

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	September 7, 2016
<b>PROJECT:</b>	14 Stock Farm Road – Renovation/New Construction: Single-Family Residential
<b>APPLICANT:</b>	Doreen and Stu Baumann
<b>PROJECT MANAGER:</b>	Katie Peterson, Planning Assistant

**APPLICATION REQUEST:** The Applicants, Doreen and Stu Baumann, request that the Historic Preservation Commission approve the following application:

1. **COFA-7-16-9863.** A Certificate of Appropriateness to allow the construction of a new screened enclosure of approximately 209 SF on the west elevation of the existing house and the construction of a carport of approximately 264 SF on the west elevation of the carriage house located on the property identified as 14 Stock Farm Road and zoned Neighborhood Conservation-HD.

**INTRODUCTION:** The Applicant is proposing to renovate an existing single-family residence that was originally reviewed and approved May 1, 2013 by the Historic Preservation Commission. The proposed renovation will include a new screened-in side porch addition of approximately 209 SF along the west-facing elevation designed to match the architecture and materials of the existing building and the addition of a carport of approximately 264 SF on the west-facing elevation of the carriage house. These materials include a 5V Crimp metal roof and chamfered columns.

This project was presented to the Historic Preservation Review Committee for conceptual review at the July 18, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not

intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to renovate an existing single family residence located within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building modifications have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. This addition to the existing residential structure will add to the district as well as help to provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the condition noted below is met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

1) Section 5.15.6.A. Columns. The Applicant has proposed column materials on the carriage house carport as a hardi wrapped column. The UDO permits finish materials to be wood, cast iron, concrete with smooth finish, brick or stone. As such, the proposed column material does not meet the requirement as a traditional assembly of materials and must be revised to meet the requirements of the UDO.

3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that nature and character of the addition to the primary structure to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the proposed addition is appropriate for its location and the architectural detailing is sensitive to existing and neighboring structures.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the renovation of an existing structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in architectural detailing to the neighboring historic and non-historic resources; therefore, the renovations/additions, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

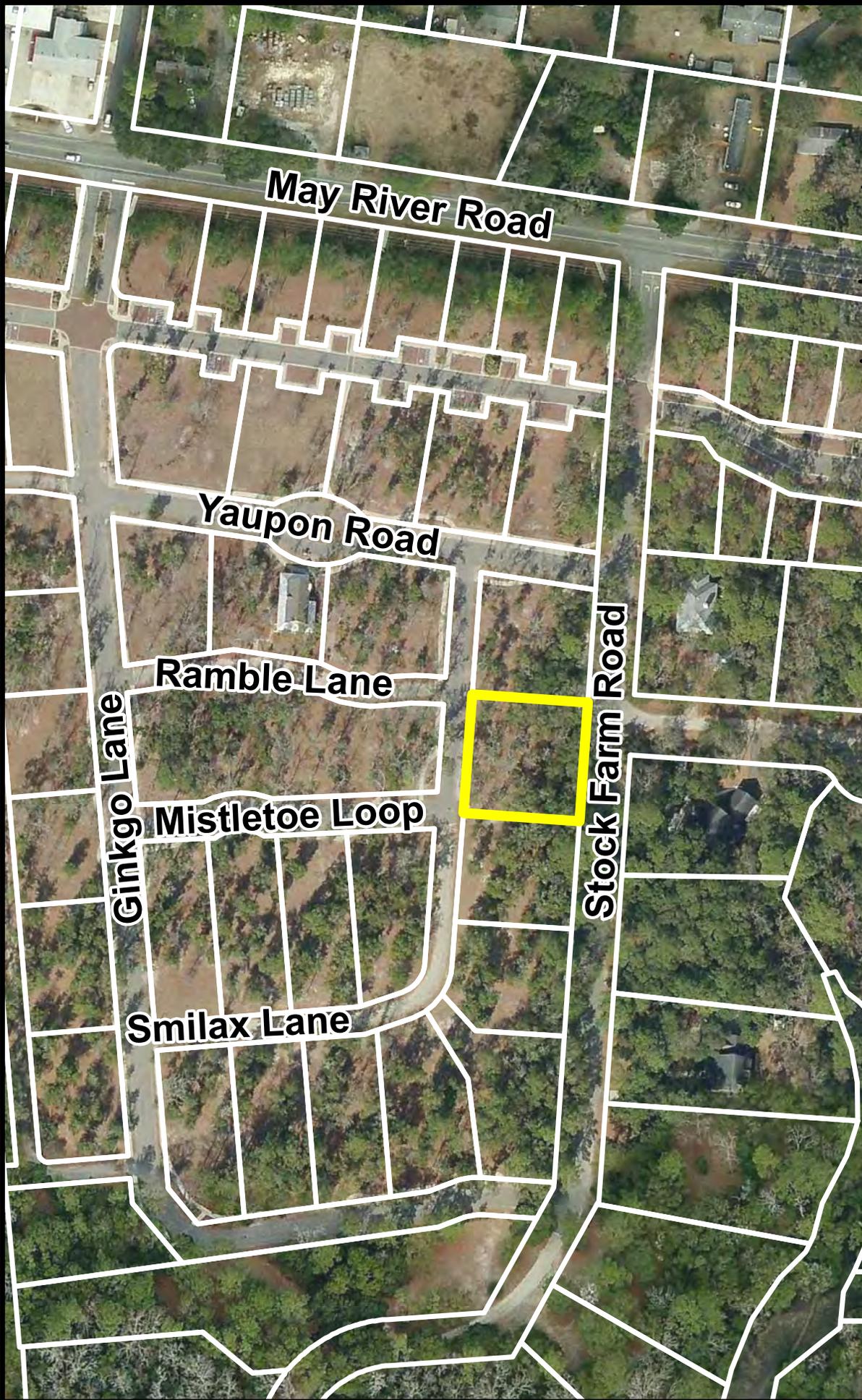
*Finding.* The application has been reviewed by Town Staff and has been determined to be complete.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.A of the UDO, the column material on the carriage house be reconfigured to be a permitted finish material.

