

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	September 7, 2015
PROJECT:	Lot 31, 5917 Ginkgo Lane – New Construction: Single-Family Residential
APPLICANT:	Court Atkins Architects, Inc.
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Court Atkins Architects, Inc., on behalf of Stephanie and Rick Simmons, request that the Historic Preservation Commission approve the following application:

1. **COFA-7-16-9914.** A Certificate of Appropriateness to allow the construction of a single family residence of approximately 2,875 SF and a carriage house of approximately 1,060 SF on the currently undeveloped lot located at 5917 Ginkgo Lane (Lot 31) in the Stock Farm development in the in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD.

INTRODUCTION: The Applicants are proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,875 SF, has attributes of the Center Hall Building Type, but is not 2 full stories or similar to Seven Oaks in building composition, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 1,060 SF which meets the design standards for that building type (Carriage House).

The main house structure is a modified gabled ell with a 2-story forward facing facing gable projection at the front and rear with second story central dormer punctuating the ell roofline. The first floor has wrap around porches at both the front and rear with shed roofs.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a variety of roof types, front and rear porches, and a combination of typical material configurations. Additional architectural features and materials that are in keeping with the vernacular of Bluffton are the use of square columns with bases and capitals, corner board trim and water table trim, operable shutters and tabby stucco at the foundation wall and brick at the porch piers.

This project was presented to the Historic Preservation Review Committee for conceptual review at the July 25, 2016 meeting and comments were provided to the Applicant (See attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures

located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. The UDO specifies that appropriate materials for columns are wood, painted or natural; cast iron; concrete with smooth finish; brick and stone. While the project analysis notes wood for the column material, the architectural details note permacast, which is a fiberglass material. Fiberglass is not an approved material and must be revised to a permitted material.
 - 2) Section 5.15.6.M. Shutters. The UDO states that appropriate material for shutters is durable wood. While the project analysis notes wood for the shutter material, the architectural details note composite shutters. Composite material is not an approved material for shutter construction and must be revised to a permitted material.
 3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood.

The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

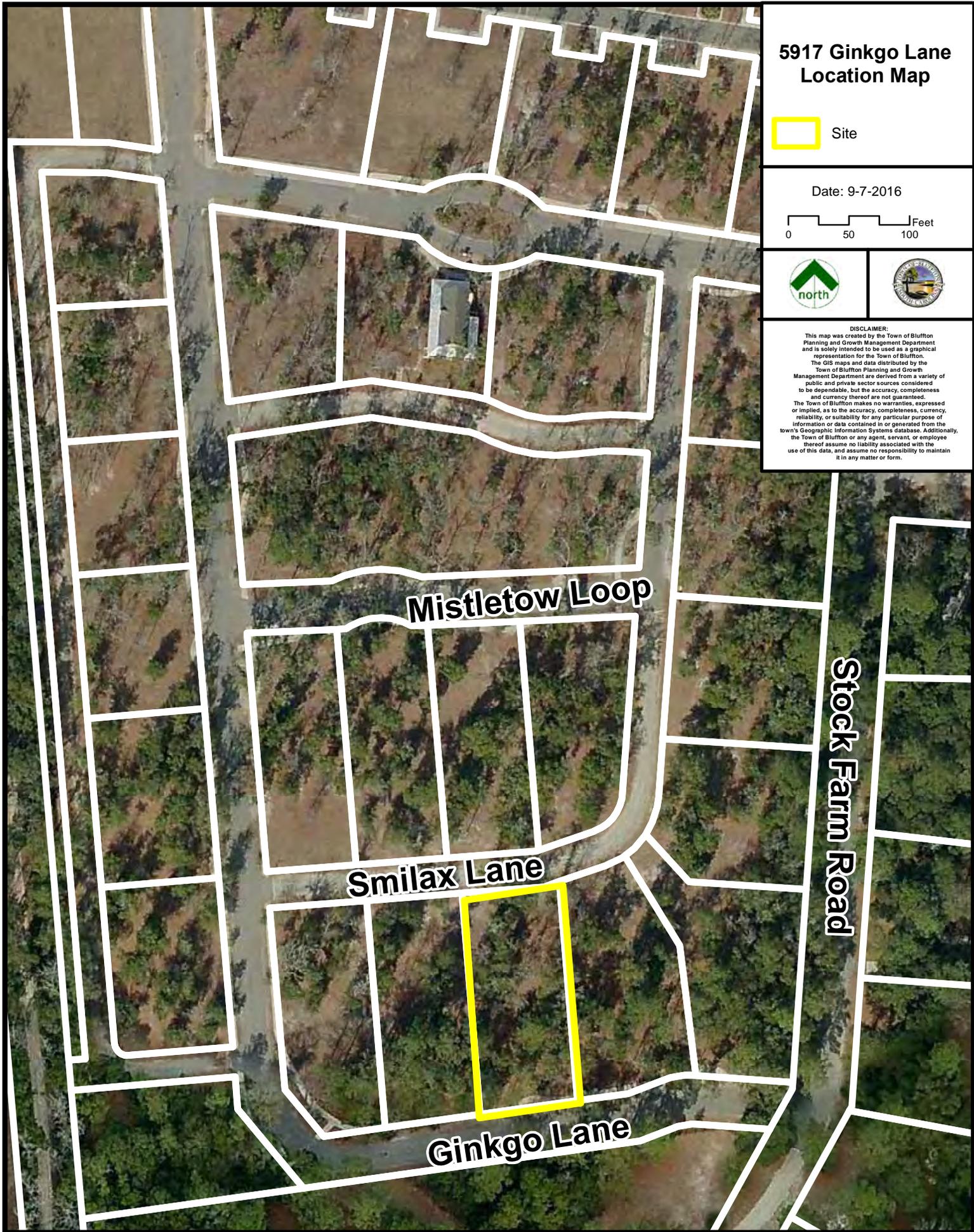
Finding. The application has been reviewed by Town Staff and has been determined to be complete. It appears that there are a number of trees over 14" in diameter that will require removal for the placement of the structure. A Town of Bluffton tree removal permit must be attained prior to any site clearing.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.
2. Section 5.15.6.H. of the UDO, the proposed column material must be revised to a permitted material.
3. Section 5.15.6.M. of the UDO, the proposed shutter material must be revised to a permitted material.

ATTACHMENTS:

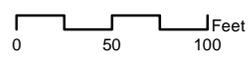
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. Approval Letter



5917 Ginkgo Lane Location Map

 Site

Date: 9-7-2016



DISCLAIMER:
This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton. The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

Mistletoe Loop

Smilax Lane

Ginkgo Lane

Stock Farm Road



5917 Gingko Lane New Construction Zoning Map

***** Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 9-7-2016



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August 08, 2016

Town of Bluffton
Department of Planning and Growth Management
Historic Preservation Commission
PO Box 386
Bluffton, SC 29910

Re: The Simmons Residence
Lot 31, Stock Farm Development
5917 Ginkgo Lane
Bluffton, SC 29910

Erin,

I am writing this letter on behalf of Mr & Mrs. Rick Simmons, and Court Atkins Group, as a request to be placed on the agenda for the next meeting of Historic Preservation Review Committee on 9/7/16. We are requesting final architectural approval/comments of the plans in the attached submittal. The following submittal package includes a set of the required final architectural drawings, a client letter of agency, the Certificate of Appropriateness Application, and a color board.

We have reviewed the comments & considerations made by the committee in your plan review letter dated 7/22/2016

- The building has been moved forward to meet the front build-to requirement of 30'. The front site setback is shown correctly on the site plan
- A Town of Bluffton Tree Removal Permit will be obtained by the general contractor at site prep.
- Materials are called out for the porch piers on the elevation sheets (A3.0 & A3.1).
- The doors are wood clad doors.
- We have updated the shutter dog to be type "S".
- The right elevation windows have been revised to have a better vertical rhythm
- This submittal does provide architectural details for typical window trim, railing, water table trim, corner boards, & eaves.
- A complete landscape plan is included in this submittal
- Vertical elevations and material callouts are provided.
- Due to economic requirements, additional foundation plantings have been added in lieu of a pier foundation system.

Please contact Kathy Allen in our office when the meeting schedule has been finalized. Should you have any questions or concerns please don't hesitate to call.

Sincerely,

Jennifer R. Foster, Architect
Project Manager
Court Atkins Group

cc: Stephanie Simmons
Rick Simmons
William Court
James Atkins
David Abney



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THE SIMMONS RESIDENCE
LOT 31, #5917 GINKGO LANE
STOCK FARM, BLUFFTON, SC 29910

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.S.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

FOUNDATION NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OF STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING FOUNDATION WALL LOCATIONS WITH FILL WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE. GRAVEL BASE AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:
THICKENED SLAB AT CRITICAL BEARING POINTS IS TO BE A MINIMUM OF 1'-0" DEEP BY 1'-8" WIDE, CENTERED ON WALL, UNLESS OTHERWISE NOTED, WITH (2) #5 REINFORCING BARS, CONTINUOUS WITH 66 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

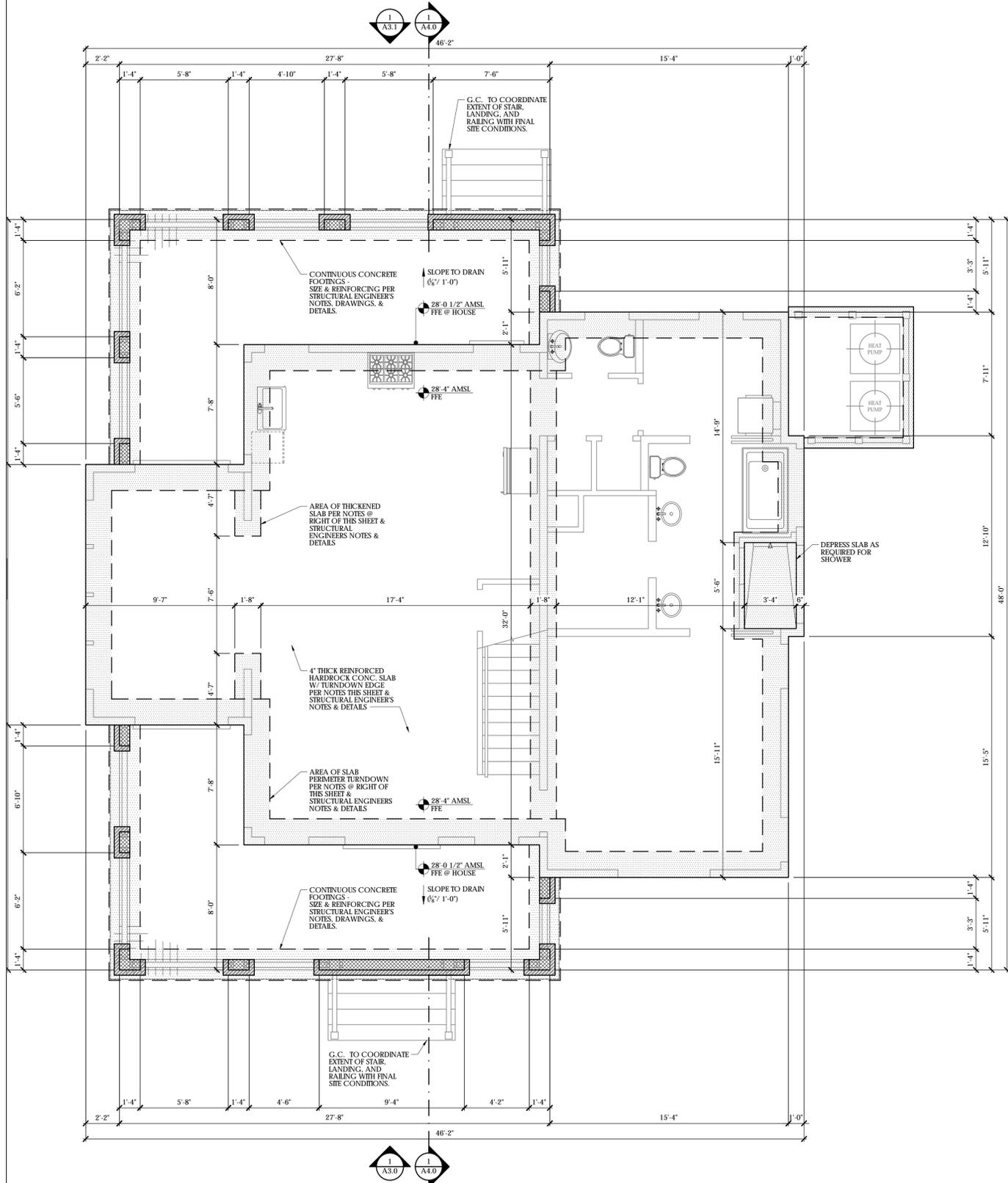
TYPICAL SLAB ON GRADE:
SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE ON 6 MIL. POLYETHYLENE VAPOR BARRIER WITH MINIMUM 16"x20" (20"x20" AT ANY TWO STORY LOCATIONS) TURNED DOWN EDGE (EXTENDING MINIMUM 1'-0" INTO UNDISTURBED SOIL WITH (2) #5 REINFORCING BARS, CONTINUOUS AND 66 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

