

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	July 6, 2016
PROJECT:	80 Bridge Street – New Construction: Single-Family Residential
APPLICANT:	Kurt Hall
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Kurt Hall of Thomas L. Hiatt Architects on behalf of Katherine W. Harvey, requests that the Historic Preservation Commission approve the following application:

1. **COFA-5-16-9635.** A Certificate of Appropriateness to allow for the construction of a new single family residence of approximately 2,560 SF and a detached carriage house of approximately 750 SF on the property identified as 80 Bridge Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicants are proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,560 SF, has attributes of the Village House Building Type, but does not fully meet the dimensional requirements, so it has been reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 750 SF which meets the design standards for a Carriage House.

The main house structure is a 2-story forward facing gable structure with a first and second floor front porches and a 1-story hipped roof wing projecting from the east elevation. The carriage house is a 1-story gabled, L-shaped structure, with an open trellis structure to the west.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a variety of roof types including a gables and shed roof forms, front and rear porches, and a combination of horizontal lap siding and board and batten siding. Additional materials that are in keeping with the vernacular of Bluffton are the use of square and chamfered columns with bases and capitals, corner board trim, an expression line, and tabby stucco at the foundation wall.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 16, 2016 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single family residence within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures

located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in section 2 are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.5.F.6. General Standards. The UDO states that the front build-to for an Additional Building type is 10'-20' from the front property line. There are two large cedar trees (22 and 24 DBH) that the Applicant would like to retain. As such, they are requesting that an exception to the front build-to be permitted by the HPC to allow the preservation of these protected trees. Town Staff supports the Applicants request.
 - 2) Section 5.15.5.H.1.a. Columns, Arches, Piers, Railings, Balustrades. The Applicant has proposed columns along the front and rear porches. The column spacing is approximately 9-1/2" tall and 10'-0" wide on the first floor and 9'-0" tall and 10"-0" wide on the second floor. The spacing at the rear porch is approximately 9'-0" tall and 12'-0" wide. The UDO requires that columns and porch posts shall be placed no farther apart than they are tall. As such, the proposed column spacing does not meet the requirement and must be revised to meet the requirements of the UDO.
 - 3) Section 5.15.6.I.3.a. and 5.15.6.A. Architectural Standards & Windows and Doors. The UDO notes the permitted window configurations to include: rectangular, square, transom, and sidelight. The Applicant has proposed the use of four transom

windows on the Left Side Elevation without full size windows below. As the primary goal of the architectural standards is authenticity and based on construction that draws its ornament and variety from the traditional assembly of genuine materials, the transom windows must be revised to a traditional assembly or modified to a permitted configuration. In this case, they could be revised to square windows or if spatial layout permits have full size windows added below.

- 4) Section 5.15.6.M.1.d. Shutters. The UDO notes the typical "s" design shutter dog as appropriate. No information was provided on the type of shutter dog proposed. Supply Town Staff with information on the type of shutter dog that is proposed for review.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures is consistent with those allowed in the Neighborhood General-HD zoning district and appropriate for its location along Bridge Street. Additionally, the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete. It appears that the removal of a 17" Palm at the front of the property may be proposed as it is noted for removal on the site plan, yet has been included on the landscape plan. Please clarify if this tree is to be retained or removed. If proposed for removal, a Town of Bluffton tree removal permit is required for any tree over 14" in diameter that is located on a lot used for detached single-family residential.

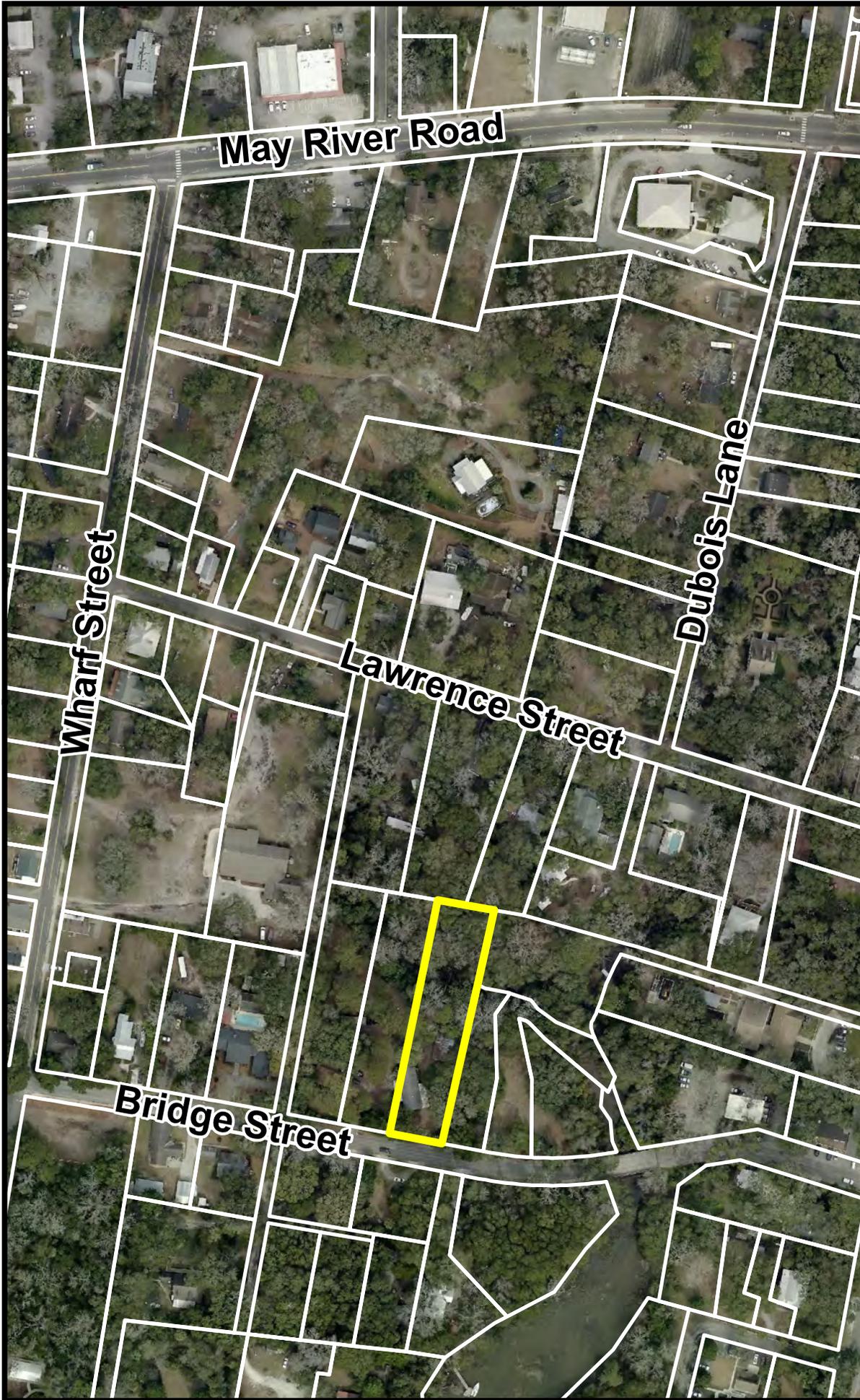
STAFF RECOMMENDATION: Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have

been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.5.F.6 of the UDO, HPC allow an exception to the front build-to line to allow the preservation of the 22 and 24 DBH cedar trees.
2. Per Section 5.15.5.H.1.a. of the UDO, the column spacing along the front and rear porches must be revised to meet the spacing requirements of no farther apart than they are tall.
3. Per Section 5.15.6.I.3.a. and 5.15.6.A. of the UDO, the four transom windows on the Left Side Elevation must be revised to a traditional assembly or modified to a permitted configuration.
4. Per Section 5.15.6.M.1.d. of the UDO, supply Town Staff with information on the type of shutter dog that is proposed.
5. Per the Applications Manual, a Town of Bluffton tree removal permit is required for the removal of any tree over 14" in diameter.