**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. Existing Photos
7. COFA-4-13-5600 Staff Report



**14 Stock Farm Road  
Location Map**

 Site

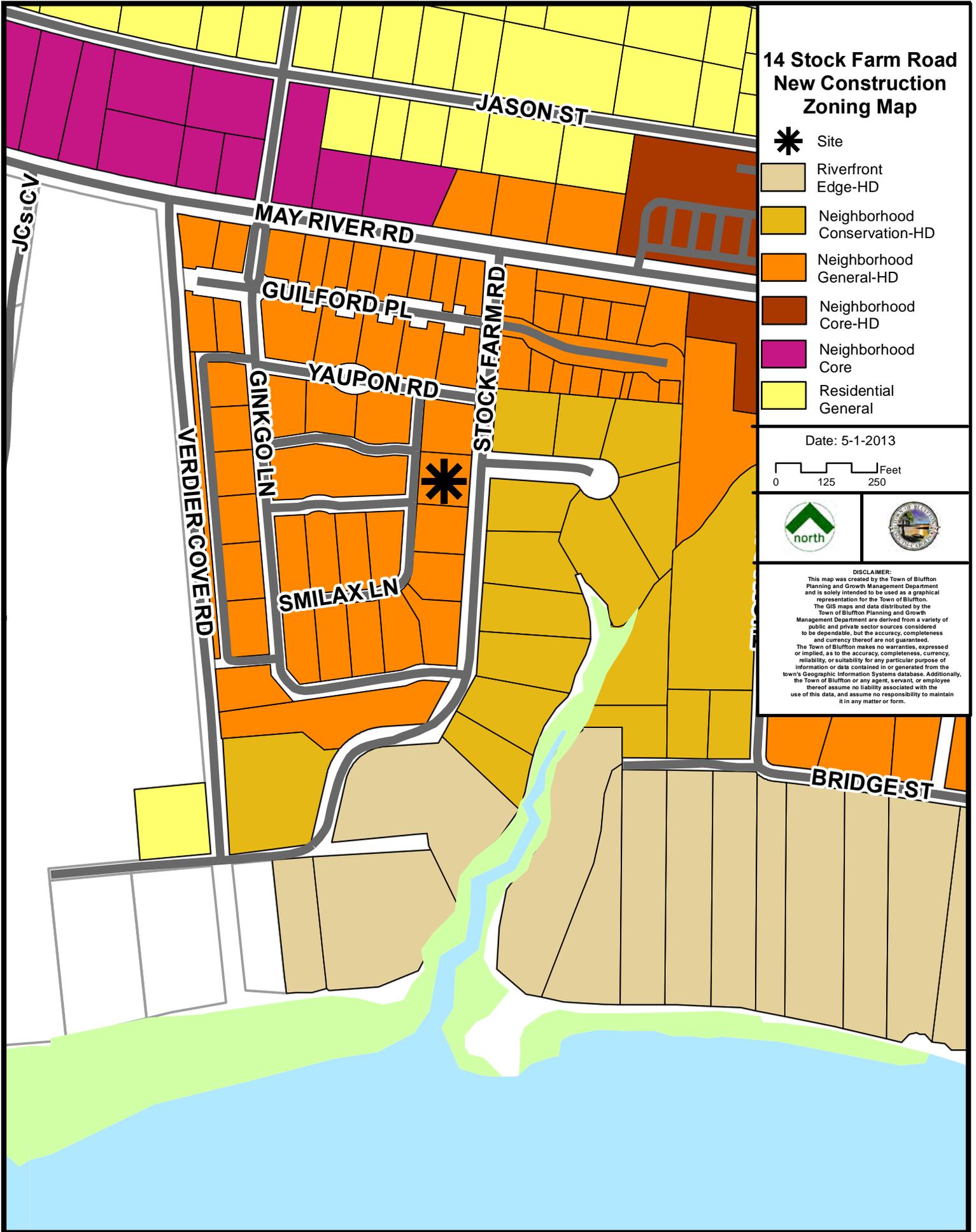
Date: 5-1-2013

 Feet

 north



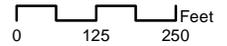
**DISCLAIMER:**  
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### 14 Stock Farm Road New Construction Zoning Map

-  Site
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Core-HD
-  Neighborhood Core
-  Residential General

Date: 5-1-2013



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Project Description: ATTACHMENT A

**LEGAL: 14 STOCK FARM ROAD  
LOT 36 STOCK FARM DEVELOPMENT**

Applicants and Property Owners, Doreen and Stuart Baumann, request that the Historic Preservation Commission approve a Certificate of Appropriateness to allow the construction of a new screen porch addition to their existing one level single family home at 14 Stock Farm Road, and zoned Neighborhood General-Historic District.

Introduction: The Owner/Applicant is proposing the addition of a 209 SF screened porch to the left (South) side of their existing 1538 SF home that was approved on May 1, 2013 and completed in March 2014.

The proposed addition will extend the existing rear porch by 11'6" and 19' 0" wide on the left (South) side and 11'0" on the front (East) side with six 8" x 8" boxed columns with chamfered corners connected by railings with 1 ½" x 1 ½" pickets, painted white. Roof will be a shed roof with exposed rafter tails with a beveled end cut with 5 V crimp bronze metal roof to match existing. The existing house wall will remain with its two black false shuttered window frames and yellow painted fiber cement board beaded lap siding. Screen enclosures will be added to the inside of railings with 3'0 x 8'0 door opening to existing rear porch. Flooring to be pressure treated deck boards, painted gray to match existing. The six pier columns are tabby shell with black horizontal infill "pig board" skirting to match existing.