TYPICAL REINFORCED CMU WALL WITH OR WITHOUT SLAB ON RAISED GRADE:
FOOTINGS AT CONCRETE MASONRY WALL ARE TO BE 12" DEEP x 24" WIDE (MAINTAIN 8" CLEAR FROM EDGE OF BLOCK TO EDGE OF FOOTING ON BOTH SIDES). CAST IN PLACE CONCRETE WITH (3) #5 REINFORCING BARS, CONTINUOUS, AND #5 BARS AT 3'-8" O.C. EXTENDING TO MINIMUM 2'-0" OVERLAP WITH REINFORCING IN CMU WALL. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4. CONCRETE MASONRY UNIT WALL IS TO BE CONSTRUCTED OF 8" x 8" x 16" BLOCK WITH HORIZONTAL BED REINFORCING AT 8" O.C. AND #5 REINFORCING BARS AT 2'-8" O.C. WITH DOWELS TO MATCH. (WITH 2'-0" MINIMUM OVERLAP FROM FOOTING TO TOP OF CMU WALL. FILL ALL CELLS. SEE TYPICAL SLAB ON GRADE NOTES FOR CAST IN PLACE CONCRETE SLAB REQUIREMENTS (SEE STRUCTURAL ENGINEERING DOCUMENTS FOR CONNECTION DETAILS).

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS (SEE DETAILS FOR FINISHES)

KEY

	8' CMU WALL
	BRICK VENEER
	CMU WALL FOOTING
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB
	CONCRETE SLAB
	BACKFILL DIRT
	6' WALL
	4' WALL
	BUNDLED STUD ABOVE
	ENG. BEAM BY OTHERS TYP.



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ISSUE	DATE	DESCRIPTION
PROJECT # :	16-077	
PROJECT CONTACT :	JF/LW	
DATE:	08/05/2016	

FOUNDATION
PLAN
A2.0



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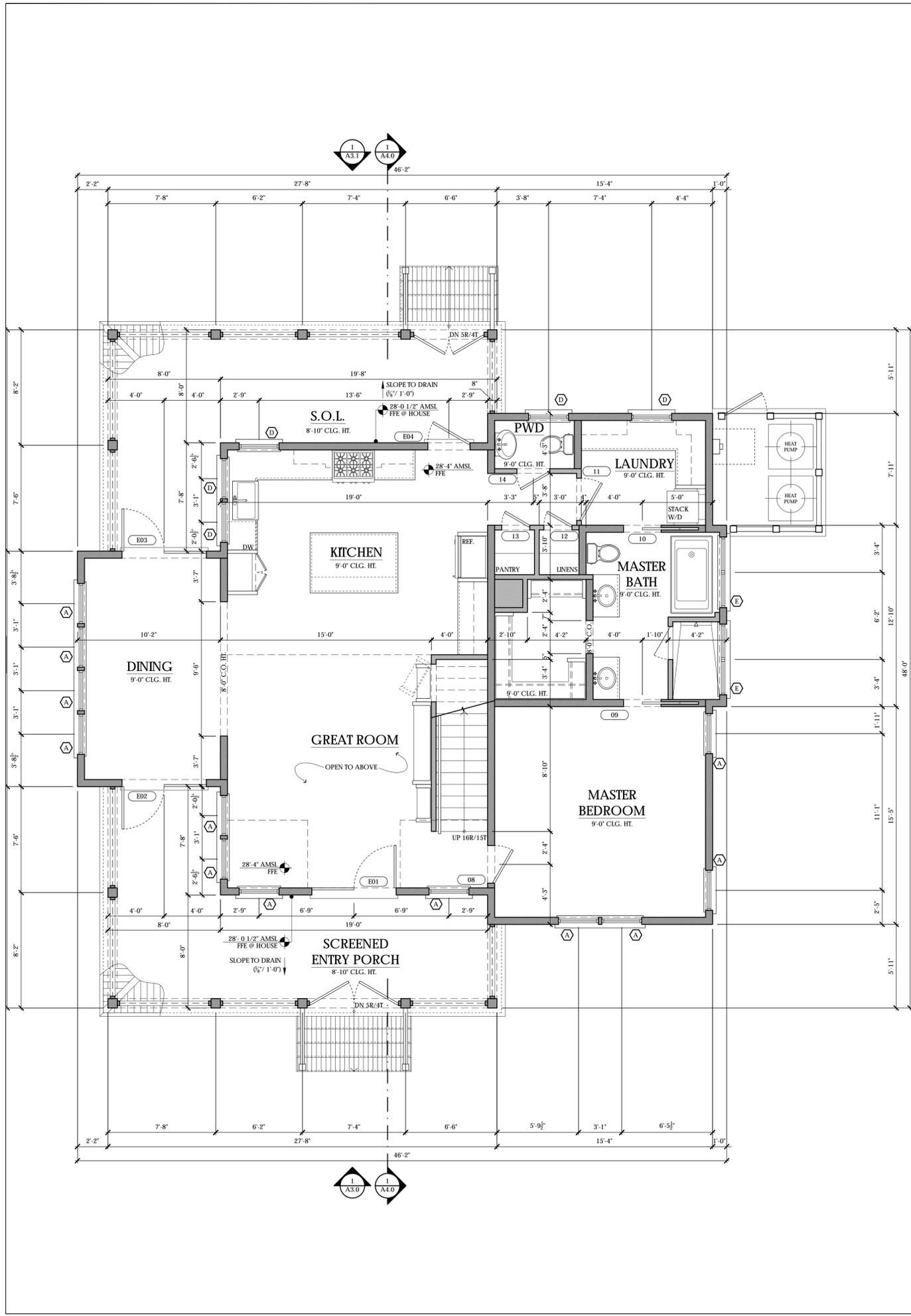
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ISSUE	DATE	DESCRIPTION

PROJECT #: 16-077
PROJECT CONTACT: JF/LW
DATE: 08/05/2016

FIRST
FLOOR PLAN
A2.1



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
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CABINET & EQUIPMENT NOTES:
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FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:
WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.
INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLED AND NAILED ON 2" x 4" SLEEPER SYSTEM WHERE STONE IS NOT USED, THICK SET STONE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLED AND NAILED ON 14" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLED AND NAILED ON 12" MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLED AND NAILED ON 2x10 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
5/4" T&G PLYWOOD, GLED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

KEY

- 8' CMU WALL
- BRICK VENEER
- CMU WALL FOOTING
- CONCRETE TURN-DOWN EDGE / THICKENED SLAB
- CONCRETE SLAB
- BACKFILL DIRT
- 6' WALL
- 4' WALL
- BUNDLED STUD ABOVE
- ENG. BEAM BY OTHERS TYP.



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SECOND
FLOOR PLAN
A2.2

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

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5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GULLED AND NAILED ON 2x10 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)

5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GULLED AND NAILED ON 2x10 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SMJ) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

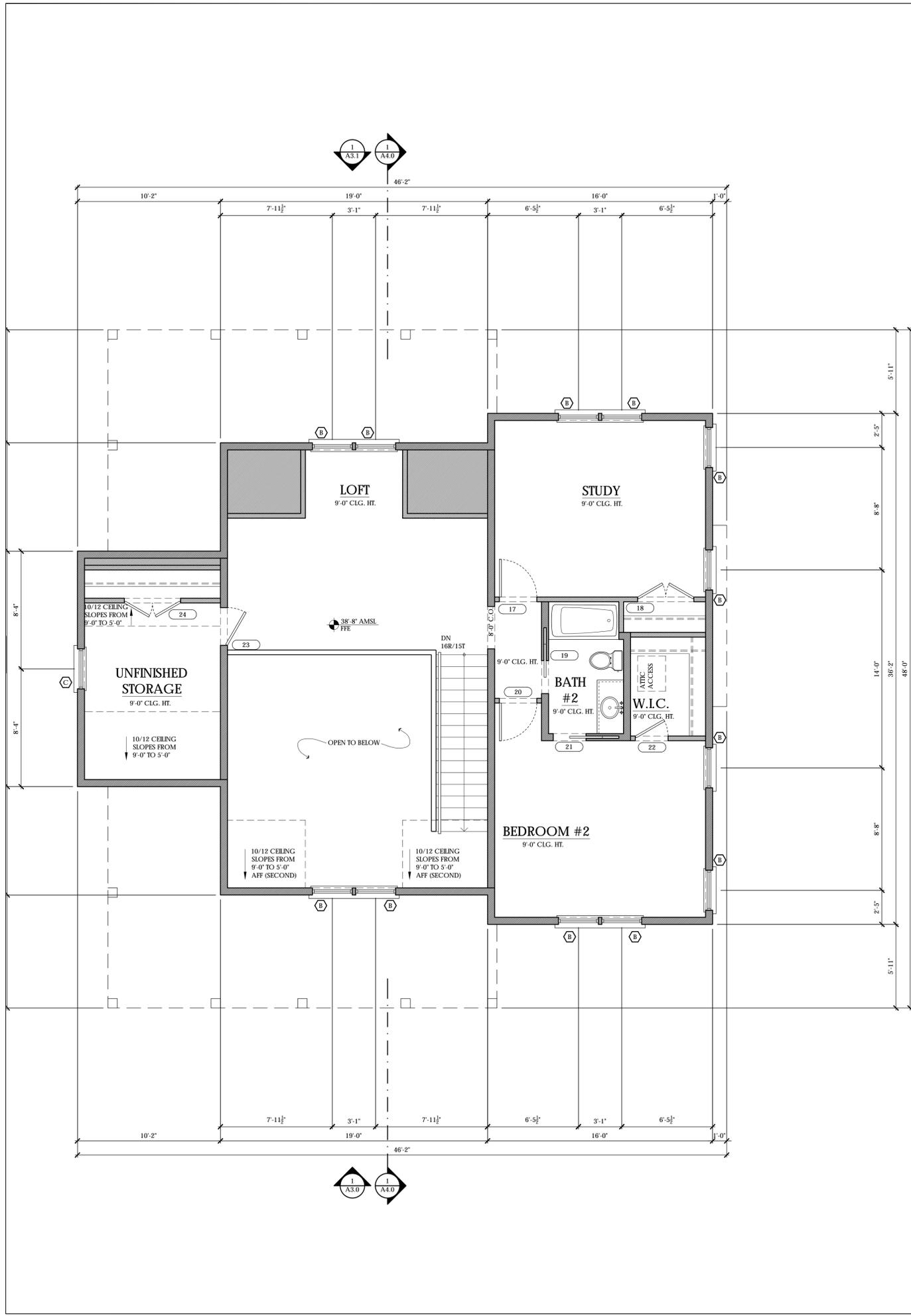
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:

1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

KEY	
	8" CMU WALL
	BRICK VENEER
	CMU WALL FOOTING
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB
	CONCRETE SLAB
	BACKFILL DIRT
	6" WALL
	4" WALL
	BUNDLED STUD ABOVE
	ENG. BEAM BY OTHERS TYP.