ATTACHMENTS:

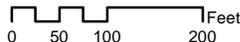
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan
5. HPRC Comments



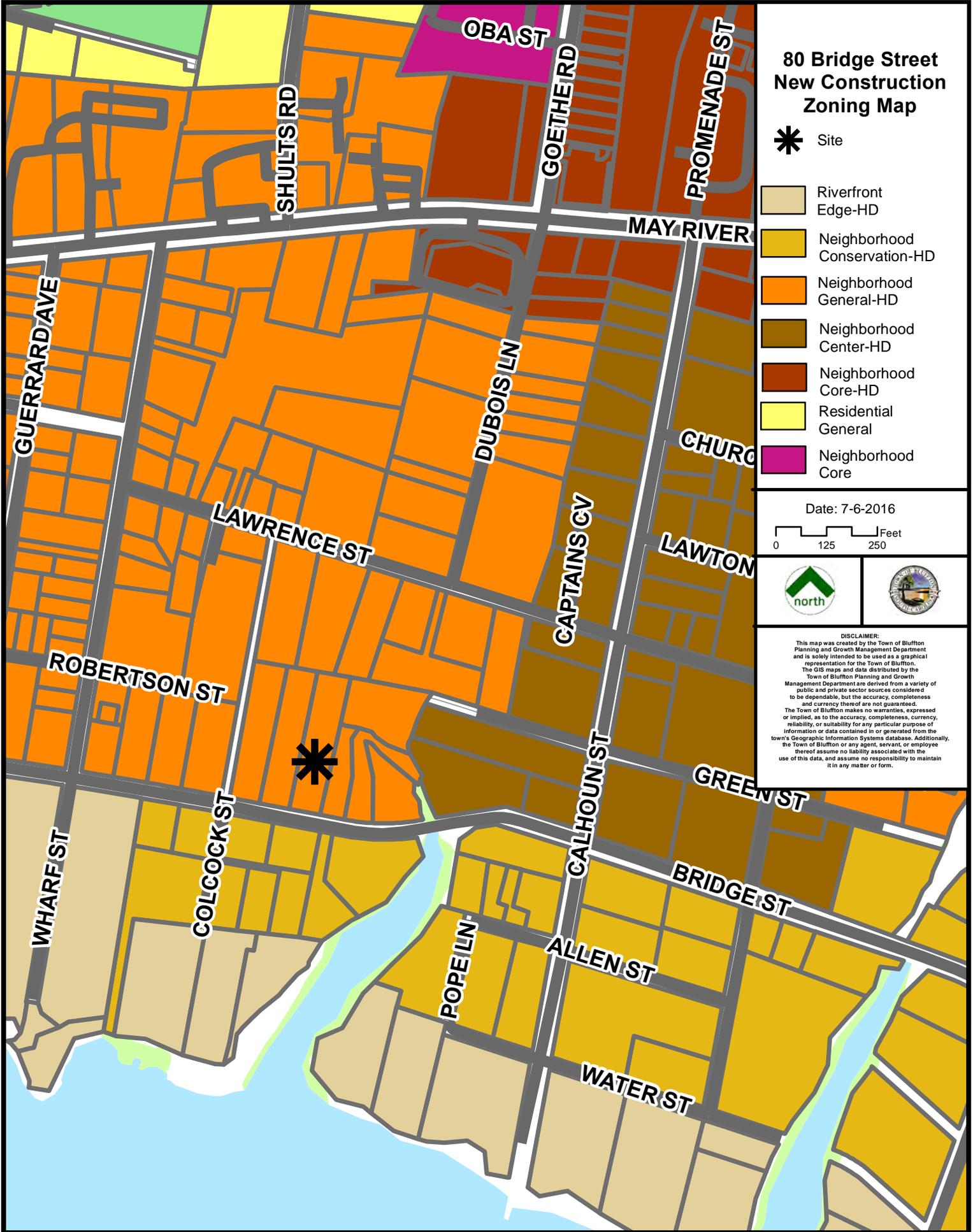
80 Bridge Street Location Map



Date: 7-6-2016



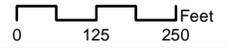
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80 Bridge Street New Construction Zoning Map

-  Site
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 7-6-2016



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Thomas L. Hiatt
ARCHITECT

June 1, 2016

PROJECT NARRATIVE

Address: 158-A Bridge Street

Ms. Katherine Harvey is building an 'Other' two-story home of 2,560 sq. ft. Behind the home will be a Carriage House featuring a two car garage with a future bonus room above. The future heated space in the Carriage House is 393 sq. ft.

The project will feature a lap pool behind the home and beside the Carriage House.

REVISIONS

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A RESIDENCE FOR:
THE HARVEY RESIDENCE
LOT #80, BRIDGE STREET
OLDE TOWN BLUFFTON, SC

SHEET TITLE
SITE PLAN
(@ LARGER SCALE)
PLOTTED 6/20/2016

DATE
MAY 2, 2016
JUNE 1, 2016
JUNE 20, 2016

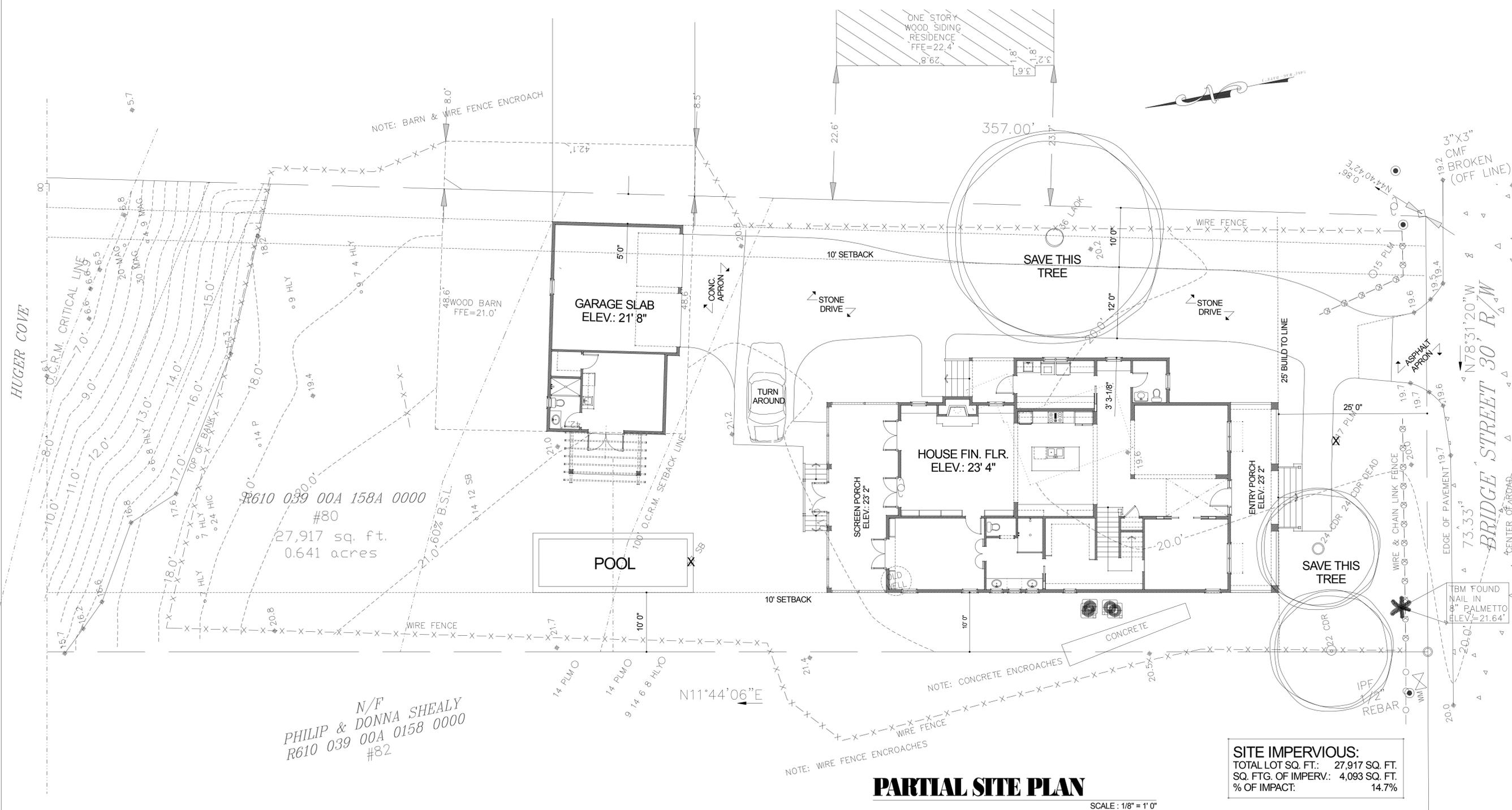
SHEET NUMBER

1A

JOB NUMBER
1613

N/F
EDWARD & ABBEY CROSS
R610 039 00A 0159 0000
#76

N/F
PHILIP & DONNA SHEALY
R610 039 00A 0158 0000
#82



SITE IMPERVIOUS:
TOTAL LOT SQ. FT.: 27,917 SQ. FT.
SQ. FTG. OF IMPERV.: 4,093 SQ. FT.
% OF IMPACT: 14.7%

PARTIAL SITE PLAN

SCALE: 1/8" = 1' 0"

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 OLD TOWN BLUFFTON, S.C.