The proposed addition is within the setbacks and will compliment the existing architecture and landscape plan.

Respectfully submitted this \_\_\_\_\_ day of July, 2016

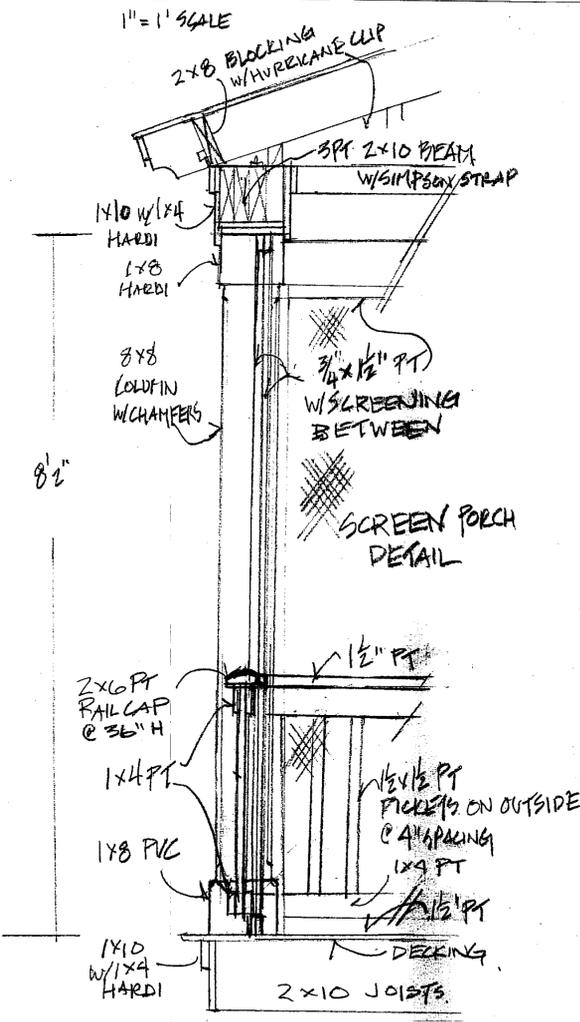
Doreen S Baumann Owner/Applicant



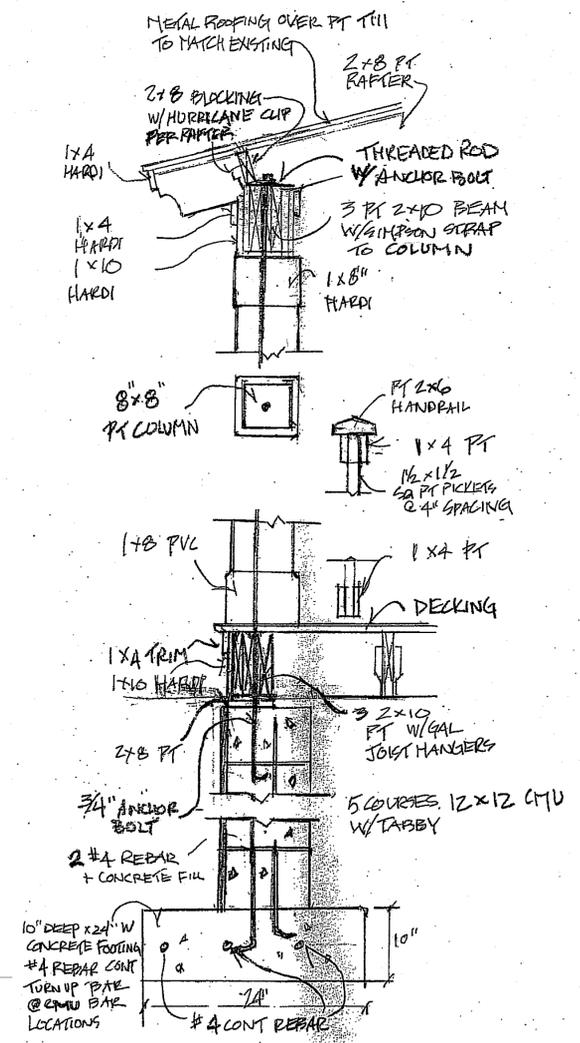


LEFT SIDE ELEVATION

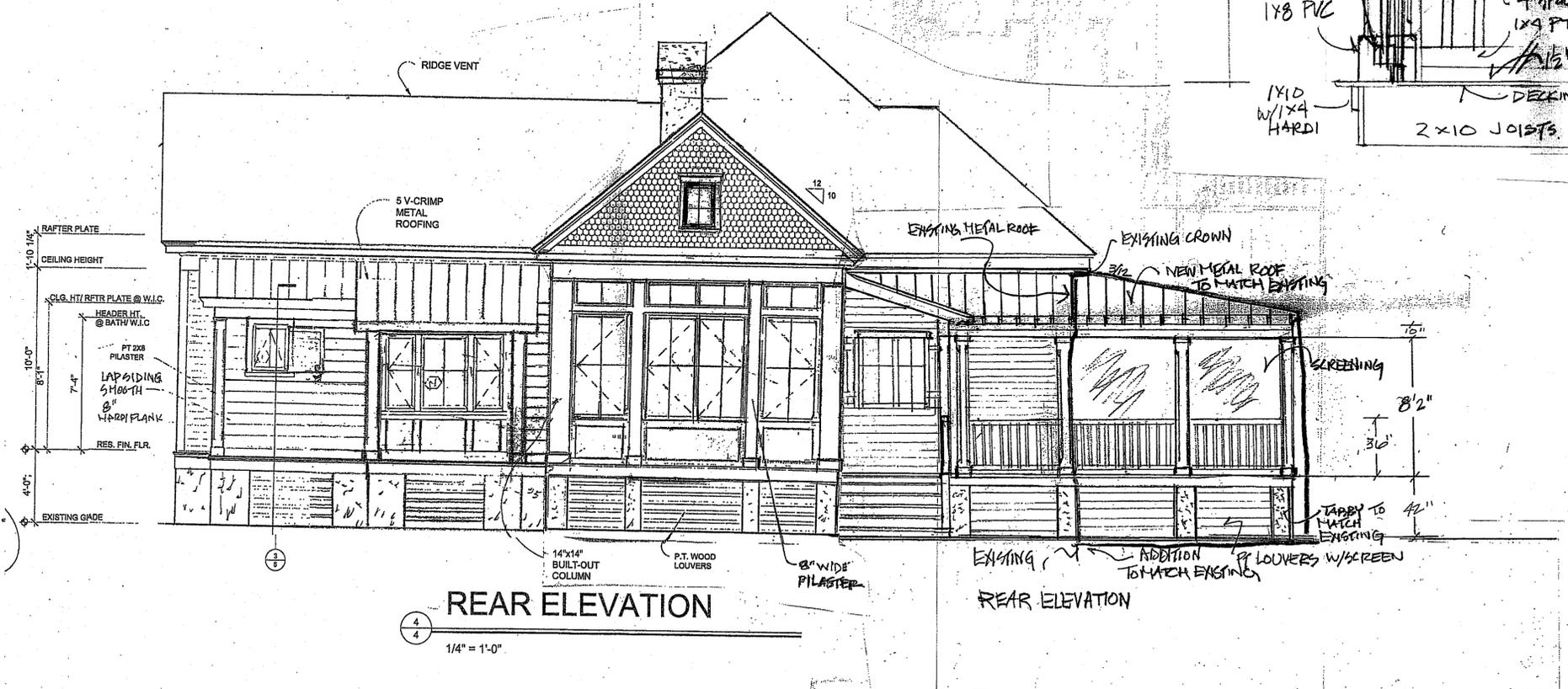
1/4" = 1'-0"



SCREEN PORCH DETAIL



COLUMN DETAIL



REAR ELEVATION

1/4" = 1'-0"

REV DATE 7/5/16  
BAUMANN SCREEN PORCH ADDITION  
14 STOCK FARM RD

**TERMS OF PURCHASE AND USE:**

- Moser Design Group, Inc., assumes no liability for any home or any portion thereof which may be constructed from these plans. It is the responsibility of the purchaser of these plans to read and comply with the following prior to the start of actual construction.
- These Plans are the property of Moser Design Group, Inc. These Plans are protected by Federal Copyright Laws. Any use of the information contained herein beyond the one-time use authorized by a plan purchase, or any duplication, publication, sale or distribution of any part of these plans without the prior written consent of Moser Design Group, Inc. represents a violation of Federal Laws subject to the prescribed penalties.
- A purchase of blue-line prints grants the as "Licensee" the right to use such documents to construct a single home. Purchaser acknowledges that all rights of ownership, title, and interest in the copyrights, plans and derivatives remain with Moser Design Group, Inc. Modified plans are considered derivatives of the original. Derivatives receive the same copyright protection even if completely redrawn and like the Plans, may not be sold, copied, or used to construct any other residence.
- Any use of these plans, or modifications thereto, by the purchaser, his or her builder or others is performed at their own risk.
- Plans should be reviewed by a local professional architect or engineer prior to the start of construction. The information contained within these construction documents is issued to show design intent and basic framing details. It is the builder's responsibility to provide standard construction detailing and practices which will provide a structurally sound and weatherproof finished product. The builder shall resolve any discrepancies or problems perceived prior to starting construction of such items.
- Building codes vary because of the great differences in geography and climate throughout the United States and Canada. Each state, county and municipality has its own building codes, zoning requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other matters. It is the Purchaser's responsibility to consult with the proper construction professionals to ascertain if the plans comply with the codes governing the Licensee's building site and, if necessary, make any changes or verifications required.