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THE SIMMONS RESIDENCE
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STOCK FARM, BLUFFTON, SC 29910

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PROJECT CONTACT :	JF/LW	
DATE :	08/05/2016	

ROOF PLAN
A2.3

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED BY COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPPSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS

FRAMING IS TO BE AS FOLLOWS:

WALLS:

EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON P.T. 2x4 SLEEPER SYSTEM WHERE STONE IS NOT USED, THICK SET STONE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 14' OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

BONUS ROOM FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 12' MANUFACTURED TRUSS JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:

5/4" x 6" P.T. T&G WOOD DECKING (OR SYNTHETIC EQUIVALENT), GLUED AND NAILED ON 2x10 P.T. WOOD JOIST SYSTEM AT 16" O.C. (OR SPECIFIED INTERVALS) SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

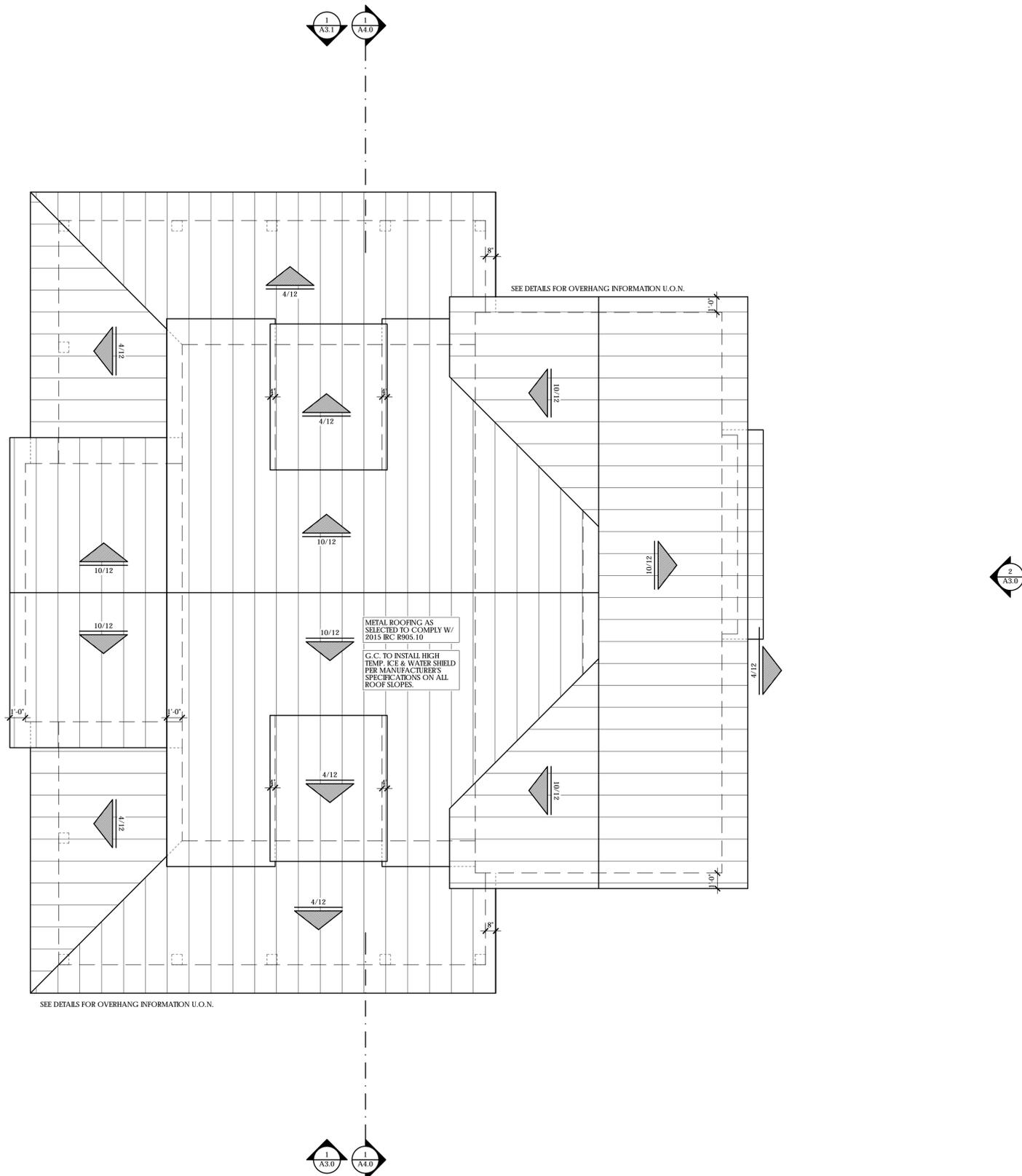
ROOF RAFTERS:

1/2" EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

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KEY

	8" CMU WALL
	BRICK VENEER
	CMU WALL FOOTING
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB
	CONCRETE SLAB
	BACKFILL DIRT
	6" WALL
	4" WALL
	BUNDLED STUD ABOVE
	ENG. BEAM BY OTHERS TYP.



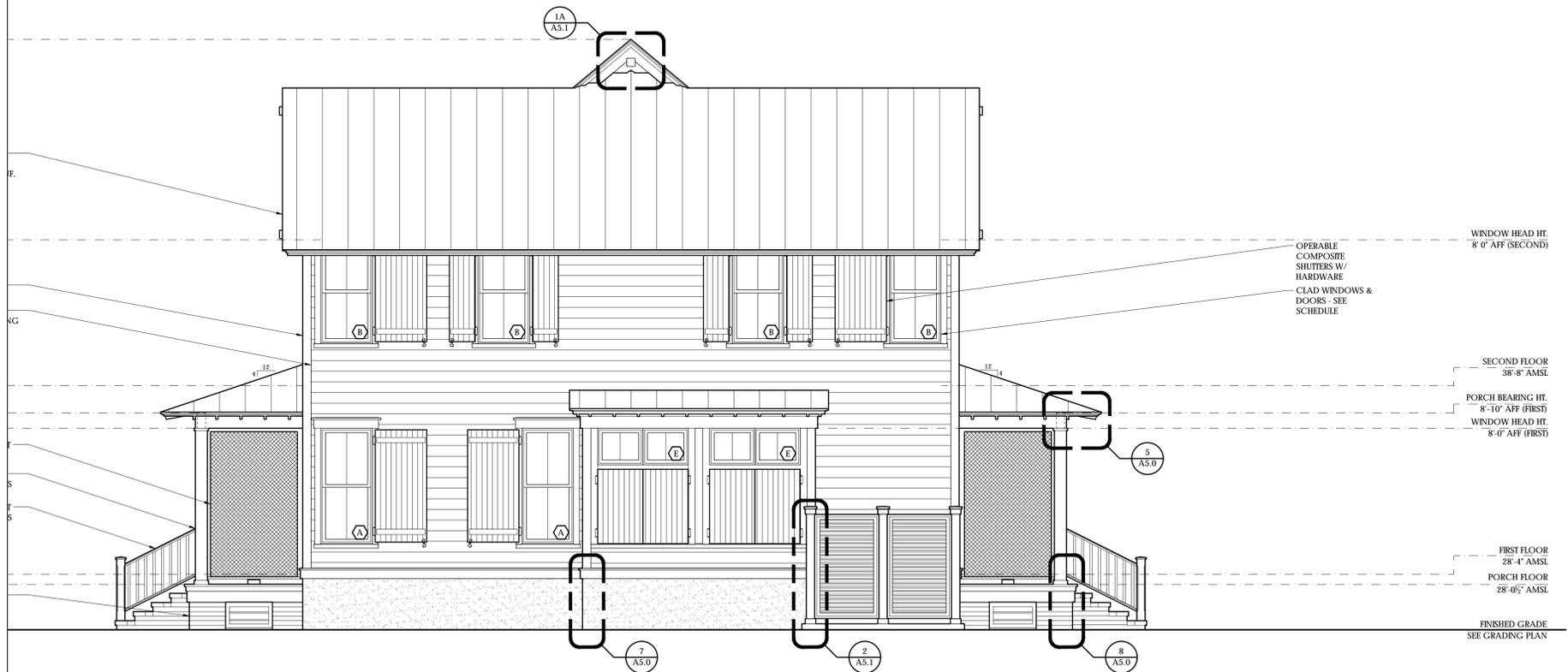
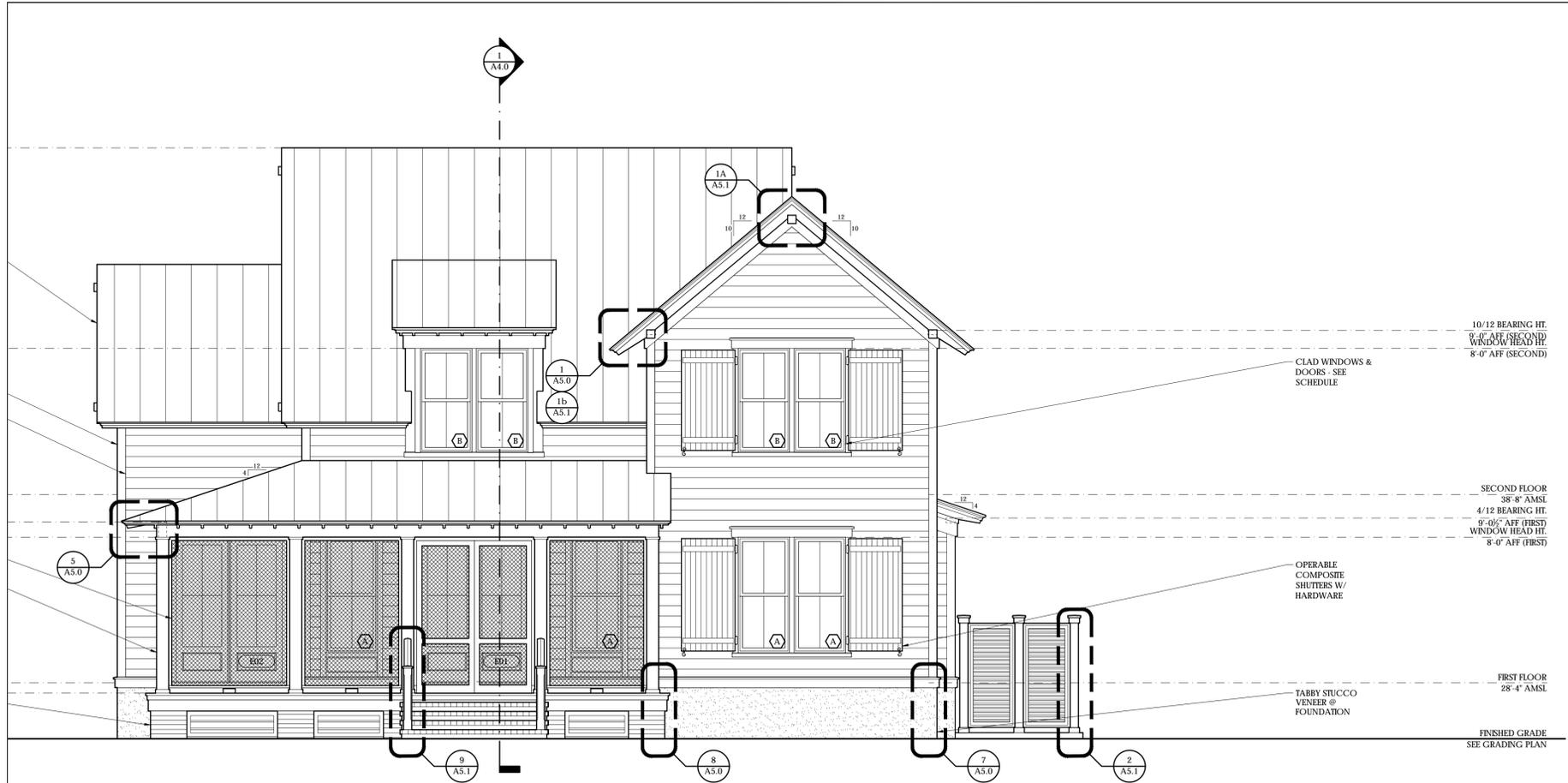


