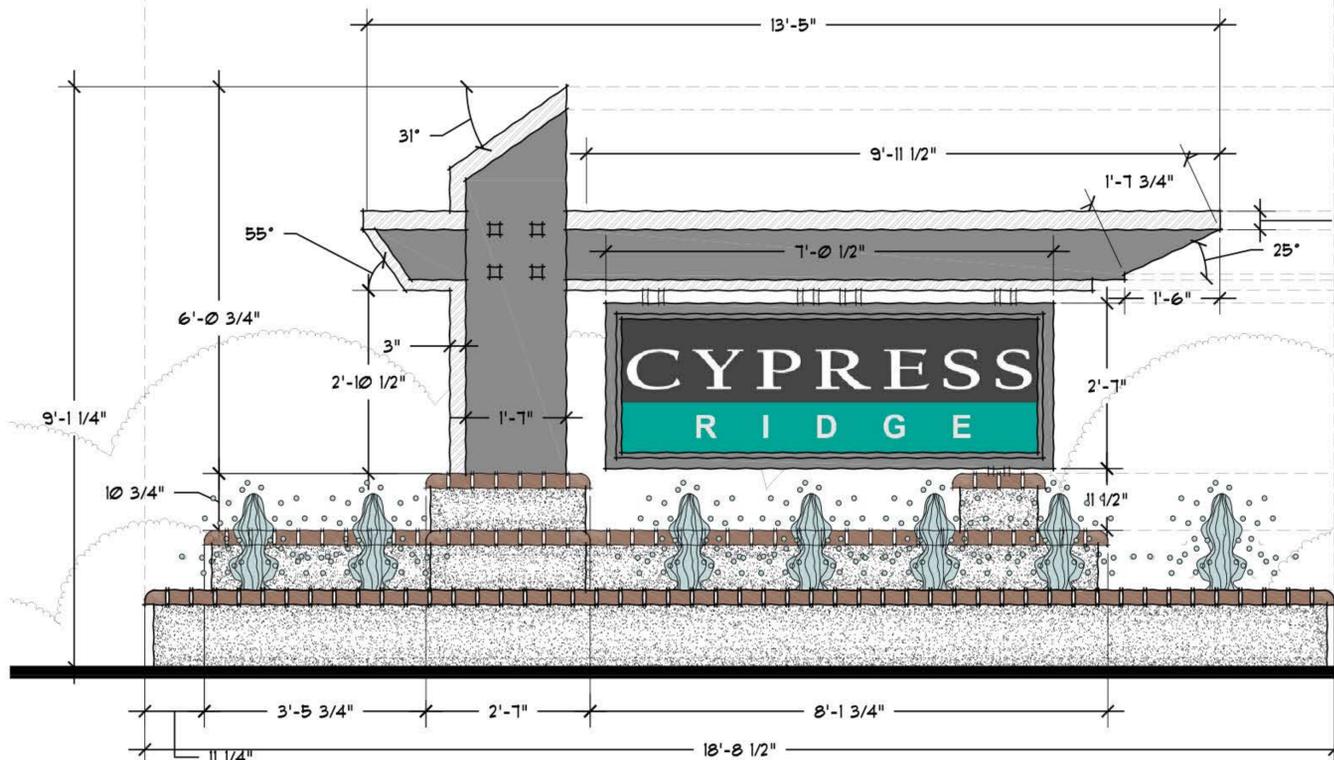
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LP
Of 11



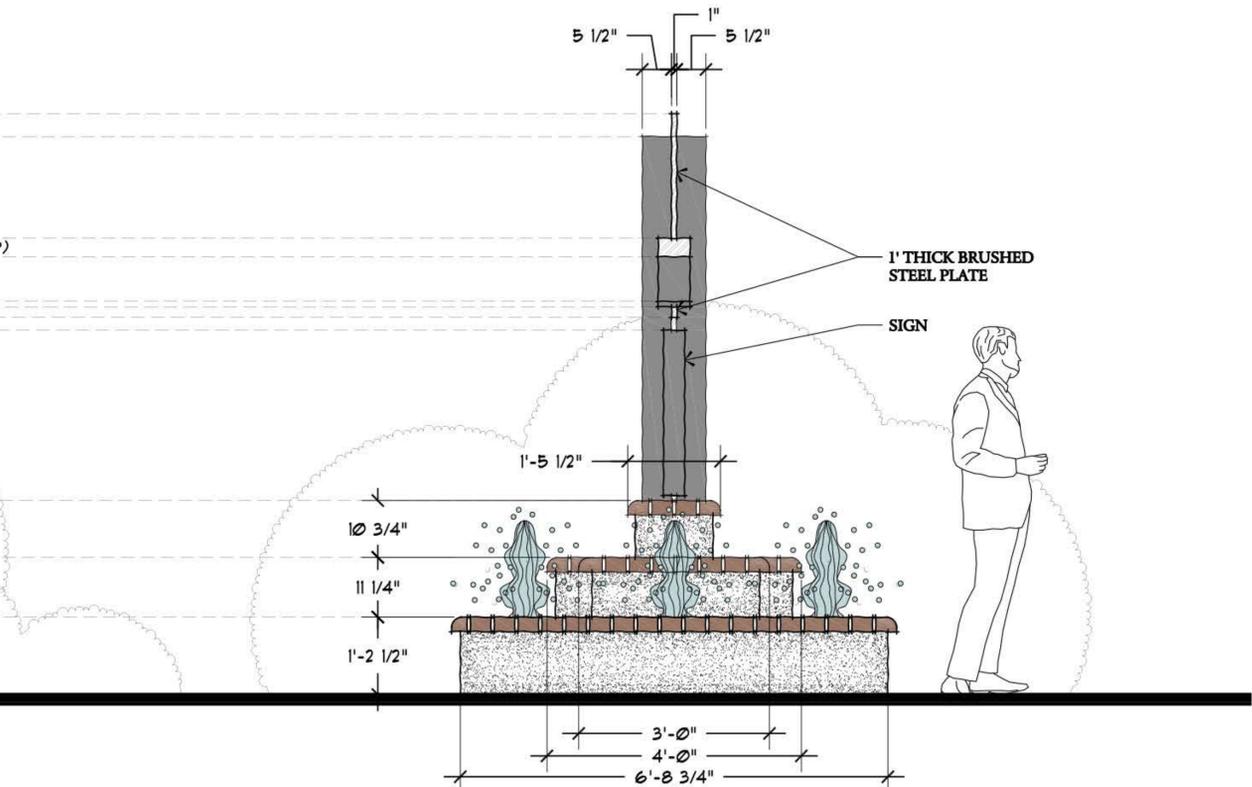
PLAN SCALE: 3/4" = 1' - 0"



MATERIALS SCALE: 3/4" = 1' - 0"

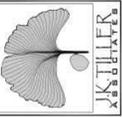


SIDE ELEVATION SCALE: 3/4" = 1' - 0"



FRONT ELEVATION SCALE: 3/4" = 1' - 0"

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CYPRESS RIDGE ENTRANCE
 Monument Sign Conceptual Plan
 Town of Bluffton, South Carolina

Sheet Title:
 Monument Sign
 Conceptual Plan

Job Number:
 201505-01

Date:
 January 7, 2015

Drawn:
 JKT

Approved:

Revisions:

Sheet

MS
 Of 11