- The plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and climatic conditions. A local electrical engineer, mechanical engineer and/or builder should provide such plans as may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a typical spread footing or typical concrete piers and conventional wood framed system. It is the purchaser's responsibility to have a local architect or licensed engineer review the plans and, if deemed necessary, provide a site-specific foundation design.
- These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types, and use of different materials and thicknesses may change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans may also change details.
- It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable national, state, and local Building Codes. It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.
- It is the builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned as directed by the manufacturers, unless specified herein to the contrary.
- It is the builder's responsibility to assure that all materials, equipment and components are new and of good quality.
- It is the builder's responsibility to check all plan dimension and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber, structural members, veneer, roofing, etc., all of which may create revised dimensions and details.
- Names of materials and manufacturers shown on these plans do not represent any endorsement or recommendation by Moser Design Group, Inc. The final selection of the materials to be used is the responsibility of the home owner and/or builder, as is the proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the Plans. Moser Design Group, Inc. has no control over or responsibility for the selection, installation, or use of such items or details and shall not be liable for any errors, omissions, or deficiencies in any form pertaining thereto.
- Moser Design Group, Inc. reserves the right to make changes to its models from time to time, therefore, does not warrant that the Plans will match any marketing images, web site or catalog that the purchaser may have reviewed and/or consulted in ordering plans.
- DISCLAIMER OF WARRANTIES.** To the maximum extent permitted by law, Moser Design Group, Inc. disclaims all warranties, express or implied, including the implied Warranty of Merchantability and implied Warranty of Fitness for a Particular Purpose.
- LIMITATION OF LIABILITY.** Moser Design Group, Inc. shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits or loss of business opportunity. To the extent permitted by law, any liability of the Licensor shall be limited to the retail price of the Plans.
- This agreement shall be construed in accordance with South Carolina law.
- Any legal action concerning or arising out of this agreement shall be brought only in a South Carolina State, or Federal Court located in Beaufort or Charleston Counties, in South Carolina, and the Licensor and Licensee consent to the exclusive jurisdiction of said Courts with respect to any such action.