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**EXTERIOR
ELEVATIONS
A3.0**

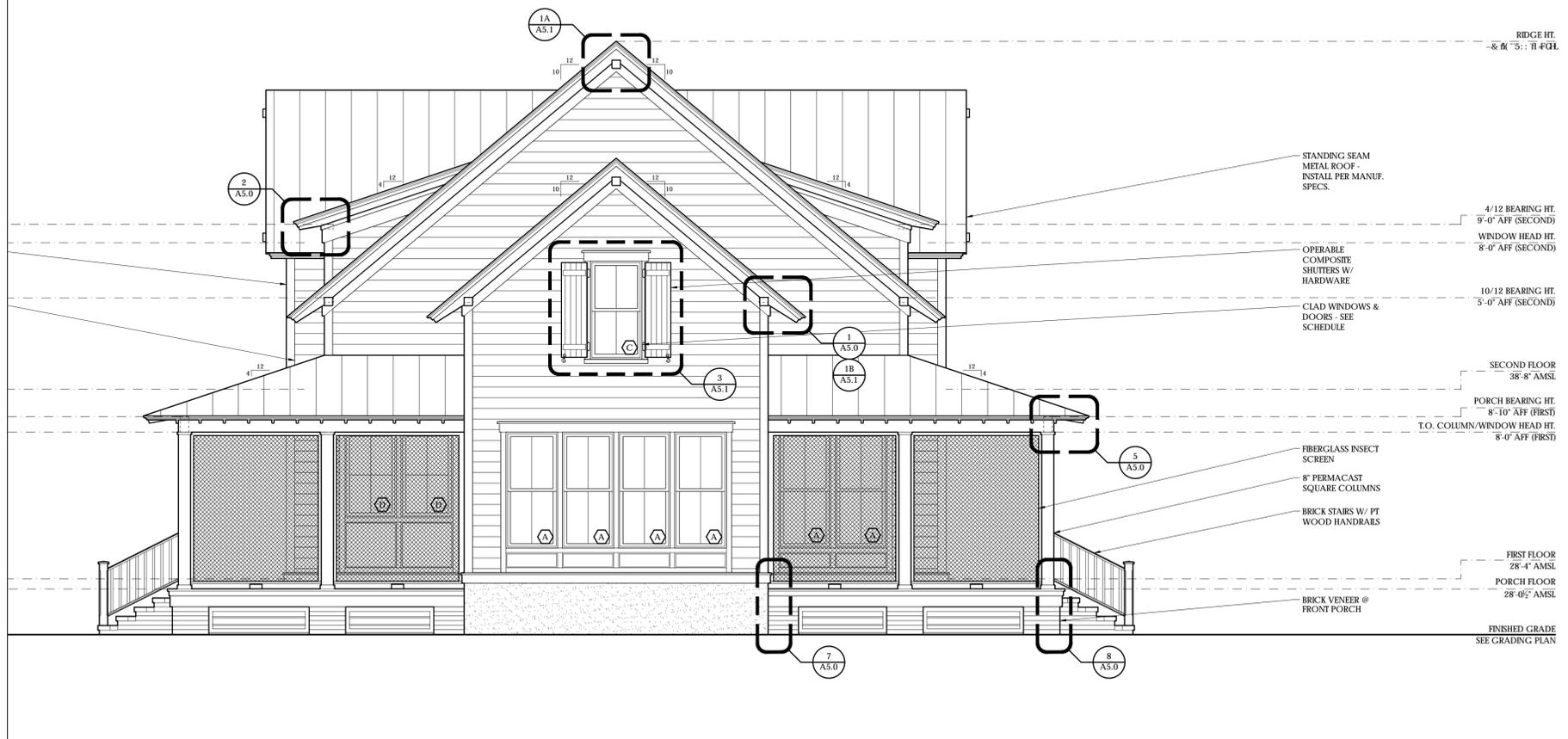
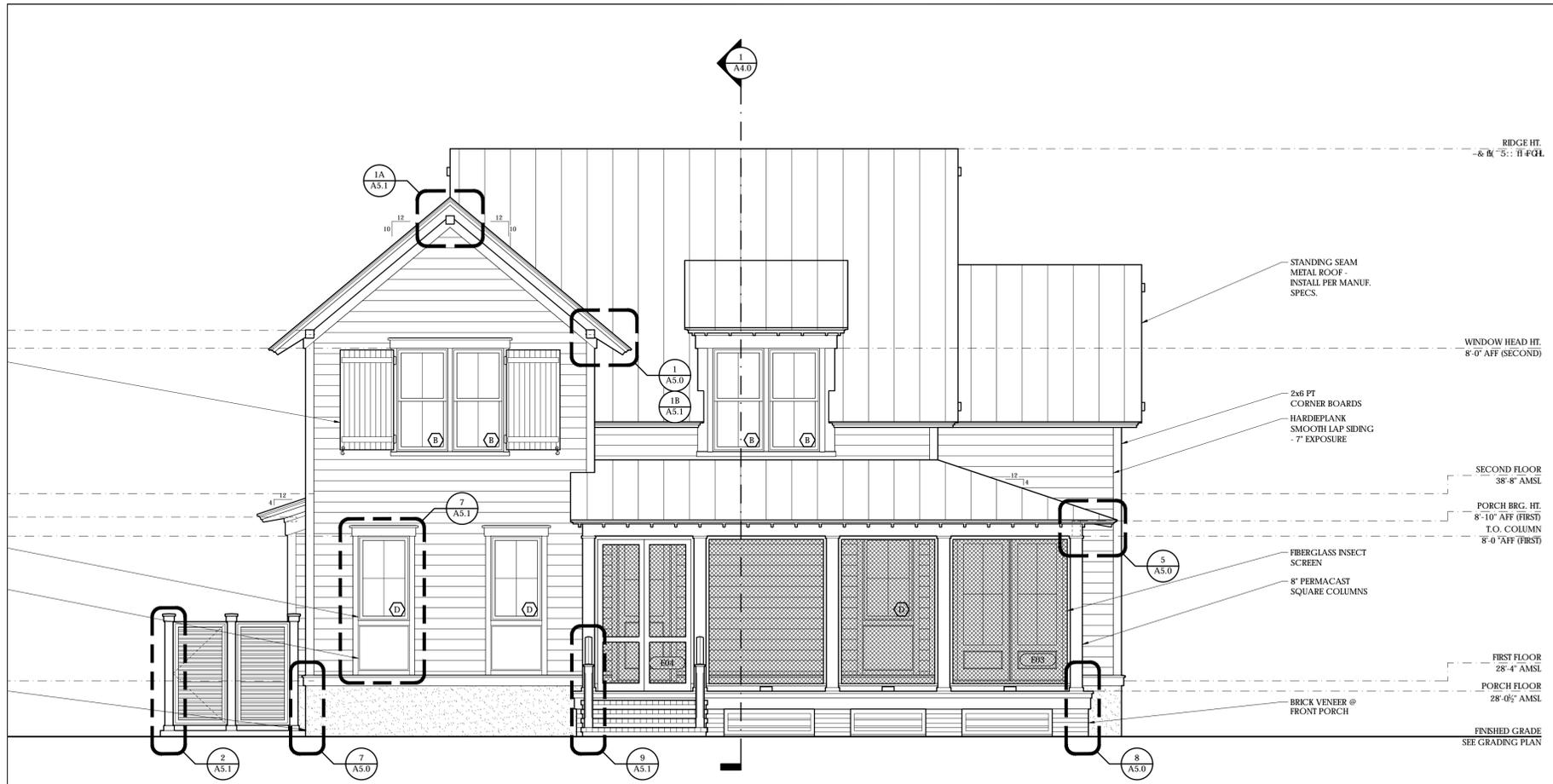


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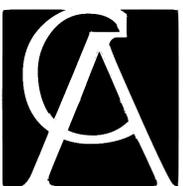
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**EXTERIOR
ELEVATIONS
A3.1**