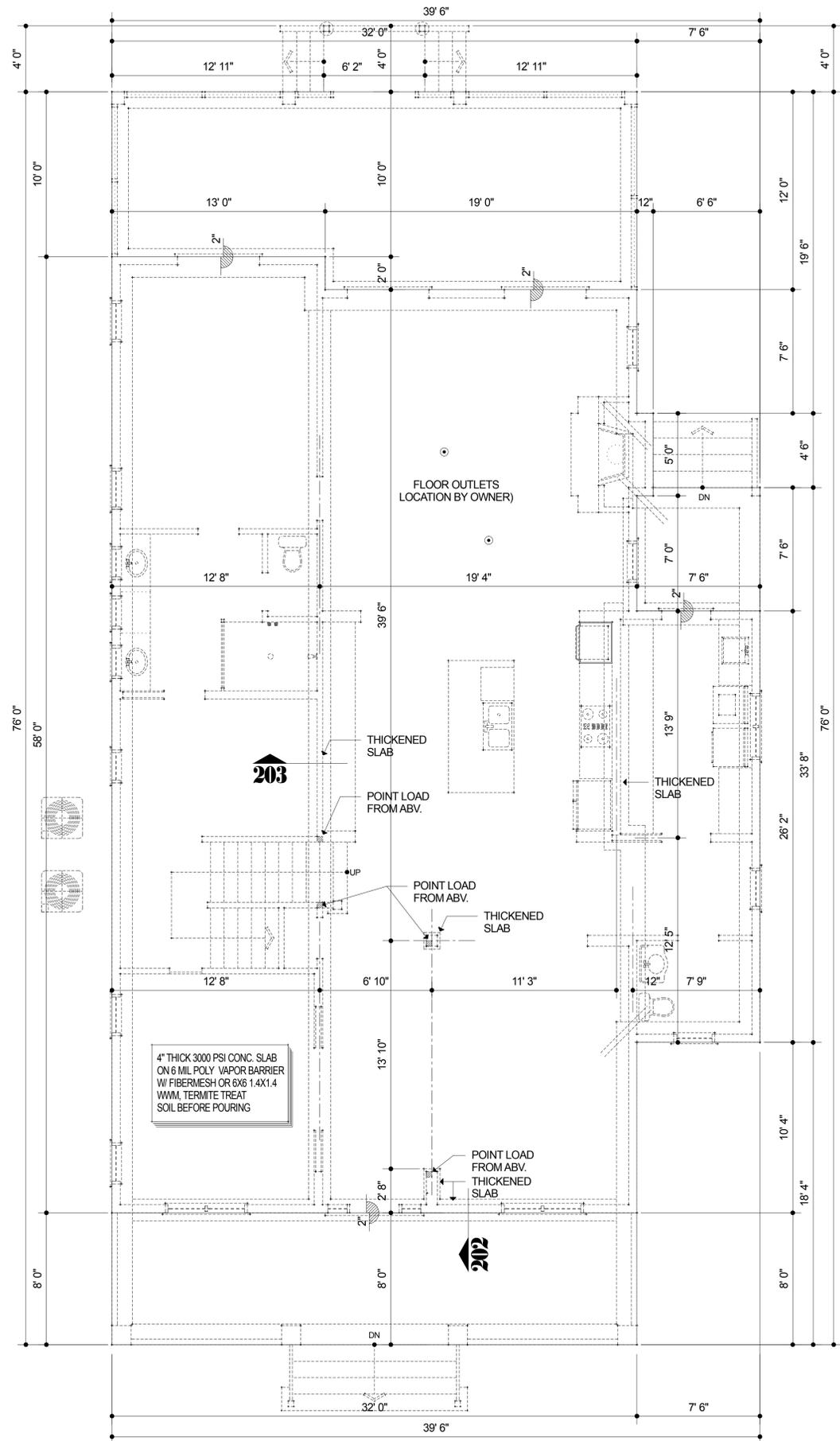
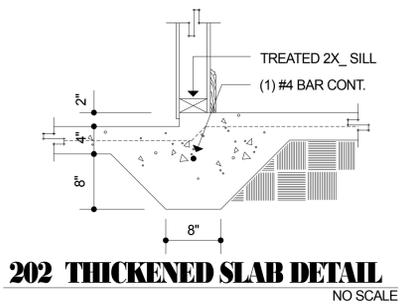
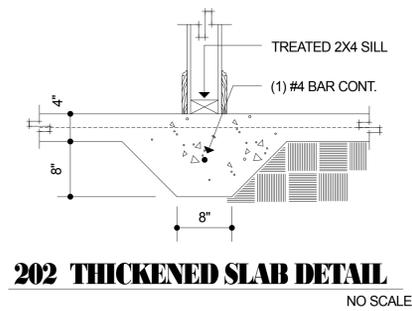
SHEET TITLE
 FOUNDATION
 PLAN
 PLOTTED 6/20/2016

DATE
 MAY 2, 2016
 JUNE 1, 2016
 JUNE 20, 2016

SHEET NUMBER

2

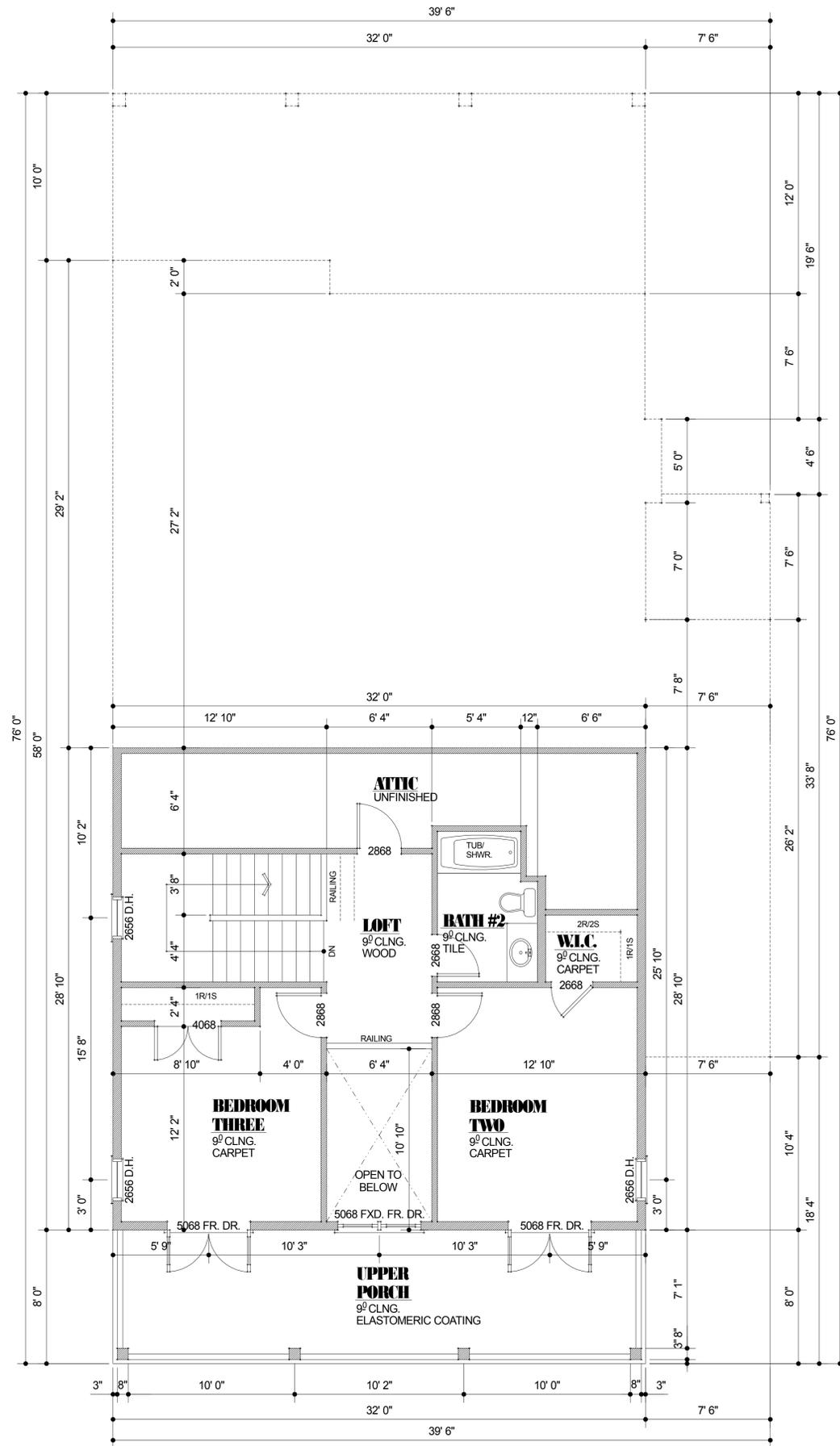
JOB NUMBER
 1613



4" THICK 3000 PSI CONC. SLAB
 ON 6 MIL POLY VAPOR BARRIER
 W/ FIBERMESH OR 6X6 1.4X1.4
 W/M, TERMITE TREAT
 SOIL BEFORE POURING