- GENERAL NOTES:**
- Do not scale drawings. Use only dimensions shown on drawings. If dimensions are in question, the builder shall obtain clarification from Moser Design Group, Inc. before continuing with construction. The builder shall verify all dimensions and conditions at jobsite.
  - Larger scale drawings supersede smaller scale drawings.
  - Coordinate location of utility meters on the site plan to keep them from public view and to minimize visual impact from any area of the site. Hold meters as low as possible to allow more effective screening.
  - Use materials appropriate to the application for maximum life and optimum appearance.



**FRONT ELEVATION**

1/4" = 1'-0"

**TNH-B-10A**

TRADITIONAL NEIGHBORHOOD HOME SERIES

**DRAWING INDEX**

- C COVER SHEET / GENERAL INFORMATION
- 1 FOUNDATION 1ST FLOOR FRAMING PLAN
- 2 FLOOR PLAN
- 3 ROOF PLAN / ELECTRICAL PLAN
- 4 ELEVATIONS
- 5 SECTIONS & WALL DETAILS
- 6 PORCH & WALL DETAILS

**NOTE:**

CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS

CONTRACTOR TO VERIFY VENTILATION AND WATER-PROOFING DETAILS

CONTRACTOR TO VERIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION, VERIFY CONNECTIONS MEET ALL APPLICABLE CODES, AND LOADS IMPOSED.

**SYMBOLS AND ABBREVIATIONS**

	DRAWING NUMBER	ABV	ABOVE	INT	INTERIOR
	SHEET NUMBER	AFF	ABOVE FINISHED FLOOR	IN	INCHES
	DETAIL NUMBER	ASF	ABOVE SUBFLOOR	JST	JOIST
	INTERIOR ELEVATION NUMBER	ADJ	ADJUST	MIN	MINIMUM
	DIRECTION OF RISING SLOPE	@	AT	MAX	MAXIMUM
	ROOF PITCH	BFE	BASE FLOOD ELEVATION	NIC	NOT IN CONTRACT
	OVERHANG DIMENSION	CONT	CONTINUOUS	OPN'G	OPENING
	AFTER BEARING HEIGHT ABOVE SUBFLOOR	CNTR	CENTER	OC	ON CENTER
	WINDOW KEY	CONST	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
	DOOR KEY	CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
	KITCHEN ROOM NAME	CONC	CONCRETE	PT	PRESSURE TREATED
	FINISH FLOORING	DIA	DIAMETER	PNT	PAINT
	CEILING HEIGHT	DBL	DOUBLE	R	RISER
	CEILING FINISH OR SPECIAL NOTE	DEG	DEGREES	ROW	RIGHT OF WAY
	TREE TO BE REMOVED	EXT	EXTERIOR	REQ'D	REQUIRED
		FFE	FINISHED FLOOR ELEVATION	REM	REMOVE
		FIN	FINISH	SQFT	SQUARE FEET
		FL	FLOOR	TOB	TOP OF BLOCK
		FT	FEET	TOS	TOP OF STUD
		FOS	FACE OF STUD	TRD	TREAD
		FOB	FACE OF BLOCK	TRT'D	TREATED
		GYP	GYPSONUM	VERT	VERTICAL
		HB	HOSE BIBB	GALV	GALVANIZED
		HVAC	HEATING, VENTILATION & AIR CONDITIONING	SS	STAINLESS STEEL
		HT	HEIGHT		
		H/C	HANDICAP		
		HDR	HEADER		
		HORZ	HORIZONTAL		

**DATE:**


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**MOSER DESIGN GROUP, INC.**