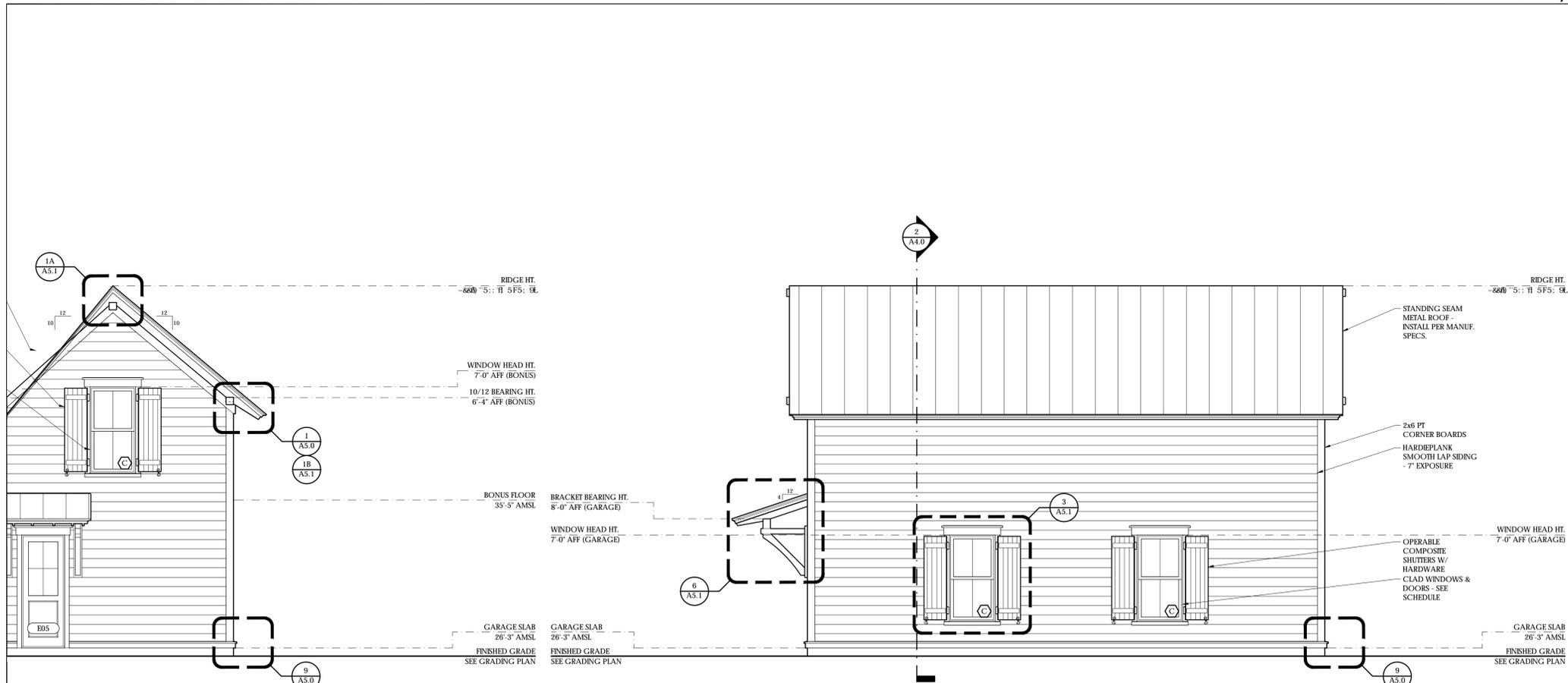


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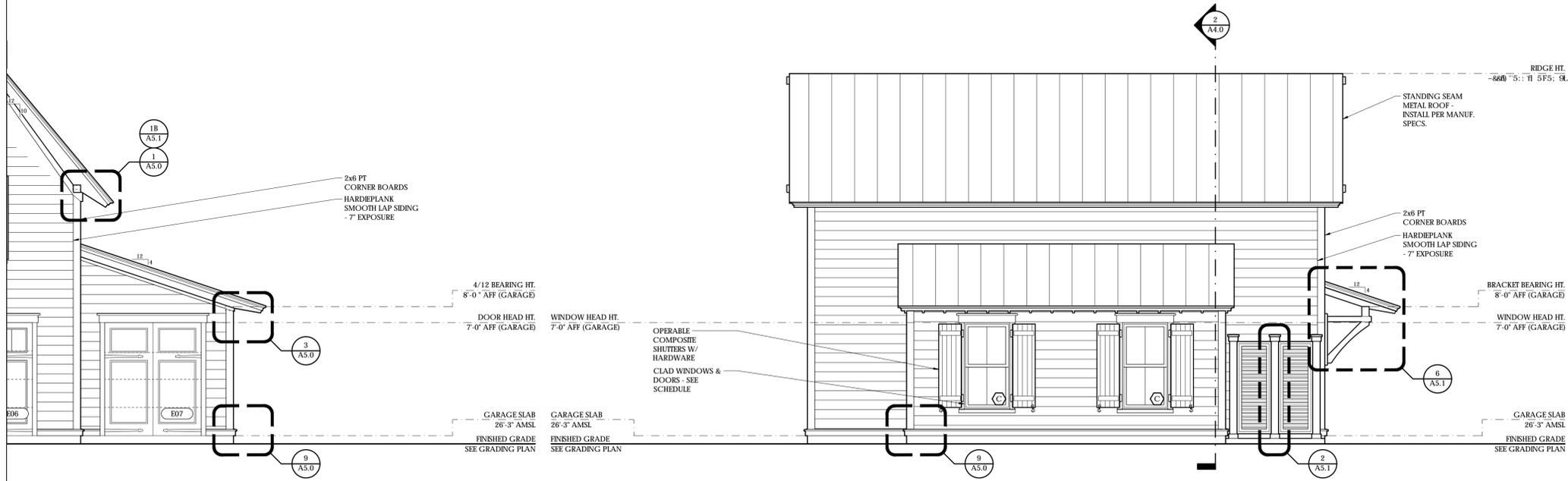
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2 GARAGE RIGHT ELEVATION
A3.2 SCALE 1/4" = 1'-0"



4 GARAGE LEFT ELEVATION
A3.2 SCALE 1/4" = 1'-0"

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**GARAGE
ELEVATIONS
A3.2**



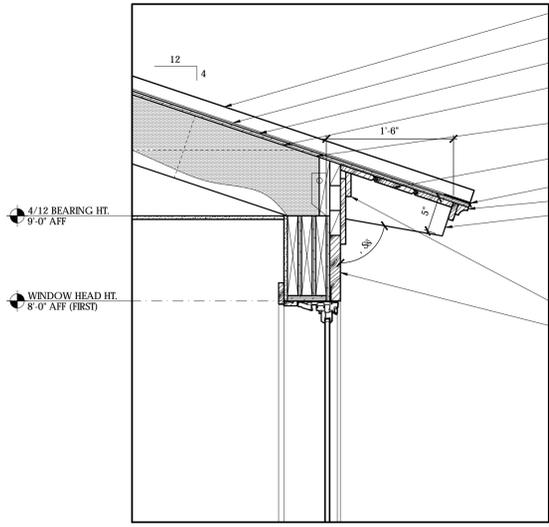
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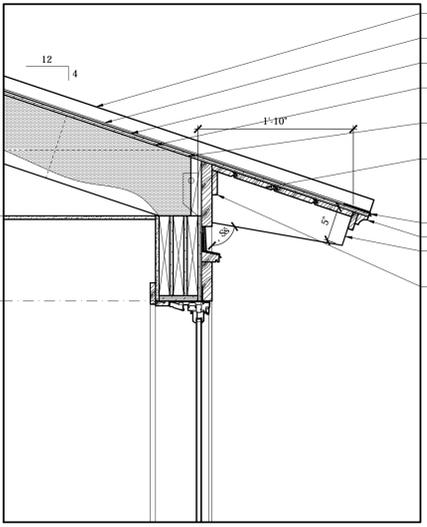
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4 METAL ROOF AS SELECTED TO COMPLY W/ 2015 IRC PER MANUFACTURER'S SPECIFICATIONS) AND WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
5/8" EXTERIOR STRUCTURAL ROOF SHEATHING (SEE STRUCTURAL ENG. DOCUMENTS)
2x10 ROOF RAFTERS @ 16" O.C. W/ HURRICANE CLIPS (SEE STRUCTURAL ENG. DOCUMENTS FOR ALL CONNECTION AND THE DOWN DETAILS/INTERVALS)
CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW (TYP. WHERE SHOWN)
1x6 V-GROOVE SOFFIT, TYP. WHERE SHOWN
CONT. METAL FLASHING/DRIP EDGE
BM 86 KDAT COVE (OR SIM.) ON CONT. 1x3 KDAT FASCIA
2x8 EXPOSED RAFTER TAILS (CUT TO MATCH PROFILE) - SISTER TO 2x10 RAFTERS @ 16" O.C. (SEE STRUCTURAL ENG. DOCUMENTS FOR ALL CONNECTION & THE DOWN DETAILS/INTERVALS)
1x4 KDAT TRIM (CUT TO SLOPE) ON 1x10 KDAT TRIM BAND (BLOCKING AS REQ.)
2x10 KDAT TRIM BAND
4/12 BEARING HT. 9'-0" AFF
WINDOW HEAD HT. 8'-0" AFF (FIRST)



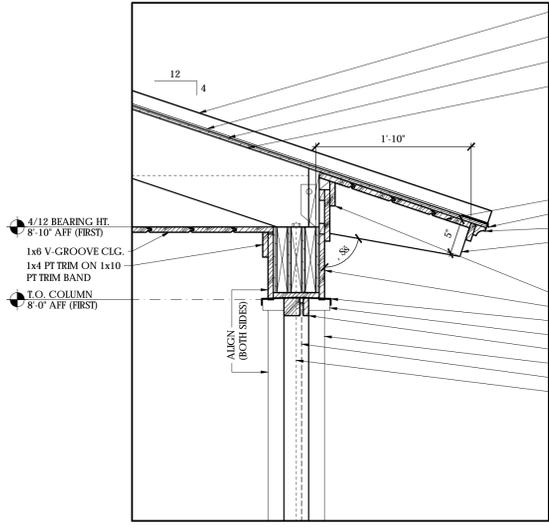
2 4/12 DORMER EAVE
SCALE 1"=1'-0"

4 METAL ROOF AS SELECTED TO COMPLY W/ 2015 IRC PER MANUFACTURER'S SPECIFICATIONS) AND WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
5/8" EXTERIOR STRUCTURAL ROOF SHEATHING (SEE STRUCTURAL ENG. DOCUMENTS)
2x10 ROOF RAFTERS @ 16" O.C. W/ HURRICANE CLIPS (SEE STRUCTURAL ENG. DOCUMENTS FOR ALL CONNECTION AND THE DOWN DETAILS/INTERVALS)
CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW (TYP. WHERE SHOWN)
1x6 V-GROOVE SOFFIT, TYP. WHERE SHOWN
CONT. METAL FLASHING/DRIP EDGE
BM 86 KDAT COVE (OR SIM.) ON CONT. 1x3 KDAT FASCIA
2x8 EXPOSED RAFTER TAILS (CUT TO MATCH PROFILE) - SISTER TO 2x10 RAFTERS @ 16" O.C. (SEE STRUCTURAL ENG. DOCUMENTS FOR ALL CONNECTION & THE DOWN DETAILS/INTERVALS)
1x4 KDAT TRIM (CUT TO SLOPE) ON 2x10 KDAT TRIM BAND
4/12 BEARING HT. 8'-0" AFF (GARAGE)
WINDOW HEAD HT. 7'-0" AFF (GARAGE)



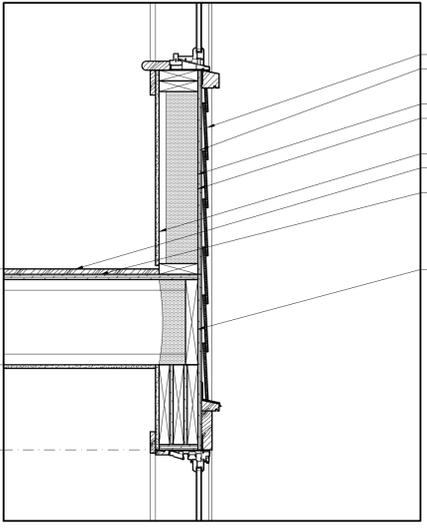
3 4/12 GARAGE EAVE
SCALE 1"=1'-0"

SMOOTH LAP SIDING - 7" EXPOSURE
TYVEK BUILDING WRAP (OR EQUAL) & SEALING SYSTEM ON 1/2" EXT. PLYWOOD SHEATHING (SEE STRUCTURAL ENG. DOCUMENTS FOR SHEATHING SPECS.)
2x6 TYPICAL EXTERIOR WALL CONSTRUCTION AT 16" O.C.
CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW (TYP. WHERE SHOWN)
1/2" CWB INTERIOR FINISH
FINISH FLOORING AS SELECTED BY G.C./OWNER (3/4" WOOD FLOORING SHOWN)
3/4" T&G PLYWOOD DECKING ON 12" ENG. WOOD TRUSS (OR EQUAL) FLOOR STRUCTURE (SEE STRUCTURAL ENG. DOCUMENTS FOR INTERVAL)