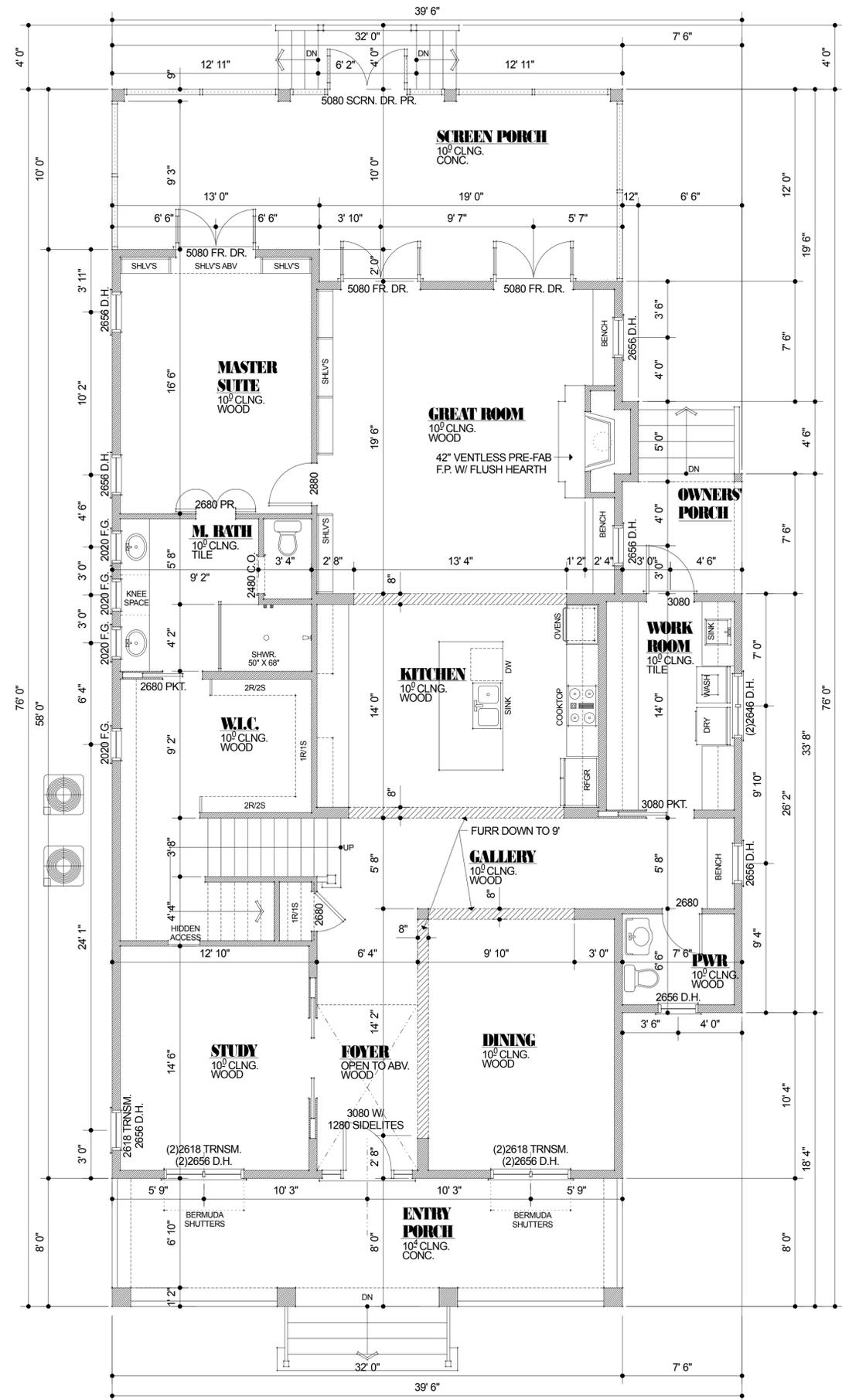
201 FOUNDATION PLAN

SCALE : 1/4" = 1' 0"



302 SECOND FLOOR PLAN

SCALE: 1/4" = 1' 0"



301 FIRST FLOOR PLAN

SCALE: 1/4" = 1' 0"

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SHEET TITLE
 FLOOR PLANS
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DATE
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 JUNE 1, 2016
 JUNE 20, 2016

SHEET NUMBER

3

JOB NUMBER
 1613

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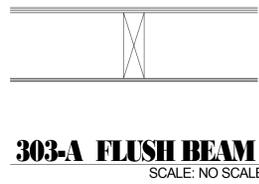
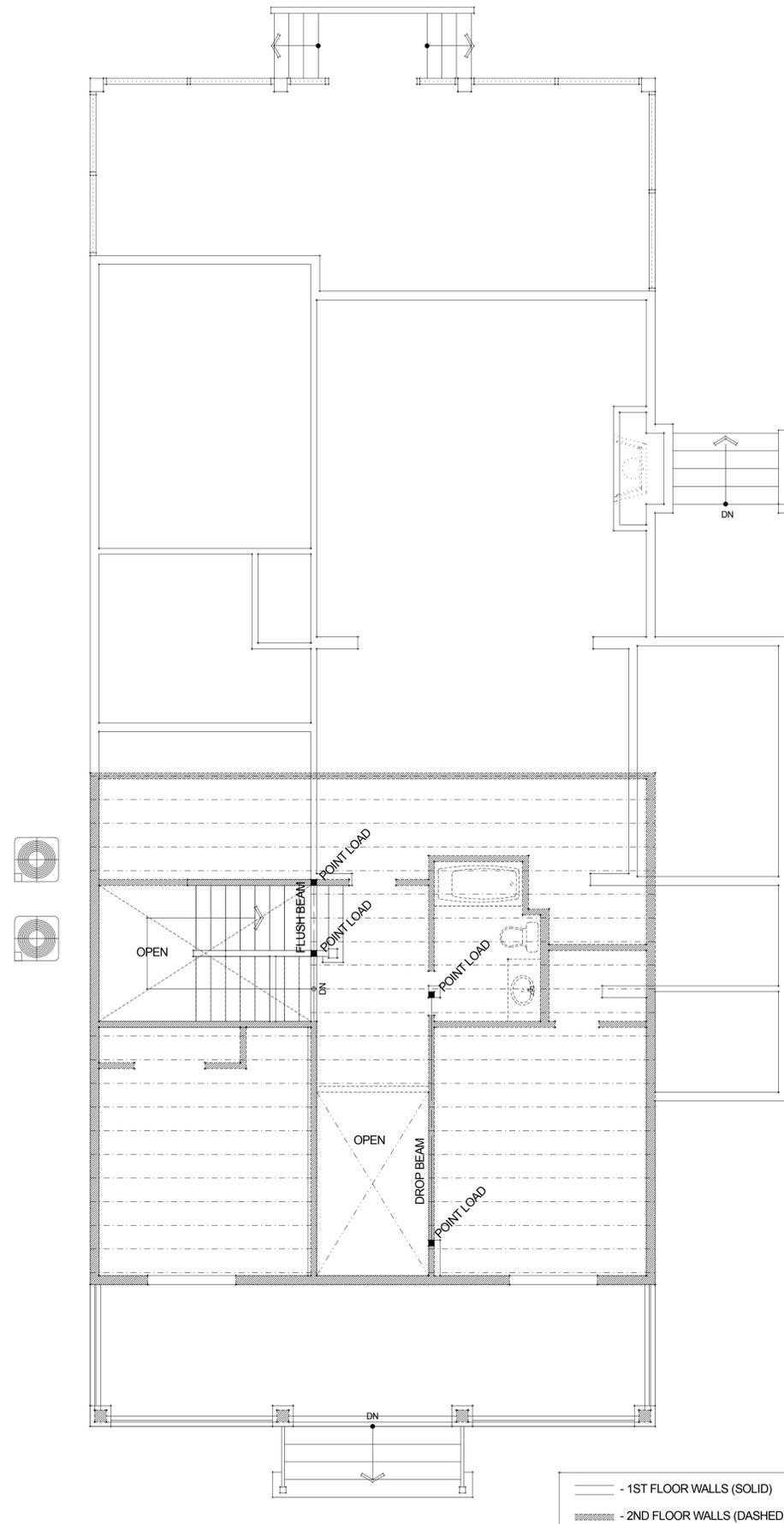
A RESIDENCE FOR :
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SHEET TITLE
 2ND FLOOR
 FRAMING PLAN
 PLOTTED 6/20/2016