RESIDENTIAL DESIGNERS

17 Market, No. 2 • Beaufort, SC 29906  
info@mosedesigngroup.com  
PHONE (843) 379-5630 FAX (843) 379-5631

**REVISIONS:**


**GENERAL UPDATE:**  
OCT. 5, 2010

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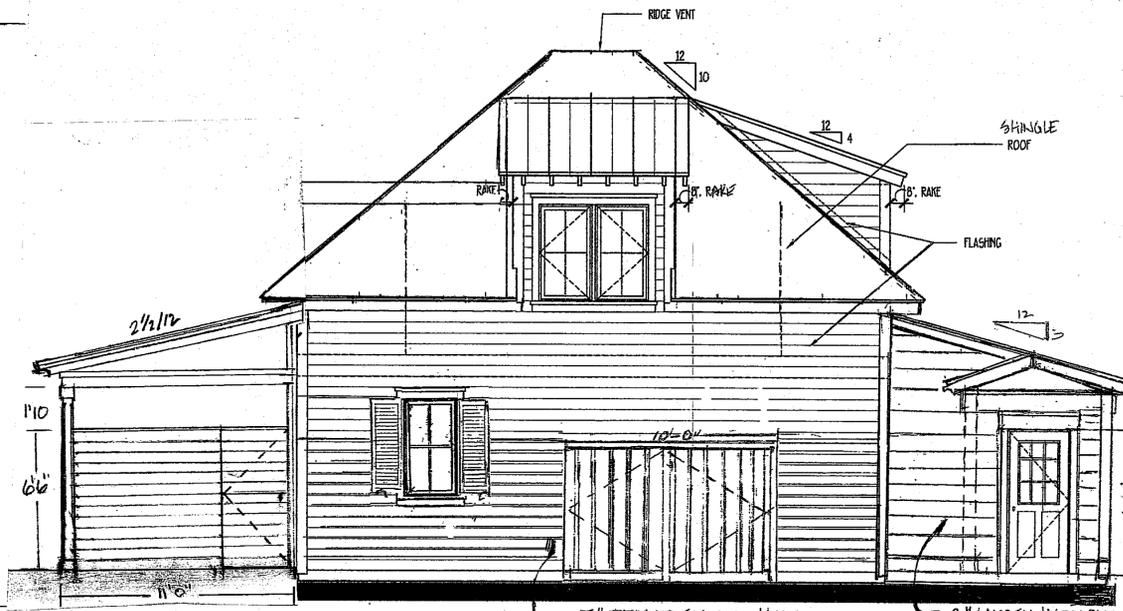
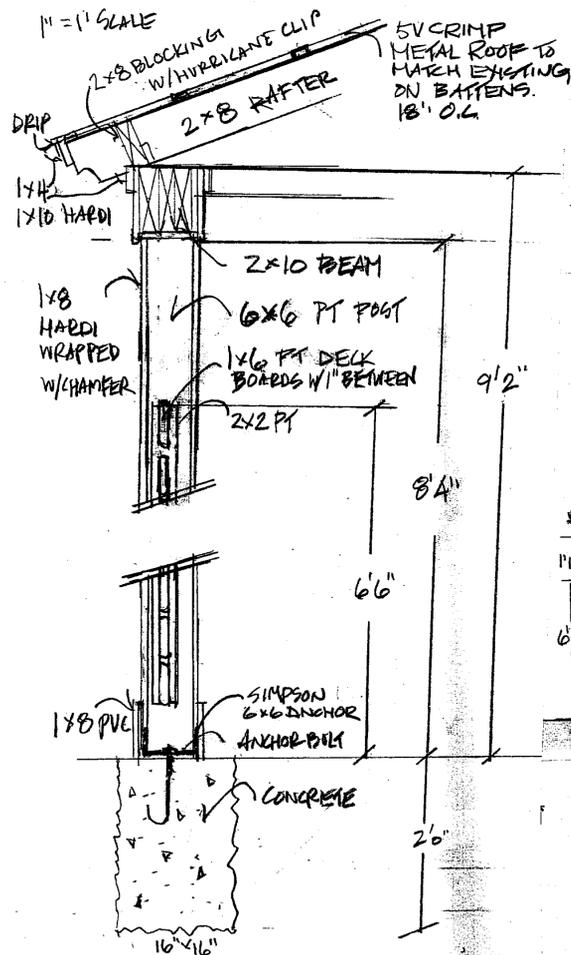
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**SHEET: PROJECT:**

**BAUMANN RESIDENCE 14 STOCK FARM RD**  
LOT 36 STOCK FARM DEVELOPMENT  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA  
DATE: 5/29/15 REV. DATE: 7/5/16

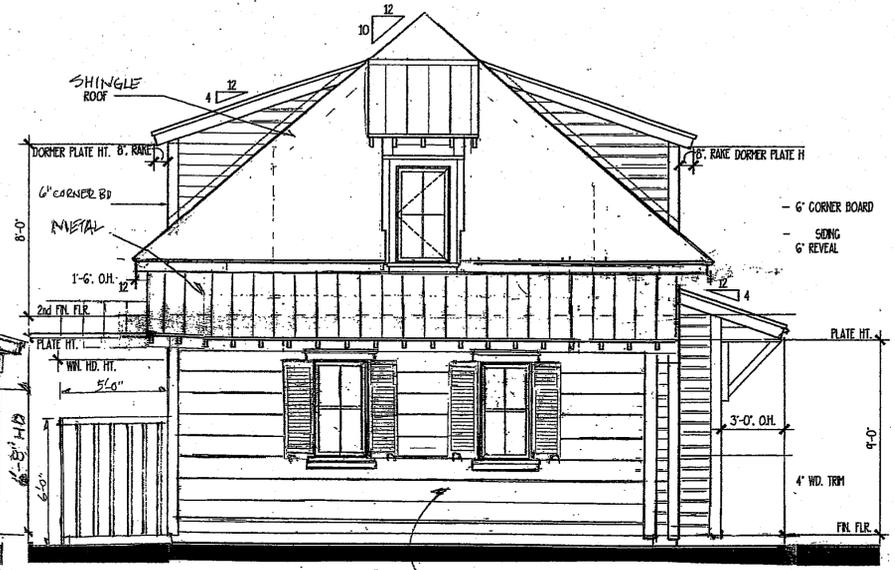
**REYBAE 7/5/16**

**4/5**



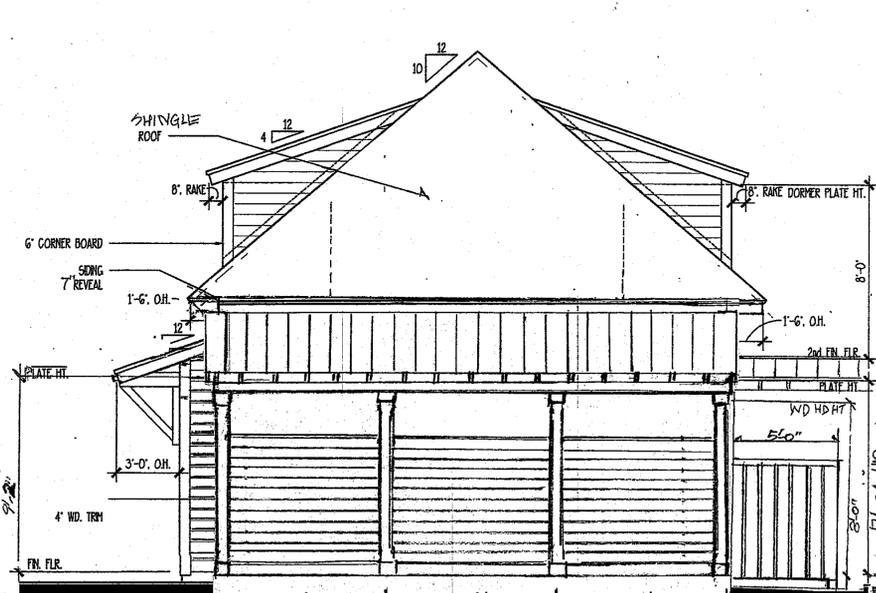
4 REAR ELEVATION

SCALE: 1/4" = 1'-0"