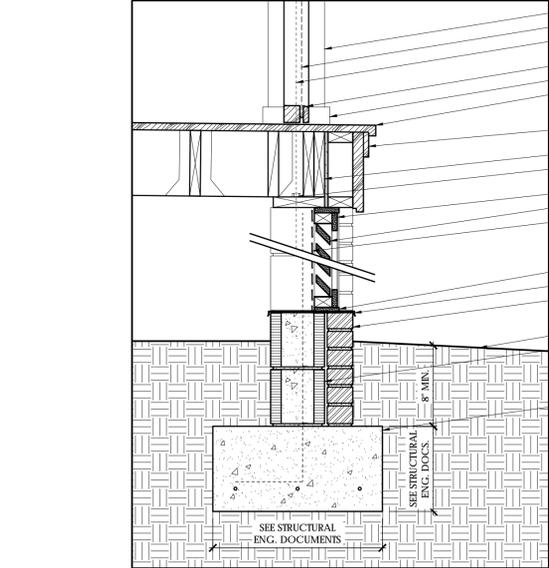
5 4/12 PORCH EAVE
SCALE 1"=1'-0"

SMOOTH LAP SIDING - 7" EXPOSURE
TYVEK BUILDING WRAP (OR EQUAL) & SEALING SYSTEM ON 1/2" EXT. PLYWOOD SHEATHING (SEE STRUCTURAL ENG. DOCUMENTS FOR SHEATHING SPECS.)
2x6 TYPICAL EXTERIOR WALL CONSTRUCTION AT 16" O.C.
CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW (TYP. WHERE SHOWN)
1/2" CWB INTERIOR FINISH
FINISH FLOORING AS SELECTED BY G.C./OWNER (3/4" WOOD FLOORING SHOWN)
3/4" T&G PLYWOOD DECKING ON 12" ENG. WOOD TRUSS (OR EQUAL) FLOOR STRUCTURE (SEE STRUCTURAL ENG. DOCUMENTS FOR INTERVAL)



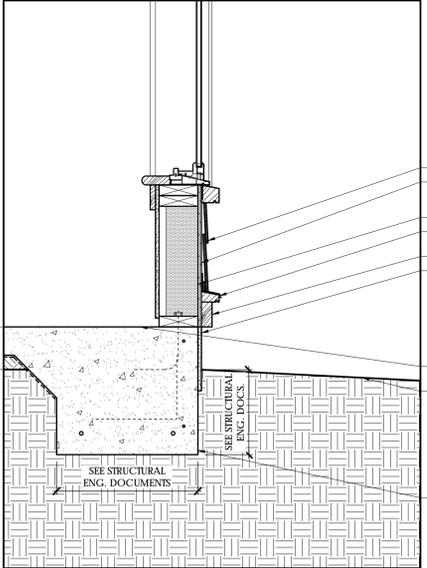
6 BONUS FLOOR SECTION
SCALE 1"=1'-0"

EXTERIOR WALL CONSTRUCTION AT 16" O.C.
FLASHING/DRIP EDGE ON 2x3 KDAT DRIP CAP (CUT 1/2" AND DRIP CHANNEL)
2x3 KDAT WATERTABLE
TABBY STUCCO FINISH COAT
4" CONCRETE SLAB W/ 6# - 1.4x1.4 W.W.M. 6 MIL. POLY. OVER TERMITE TREATED COMPACTED FILL (SEE STRUCTURAL ENG. DOCUMENTS)
MAINTAIN POSITIVE DRAINAGE AWAY FROM FOUNDATION



8 PORCH FOUNDATION
SCALE 1"=1'-0"

EXTERIOR WALL CONSTRUCTION AT 16" O.C.
FLASHING/DRIP EDGE ON 2x3 KDAT DRIP CAP (CUT 1/2" AND DRIP CHANNEL)
2x3 KDAT WATERTABLE
TABBY STUCCO FINISH COAT
4" CONCRETE SLAB W/ 6# - 1.4x1.4 W.W.M. 6 MIL. POLY. OVER TERMITE TREATED COMPACTED FILL (SEE STRUCTURAL ENG. DOCUMENTS)
MAINTAIN POSITIVE DRAINAGE AWAY FROM FOUNDATION



9 GARAGE FOUNDATION
SCALE 1"=1'-0"

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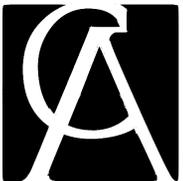
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DETAILS
A5.0

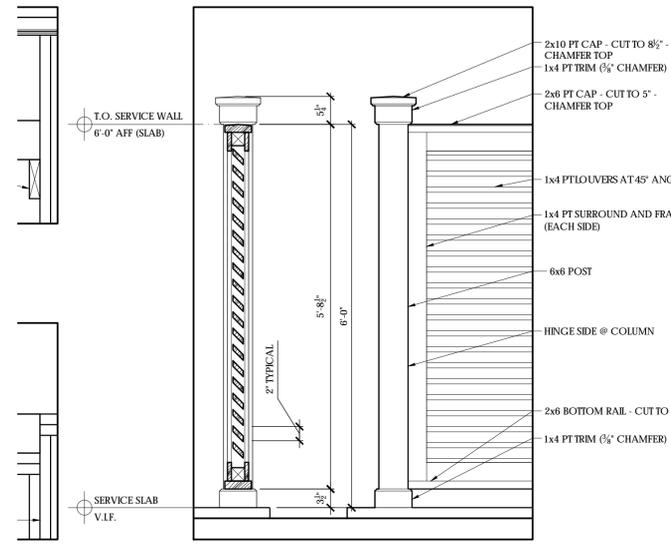


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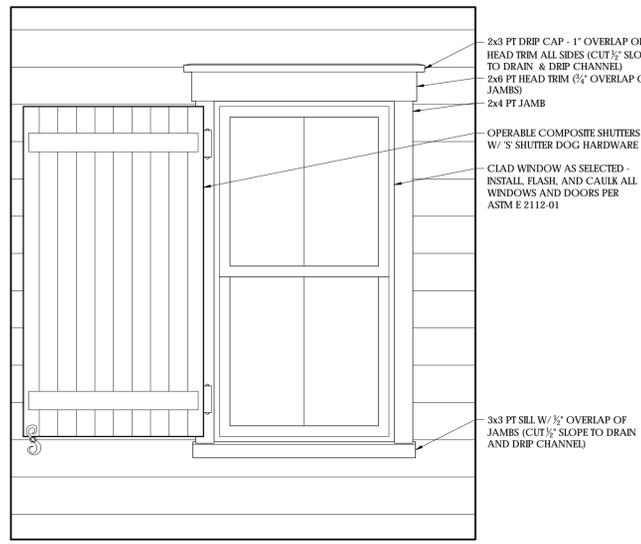
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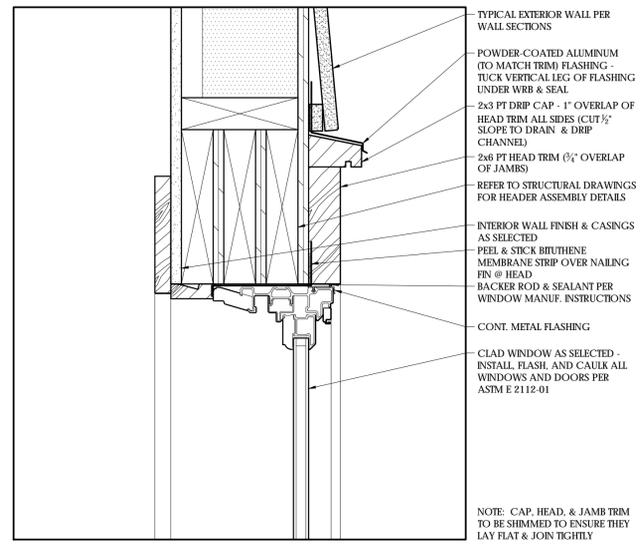
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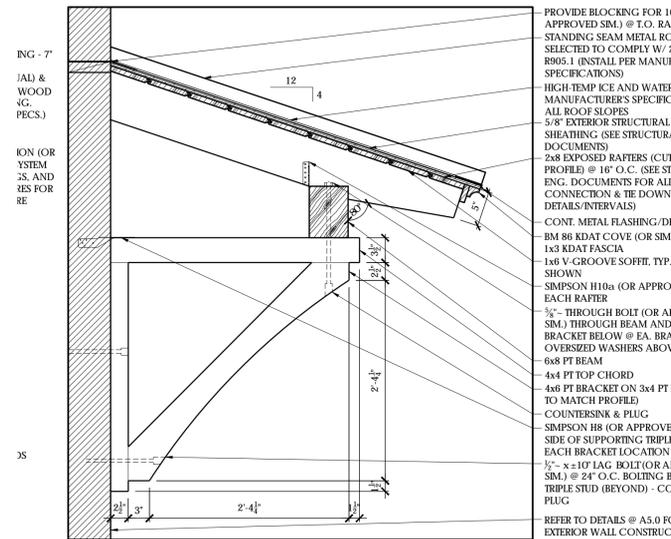
2 SERVICE YARD
A5.1 SCALE 3/4"=1'-0"



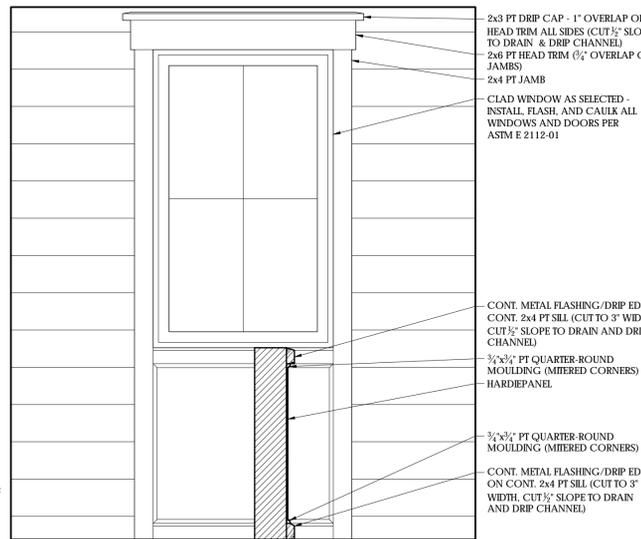
3 TYP. WINDOW DETAIL
A5.1 SCALE 3/4"=1'-0"



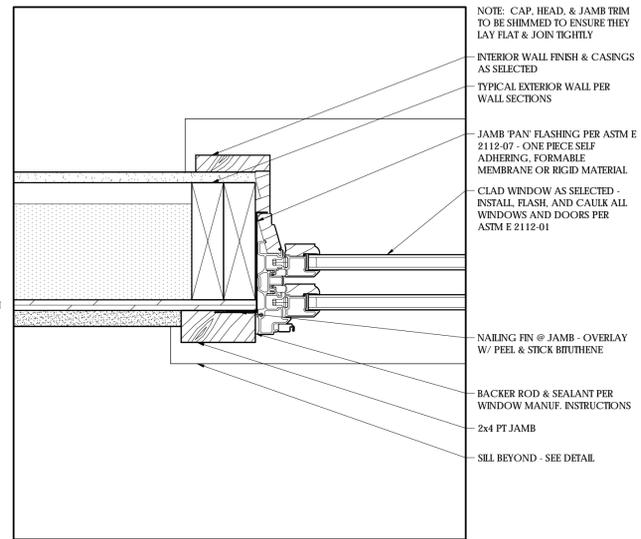
4A TYP. WINDOW HEAD
A5.1 SCALE 3"=1'-0"