DATE
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 JUNE 1, 2016
 JUNE 20, 2016

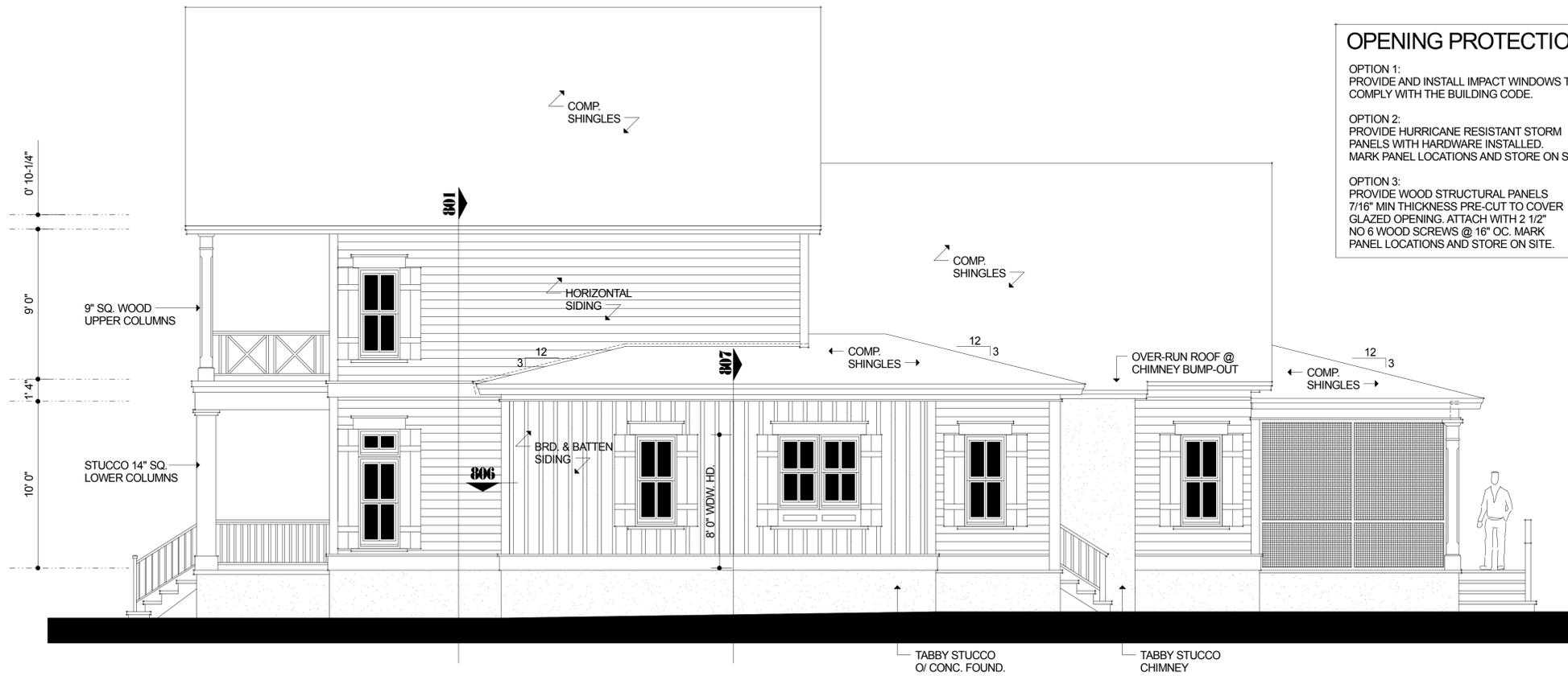
SHEET NUMBER

3A
 JOB NUMBER
 1613



301-A CONCEPTUAL 2ND FLR. FRAMING PLAN

SCALE : 1/4" = 1' 0"



404 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"

OPENING PROTECTION

OPTION 1:
PROVIDE AND INSTALL IMPACT WINDOWS TO COMPLY WITH THE BUILDING CODE.

OPTION 2:
PROVIDE HURRICANE RESISTANT STORM PANELS WITH HARDWARE INSTALLED. MARK PANEL LOCATIONS AND STORE ON SITE.

OPTION 3:
PROVIDE WOOD STRUCTURAL PANELS 7/16" MIN THICKNESS PRE-CUT TO COVER GLAZED OPENING. ATTACH WITH 2 1/2" NO 6 WOOD SCREWS @ 16" OC. MARK PANEL LOCATIONS AND STORE ON SITE.

DOOR AND WINDOW D.P. RATING REQUIREMENTS:
MEAN ROOF HEIGHT: 30'
WIND ZONE: INLAND EXPOSURE B
EXPOSURE:
ZONE 4 - DR. & WINDOW D.P. RATING 25
ZONE 5 - (WIN 4' OF CORNERS) - DR. & WDW. D.P. RATING: 30

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OLD TOWN BLUFFTON, S.C.

SHEET TITLE
ELEVATIONS

PLOTTED 6/20/2016

DATE
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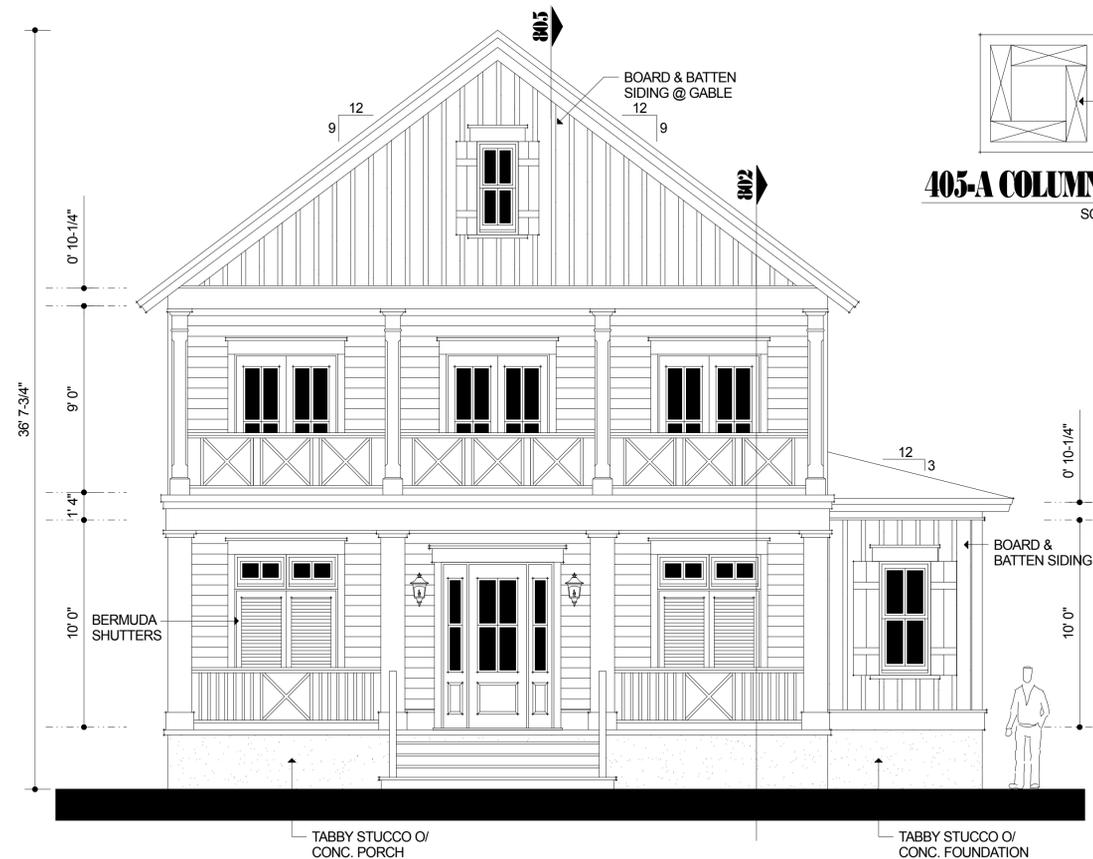
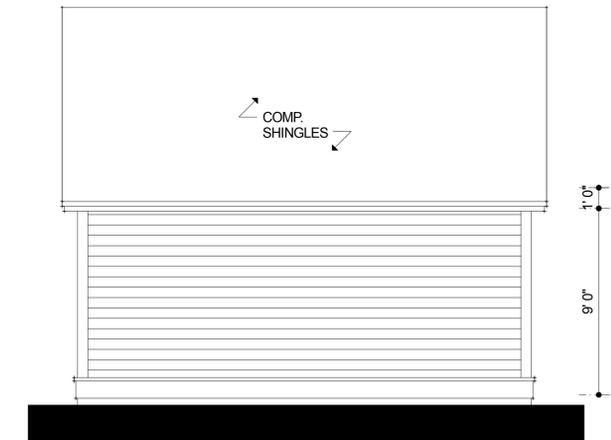
SHEET NUMBER