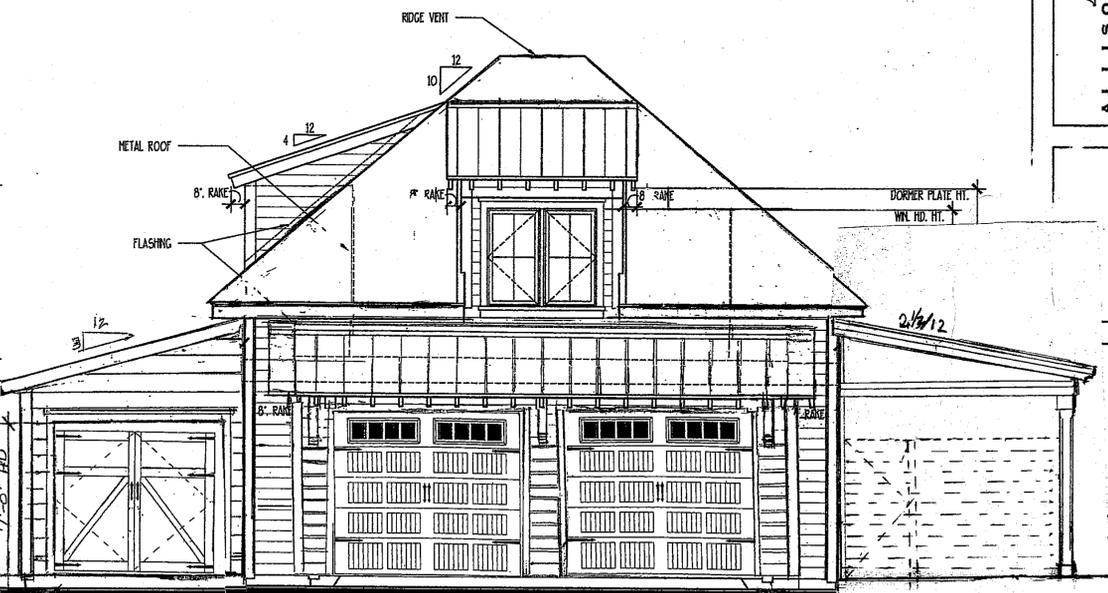
3 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

BAUMANN RESIDENCE 14 STOCK FARM RD  
 LOT 56 STOCK FARM DEVELOPMENT  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA  
 DATE: REV. DATE: 9/2/25

G0016

REV DATE: 7/5/16

ARA  
 ALLISON RAMSEY  
 Architects Inc. creating sustainable timeless design  
 1003 Charles St.  
 Beaufort SC, 29902  
 (843) 986-0559  
 www.allisonramseyarchitect.com

JOB NO.: G0016  
 DATE: 7/5/16  
 DRAWING NAME: G0016 RELEV

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PLAN REVIEW COMMENTS FOR COFA-07-16-009863

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
STOCK FARM

Plan Type: Historic District Apply Date: 07/05/2016
Plan Status: Active Plan Address: 14 Stock Farm Rd
BLUFFTON, SC 29910
Case Manager: Erin Schumacher Plan PIN #: R610 039 000 1513 0000
Plan Description: The Applicant is requesting a Certificate of Appropriateness to construct a 209 square foot screen porch addition.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the July 18th meeting.

Staff Review (HD)

Submission #: 1 Recieved: 07/08/2016 Completed: 07/15/2016

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Growth Management Dept Review (HD), 07/15/2016, Erin Schumacher, Approved with Conditions

Comments:

- 1. For the final submittal provide the following:
a. An architectural detail of the screening. Note that porches may be screened; however, all architectural expression (columns, railings, pickets, etc.) must occur on the outside of the screen (facing the street or public space). (Applications Manual, UDO Section 5.15.6.E.5.g.)
b. A landscape plan noting foundation plantings must be submitted as not enough information was provided to review with conformance with the UDO. (Applications Manual)
c. A letter of approval from the Stock Farm HARC is required. (Applications Manual)

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Beaufort Jasper Water and Sewer Review, 07/15/2016, Dick Deuel, Approved

Comments:

- 1. No comments submitted.

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: HPRC Review, 07/15/2016, Erin Schumacher, Approved

Comments:

- 1. No comments.

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Stormwater Review, 07/15/2016, Beth Lewis, Approved

Comments:

- The following construction site Best Management Practices (BMPs) should be implemented for construction site activities. Where applicable on the site this includes:
1. Silt Fencing buried a minimum of 6 inches below disturbed grade;
2. In areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing must be used;
3. Temporary gravel driveways a minimum of 15 feet by 10 feet; and
4. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site.

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Transportation Department Review - HD, 07/15/2016, Pat Rooney, Approved

Comments:

- 1. No comments.

**Comments:**

1. No comments.

**Plan Review Case Notes:**



# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	May 1, 2013
<b>PROJECT:</b>	14 Stock Farm – New Construction: Single-Family Residential
<b>APPLICANT:</b>	Ron Boshaw
<b>PROJECT MANAGER:</b>	Erin Schumacher, Senior Planner

**APPLICATION REQUEST:** The Applicant, Ron Boshaw of Boshaw Residential, requests that the Historic Preservation Commission approve the following application:

1. **COFA-4-13-5600.** A Certificate of Appropriateness to allow for the construction of a single family residence of approximately 1500 SF and an accessory Carriage House of approximately 1200 SF with covered breezeway connecting the two on the currently undeveloped property located at 14 Stock Farm Road in the Stock Farm development in the Old Town Historic District, and zoned Neighborhood General-HD.