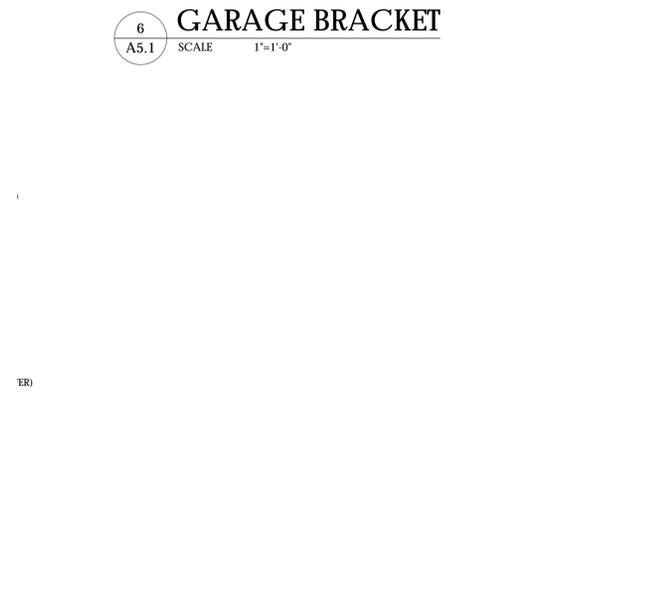
6 GARAGE BRACKET
A5.1 SCALE 1"=1'-0"



7 TYP. HARDEIPANEL DETAIL
A5.1 SCALE 3/4"=1'-0"



4B TYP. WINDOW JAMB
A5.1 SCALE 3"=1'-0"



4C TYP. WINDOW SILL
A5.1 SCALE 3"=1'-0"

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DETAILS
A5.1

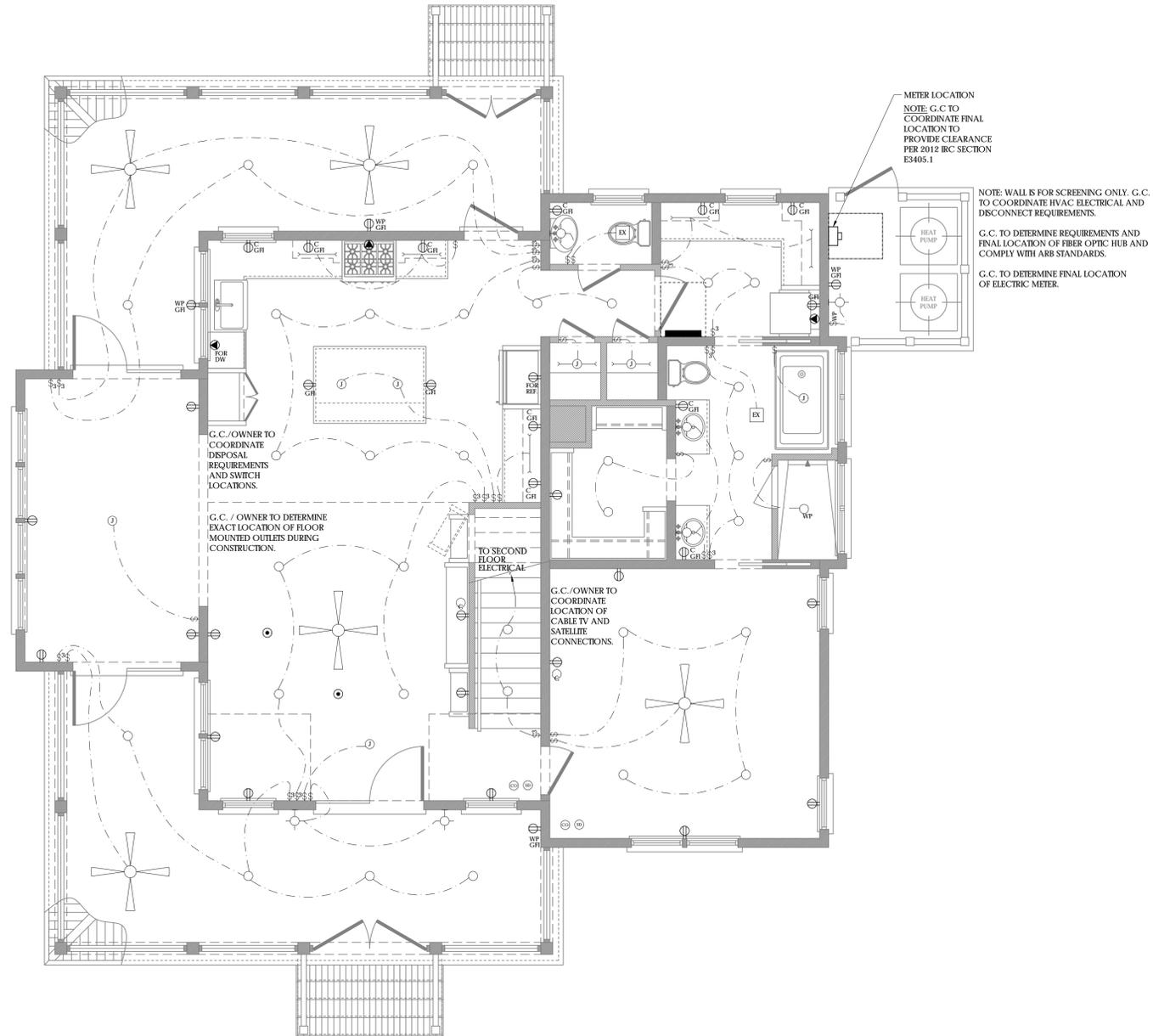


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**FIRST FLOOR
ELECTRICAL
PLAN
E2.1**

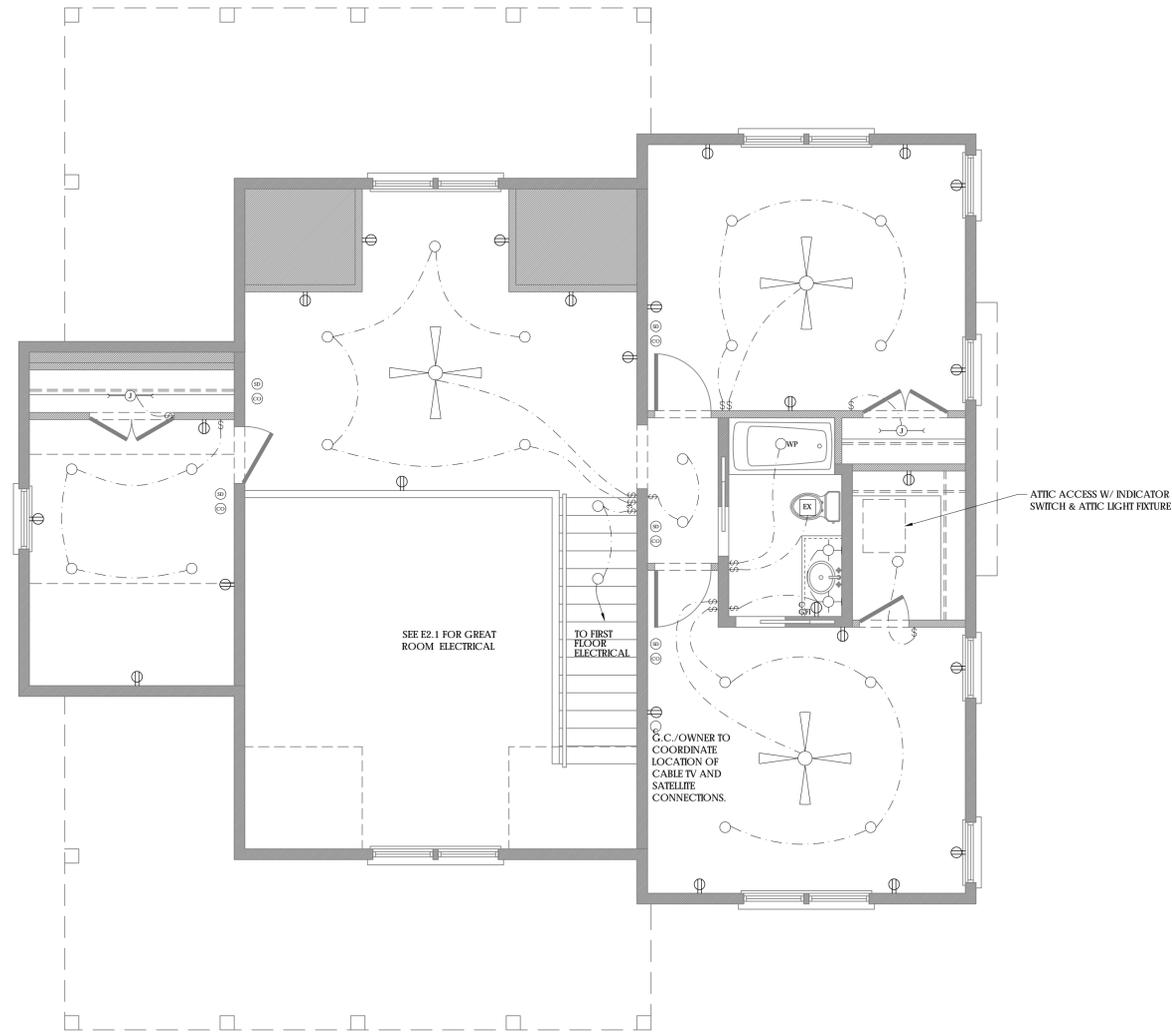


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THE SIMMONS RESIDENCE
LOT 31, #5917 GINKGO LANE
STOCK FARM, BLUFFTON, SC 29910