4

JOB NUMBER
1613

403 GARAGE/CABANA RIGHT SIDE

SCALE: 1/4" = 1' 0"

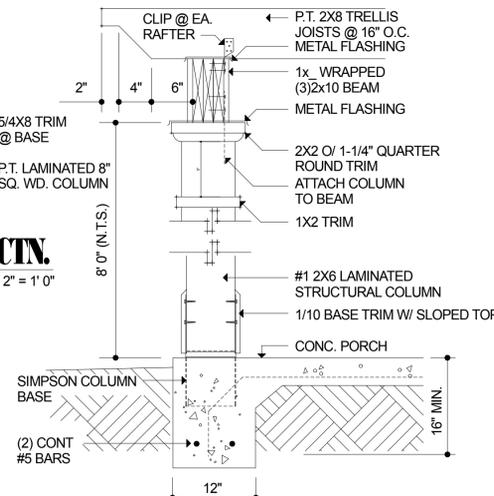


402 FRONT ELEVATION

SCALE: 1/4" = 1' 0"

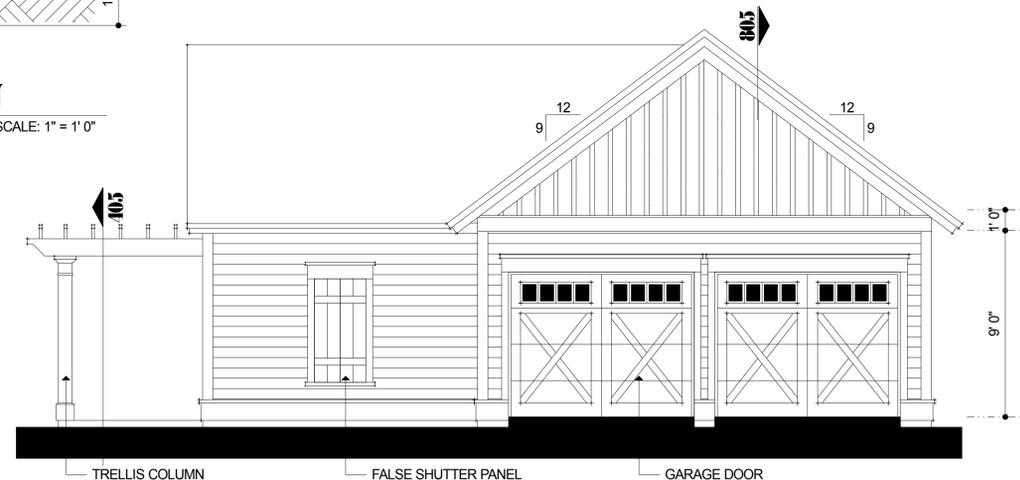
405-A COLUMN SCTN.

SCALE: 2" = 1' 0"



405 TRELLIS SECTION

SCALE: 1" = 1' 0"



401 GARAGE/CABANA FRONT (BEYOND)

SCALE: 1/4" = 1' 0"

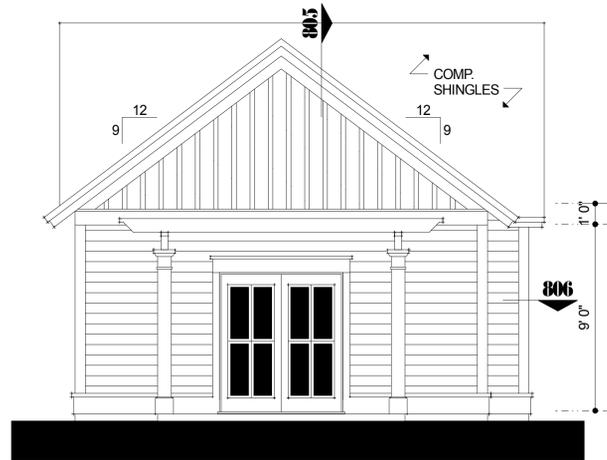
OPENING PROTECTION

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PROVIDE AND INSTALL IMPACT WINDOWS TO COMPLY WITH THE BUILDING CODE.

OPTION 2:
PROVIDE HURRICANE RESISTANT STORM PANELS WITH HARDWARE INSTALLED. MARK PANEL LOCATIONS AND STORE ON SITE.

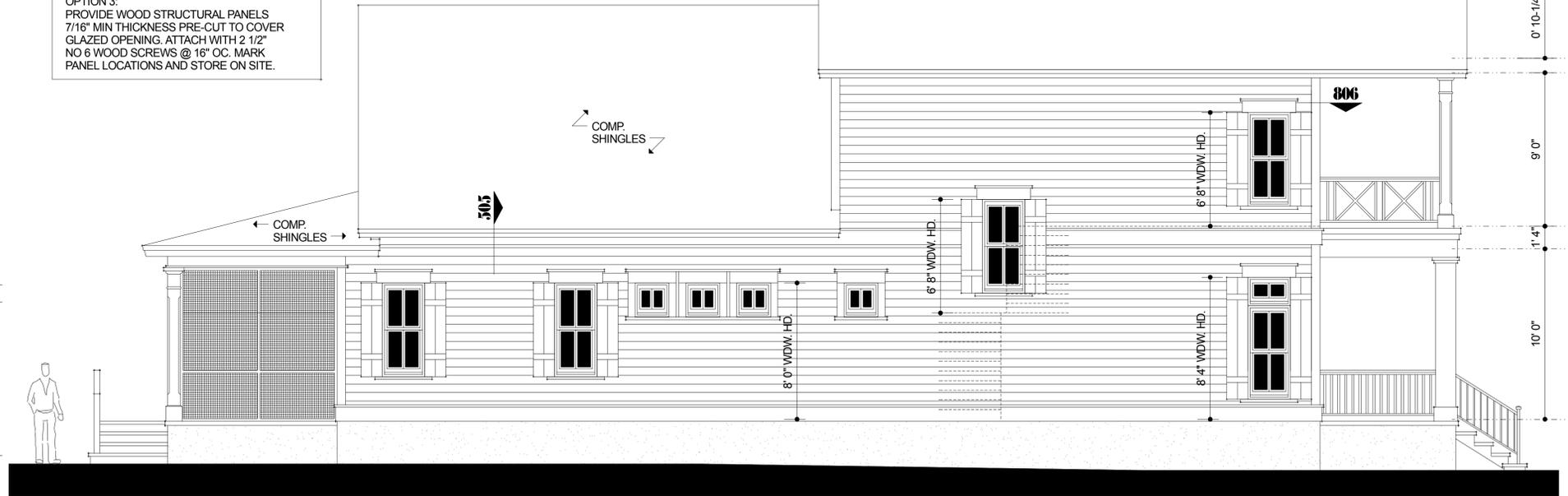
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MEAN ROOF HEIGHT: 30'
WIND ZONE: INLAND EXPOSURE B
EXPOSURE:
ZONE 4 - DR. & WINDOW D.P. RATING 25
ZONE 5 - (WIN 4' OF CORNERS) - DR. & WDW. D.P. RATING: 30