**INTRODUCTION:** The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 1500 SF, is designed as an Additional Building Type, and an approximately 1200 SF Carriage House in accordance to the allowable building types for the Neighborhood General-HD zoning district. The single-family residential structure contains features of both the Cottage building type and the Vernacular House type, but does not fully embrace either building typology. As a result the structure is considered an Additional Building Type. The building features three gabled façades with a double hipped appurtenance over the living room with a wraparound front porch.

The Applicant has proposed buildings that reflect the vernacular characteristics of Bluffton by integrating a variety of roof types including gables, hips and shed roof lines, exposed rafter tails, a front porch, operable board and batten shutters, horizontal pig boards as skirting material, and a raised pier foundation with tabby stucco. Additional materials that are in keeping with the vernacular of Bluffton are the use of 5-V metal crimp roofing, beaded lap siding and fish scale shingles, chamfered square porch columns with capitals and bases, and corner board and water table trim.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

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1. Section 3.18.3.A. Consistency with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

*Finding.* The Secretary of the Interior’s Standards for Rehabilitation consist of ten standards for rehabilitation of historic buildings that is supported by additional information provided in the Secretary of the Interior’s Guidelines for Rehabilitating Historic Buildings. For this application, the Standards for Rehabilitation do not apply because the Applicant is not seeking to rehabilitate a historic structure; rather the Applicant is seeking to construct two new structures.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence with an accessory carriage house within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new

construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 3 of this Section are met.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
  - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type and the accessory structure falls within the Carriage House building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a recommendation regarding the appropriateness of the Additional Building Type.

Since the project is located within the Stock Farms development, the site is required to meet the front, rear, and side setbacks along with the lot coverage standards prescribed by the Stock Farms subdivision and development plans. The proposed site plan meets these established criteria.

- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
  - 1) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. The proposed structure has a wraparound porch on the front façade. The porch is supported by chamfered columns with capitals and bases. The column spacing permitted by the UDO states that columns and porch posts shall be spaced no farther apart than they are tall. The proposed columns are just over 9' and currently the plan configuration shows a center to center distance spanning between the columns at the diagonal portion of the porch of approximately 11'-6". This does not meet the allowable configuration. Another porch column must be added at this location to meet the requirements. Additionally, the UDO states that piers shall be placed directly below the columns or posts which they support so an additional pier must be added directly below the new post.

The proposed columns are 10" diameter fiberglass composite column of a tapered Tucson style. The UDO states that permitted column finish materials are: wood (painted or natural), cast iron, concrete with smooth finish, brick, or stone. Fiberglass composite is not a permitted finish material. The columns should be replaced with one with a permitted finish material.

According to the same section of the UDO, the permitted configuration of porch baluster spacing is 4" o.c. minimum to 5"

o.c. maximum. The railing shown on the Entry Porch Detail on sheet 6/6 show the 5/5 x 5/4 square pickets spaced at 3" on center. This configuration does not meet the minimum requirements and must be redesigned to meet the standards.

- 2) Section 5.15.6.L. Opacity and Facades. The general guideline for opacity and facades states that each floor of any building façade facing a park, square, or street shall contain transparent windows covering 20% to 70% of the wall area. While the main single family residential structure meets these requirements, the Carriage House does not. Currently the first floor of the Carriage House has no fenestration facing Stock Farm Road. Additional windows must be added at this location to meet the minimum opacity requirements for this façade.
- 3) Section 5.15.6.P. Cornice, Soffit, and Frieze. On sheet 6/6 both detail #7, the Rake Detail, and Detail #2, the Roof/Wall Detail show plywood soffit material. The UDO states that rough sawn wood, plywood, and aluminum are not permitted materials for soffit or cornice detailing. The material must be revised to an allowable soffit material, such as wood or cement fiber.
4. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

5. Section 3.18.3.E. Preservation of the existing building's historic character and architecture.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The lot is currently undeveloped so the criterion does not apply to this application.

6. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

7. Section 3.18.3.G. For an application to demolish, either whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider:

- A. The existing and historical ownership and use and reason for requesting demolition; and
- B. Information that establishes clear and convincing evidence that:
  - 1) The demolition of the structure is necessary to alleviate a threat to public health or public safety; and
  - 2) No other reasonable alternatives to demolition exist; and
  - 3) The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property.

*Finding.* The application does not seek out demolition concerning a Contributing Structure so this review criterion does not apply to the application.

- 8. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The application has been reviewed by Town Staff and has been determined to be complete, meeting all requirements of the Applications Manual. It is important to note that the Applicant has, as required, submitted a Letter of Approval from Habitat and Architectural Review Committee of Stock Farm dated April 23, 2013. The letter states that the residential design and ancillary building meets the guidelines established by Stock Farm and recommends the Historic Preservation Commission approve the plans and issue a Certificate of Appropriateness.

**STAFF RECOMMENDATION:** Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

- 1. Per Section 5.15.6.H.1.a. of the UDO, the column spacing shall be modified to be no farther apart than they are tall. As a result an additional column is required on the wrap around porch. Additionally, once the new column location is determined, a pier shall be placed directly below the column which it supports.
- 2. Per Section 5.15.6.2.a. of the UDO, the proposed 10" diameter fiberglass composite columns shall be replaced with a column with a permitted finish material of wood (painted or natural), cast iron, concrete with smooth finish, brick, or stone.
- 3. Per Section 5.15.6.3.d. of the UDO, the porch baluster spacing shall be increased from 3" o.c. to 4" or greater o.c., but not to exceed 5" o.c. as permitted.

4. Per Section 5.15.6.L.1. of the UDO, the first floor of the south wall of the Carriage House shall contain transparent windows covering 20% to 70% of the wall area as required by the standard.
5. Per Section 5.15.6.P.10. of the UDO, the proposed soffit materials shall be of a permitted material, such as wood or cement fiber. Currently, they are noted in Detail 2 & 7 of Sheet 6/6 as plywood which is not a permitted material for soffit or cornice detailing.

**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. Review Board Letter