NOT FOR CONSTRUCTION

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ISSUE	DATE	DESCRIPTION

PROJECT # : 16-077
PROJECT CONTACT : JF/LW
DATE: 08/05/2016

**SECOND FLOOR
ELECTRICAL
PLAN
E2.2**

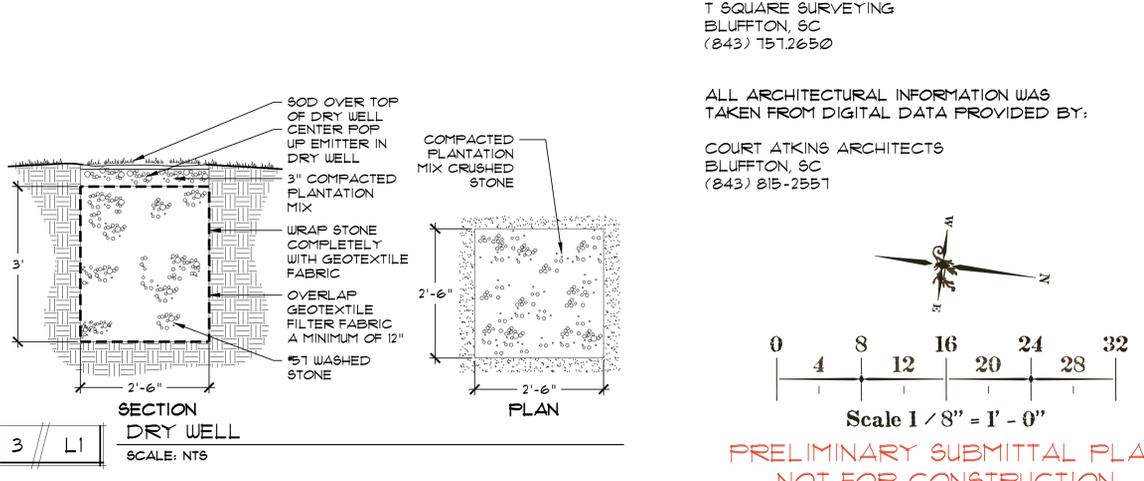
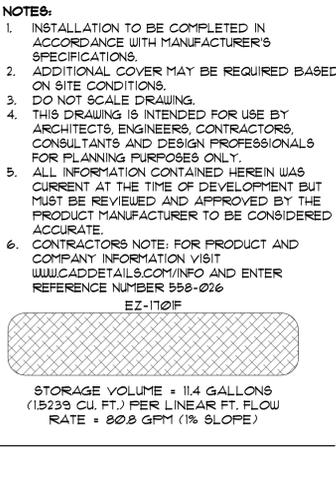
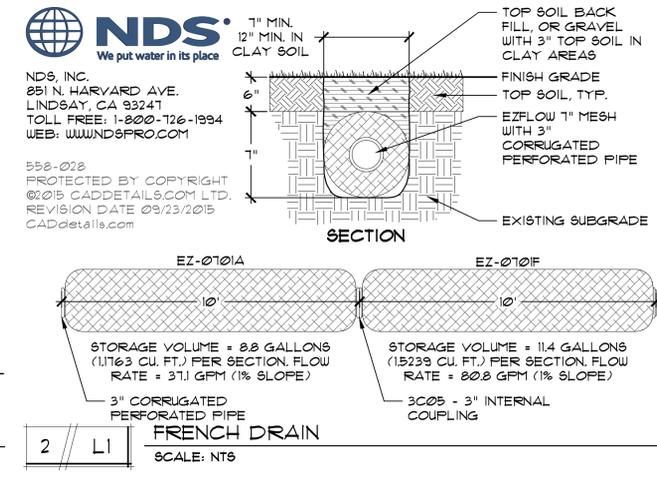
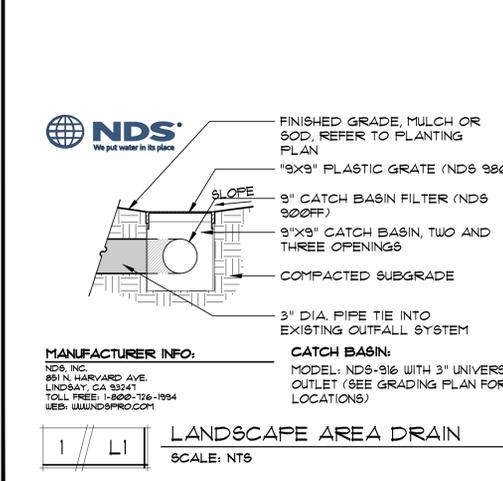
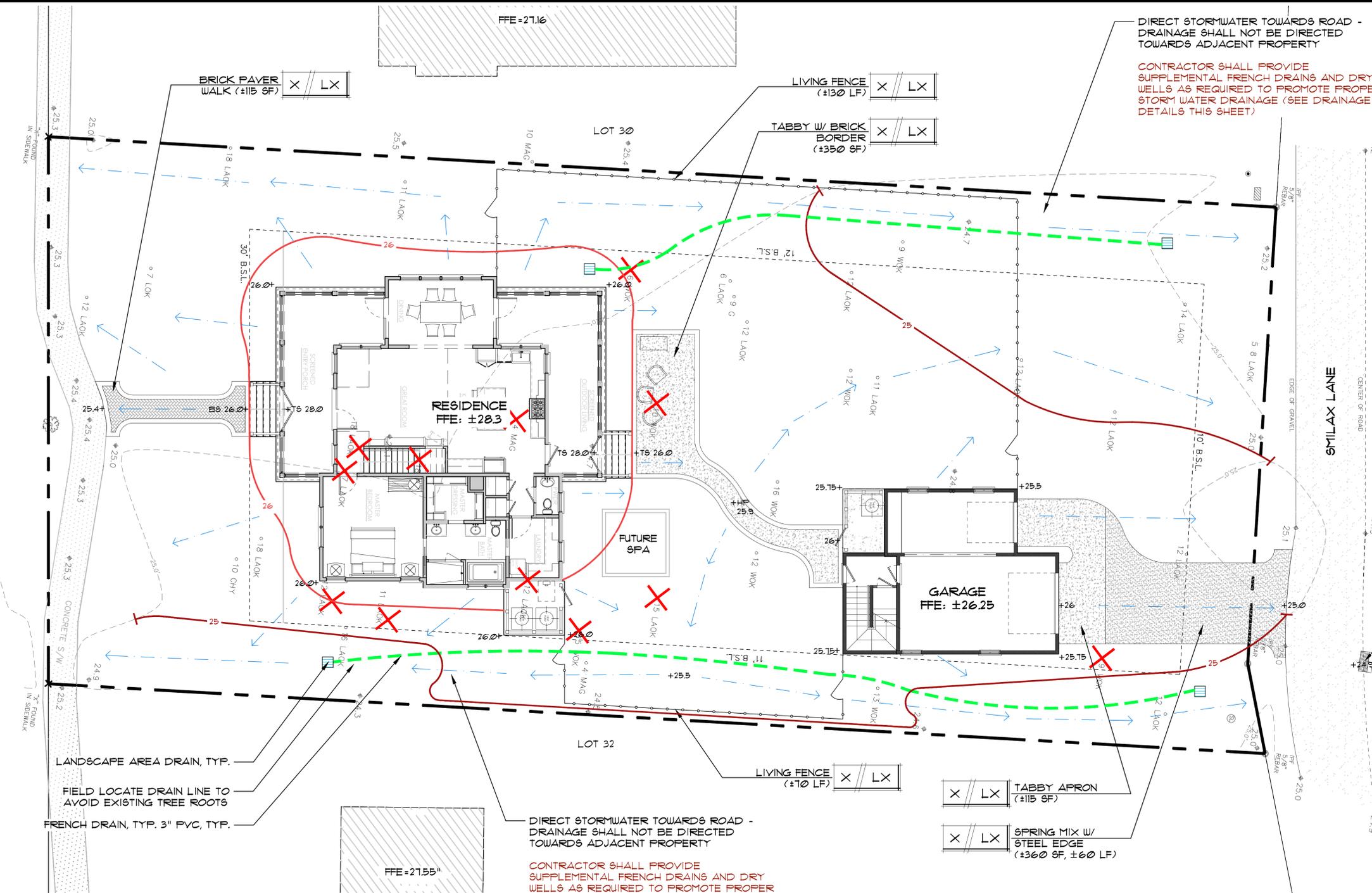
LAN

SITE DEVELOPMENT PLANS
 FOR
SIMMONS RESIDENCE
 LOT 31 GINKGO LANE
 STOCK FARM
 BLUFFTON, SC

- GRADING NOTES:**
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES.
 - IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
 - CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
 - ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
 - CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND ALL DISTURBED AREAS.
 - IF REQUIRED, POP UP EMITTER SHALL BE NDS 6" ATRIUM GRATE #1211 - BLACK IN COLOR.
 - LANDSCAPE DRAIN SHALL BE NDS SQUARE 12" ATRIUM GRATE #1211 - BLACK IN COLOR.
 - LANDSCAPE DRAINS SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER. OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

GRADING LEGEND

SYMB.	DESCRIPTION	SYMB.	DESCRIPTION
+	SPOT GRADE	TS	TOP OF STEP
←	DRAINAGE ARROW	BS	BOTTOM OF STEP
□	POP-UP EMITTER	BW	BOTTOM OF WALL
▤	9" NDS LANDSCAPE DRAIN, 3" PIPE	FFE	FINISHED FLOOR ELEVATION
—	FRENCH DRAIN	FG	FINISHED GRADE
—	PROPOSED CONTOUR MAJOR	LP	LOW POINT
—	PROPOSED CONTOUR MINOR	HP	HIGH POINT
---	EXISTING CONTOUR	TC	TOP OF CURB
BC	BOTTOM OF CURB	RIM	TOP OF DRAIN



DRAWING TITLE
 LAYOUT AND GRADING PLAN

DATE: 07-21-16

PROJECT NO.: 168701

DRAWN BY: LB

CHECKED BY: DK

REVISIONS:

DRAWING NUMBER
 L1 of 2



PLAN REVIEW COMMENTS FOR COFA-07-16-009914

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 STOCK FARM

Plan Type: Historic District **Apply Date:** 07/14/2016
Plan Status: Active **Plan Address:** 5917 Ginkgo Ln
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R610 039 000 1508 0000
Plan Description: The applicant is requesting approval for a new single family residence and carriage house to be built in Stock Farm.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the July 25th meeting.

Staff Review (HD)

Submission #:	Received:	Completed:		
1	07/20/2016	07/22/2016		
Reviewing Dept.	Complete Date	Reviewer	Status	
Growth Management Dept Review (HD)	07/22/2016	Erin Schumacher	Approved with Conditions	
Comments:				
1. The proposed building placement does not meet the front build-to requirement of 30' as noted in the Stock Farm Development Plan as it is noted as 35' on the site plan. The setback should be corrected and the building moved forward. (Development Plan) 2. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.). 3. Provide additional information to clarify the material proposed on the porch piers. It appears as if the hatch suggests be brick veneer, but it is not clear. (5.15.6.G.1.a.) 4. Provide additional information to clarify the type of door proposed (wood or metal are permitted). The project analysis notes clad. (UDO Section 5.15.6.I.) 5. Provide additional information to clarify the type of shutter dog proposed ("S" type is permitted). (UDO Section 5.15.6.M.) 6. Consider revising the windows on the right elevation (at the bathroom) to have a better vertical rhythm and a more logical, sequential manner. (UDO Section 5.15.5.F.c. and Section 5.15.6.F.4.e.) 7. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, a section through the eave, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure. (Applications Manual) 8. For the Final submittal, a letter of approval from the Stock Farm HARC is required. (Applications Manual)				
HPRC Review	07/20/2016	Erin Schumacher	Approved with Conditions	
Comments:				
1. For the final application provide material call outs on elevations. (Applications Manual) 2. Provide vertical elevations to verify that the front porch and first floor finish heights meet the requirements of the UDO. (UDO 5.15.5.f.1.c. and 5.15.6.E.5.) Recommendation: 1. Consider a pier foundation similar to the look shown on the front and rear porches for the entire structure.				
Addressing Review	07/21/2016	Theresa Thorsen	Approved	
Comments:				
1. No comments.				
Beaufort Jasper Water and Sewer Review	07/22/2016	Dick Deuel	Approved	
Comments:				
1. No comments submitted.				

Stormwater Review

07/22/2016

Beth Lewis

Approved

Comments:

1. For the final application provide a lot sediment and erosion control plan.

Transportation Department Review
- HD

07/22/2016

Kevin Icard

Approved

Comments:

1. No comments submitted.

Plan Review Case Notes:

STOCK FARM DEVELOPMENT
BOX 2570
BLUFFTON, SC 29910

23 AUGUST 2016

To: Erin Schumacher
Town of Bluffton

Subject: Plans for Lot 31—Simmons Residence

The Habitat and Architectural Board (HARB) of Stock Farm has reviewed the plans for the residence on Lot 31. The board considers the residential design and ancillary building meet the guidelines established by Stock Farm.

The HARB recommends the award of a Certificate of Appropriateness.

Emmett McCracken
Manager