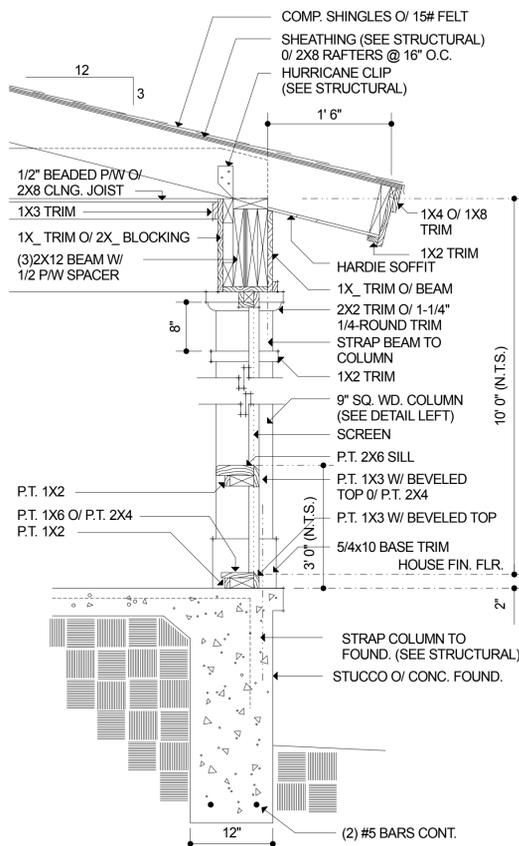
504 GARAGE/CABANA LEFT SIDE

SCALE : 1/4" = 1' 0"



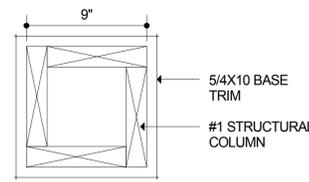
503 LEFT SIDE ELEVATION

SCALE : 1/4" = 1' 0"

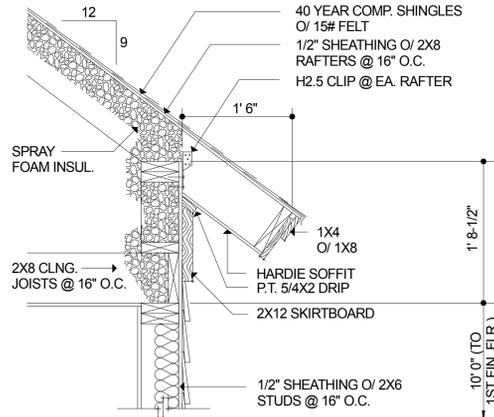


506 SCREEN PORCH SECTION

SCALE: 1" = 1' 0"

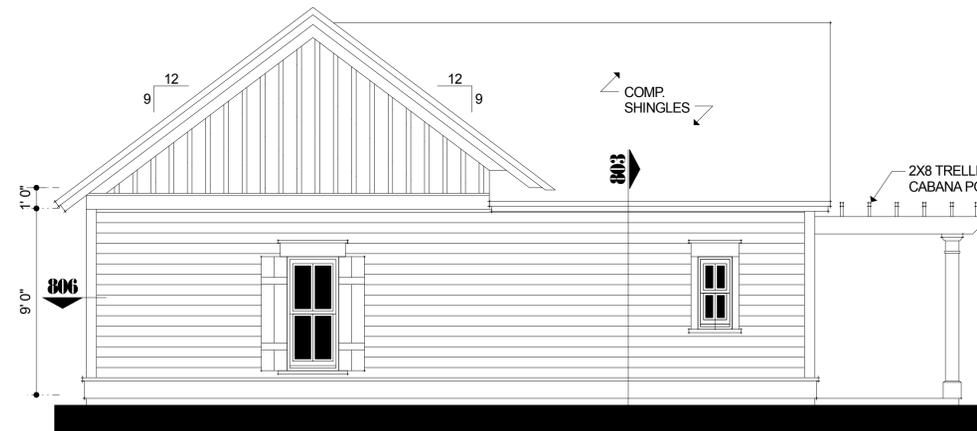


506-A CLMN. SECTION



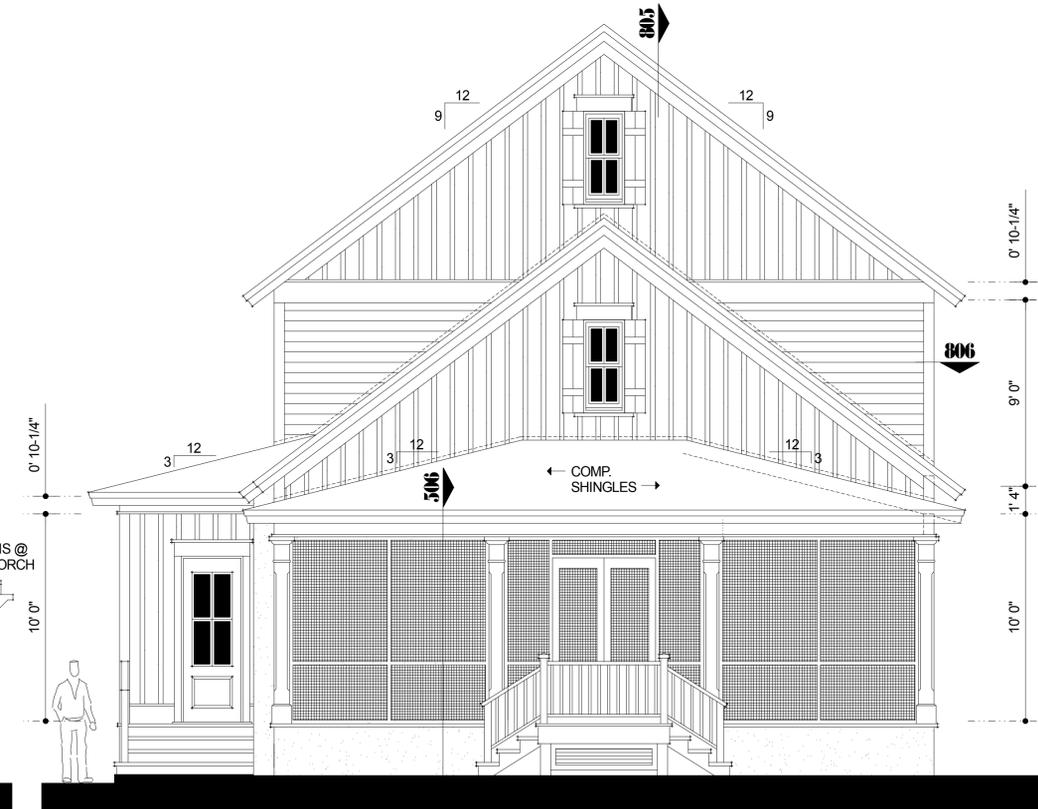
505 ONE STORY WALL SECTION

SCALE: 1" = 1' 0"



502 GARAGE/CABANA REAR

SCALE: 1/4" = 1' 0"



501 REAR ELEVATION

SCALE: 1/4" = 1' 0"

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SHEET TITLE
ELEVATIONS

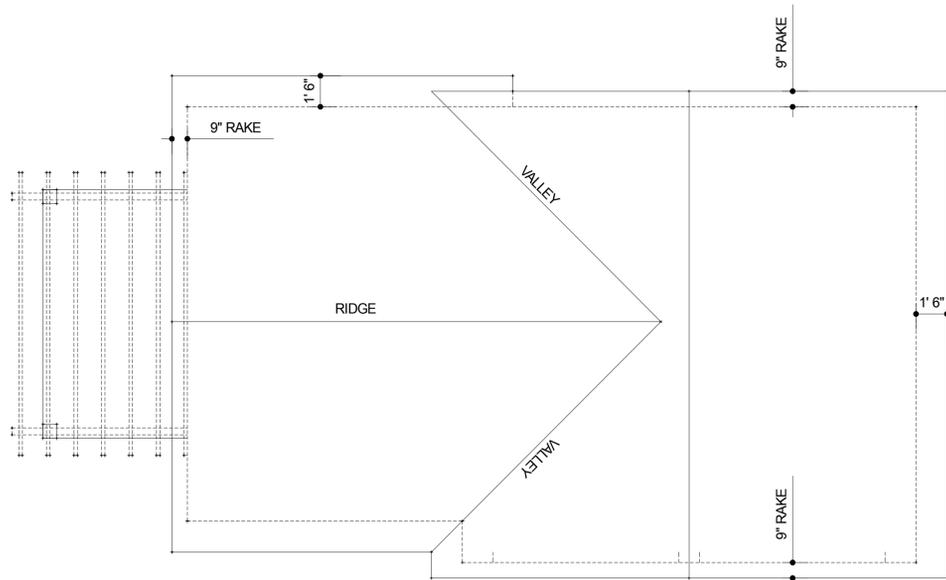
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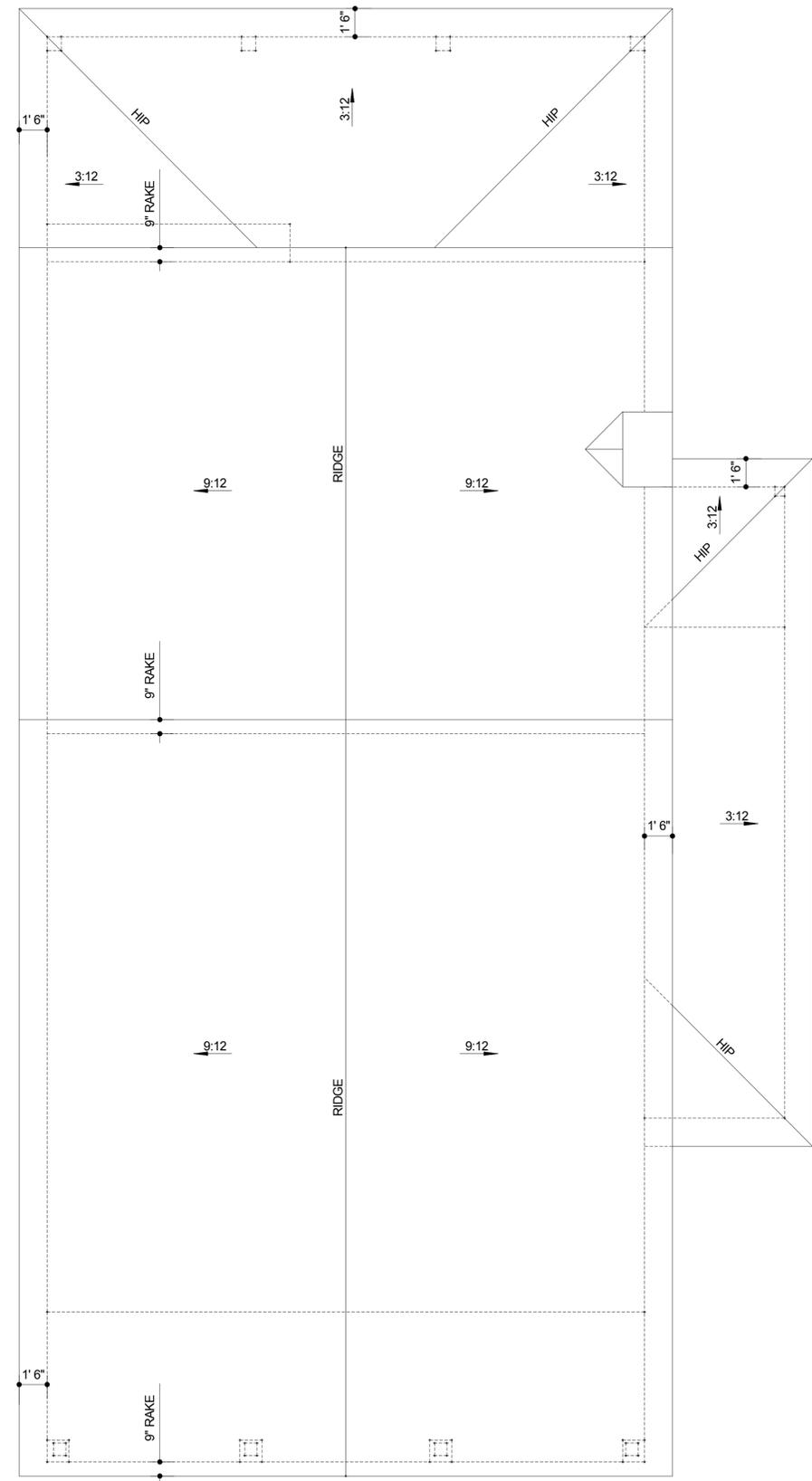
5

JOB NUMBER
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702 GARAGE ROOF PLAN

SCALE : 1/4" = 1' 0"



701 HOUSE ROOF PLAN

SCALE : 1/4" = 1' 0"

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SHEET TITLE
 ROOF PLANS
 PLOTTED 6/20/2016

DATE
 JUNE 1, 2016
 JUNE 20, 2016

SHEET NUMBER
7
JOB NUMBER
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REVISIONS

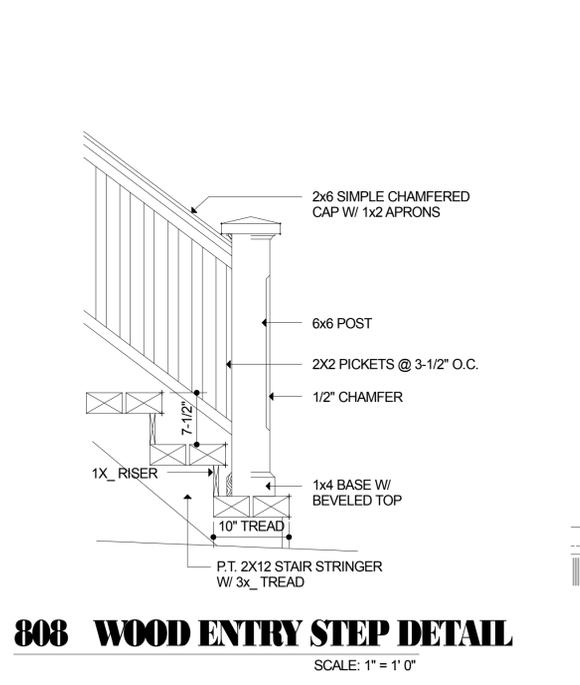
Thomas L. Hiatt
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 thiatrch@hiattgray.com FAX (843) 637-6585

A RESIDENCE FOR :
THE HARVEY RESIDENCE
 LOT #80, BRIDGE STREET
 OLD TOWN BLUFFTON, S.C.

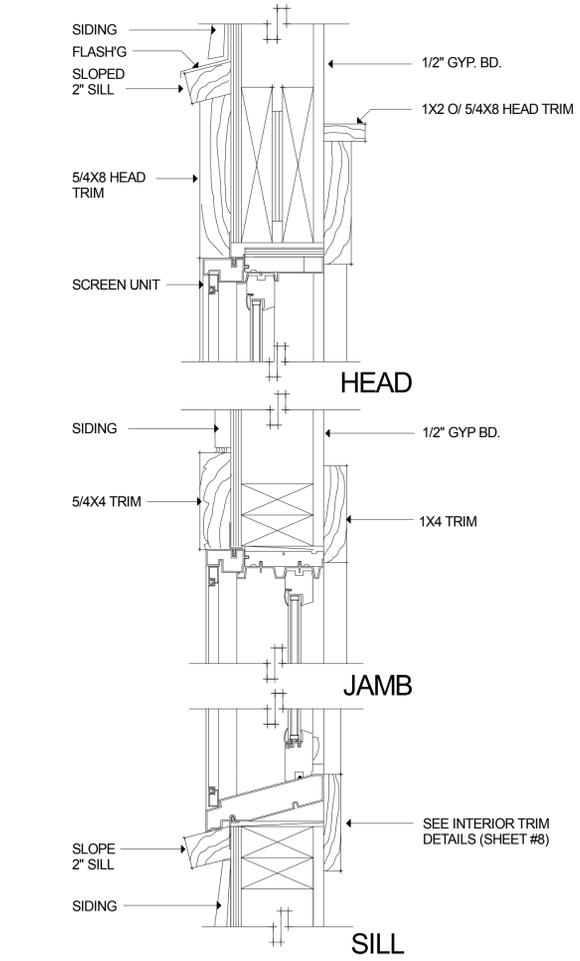
SHEET TITLE
 DETAILS
 PLOTTED 6/20/2016

DATE
 JUNE 1, 2016
 JUNE 20, 2016

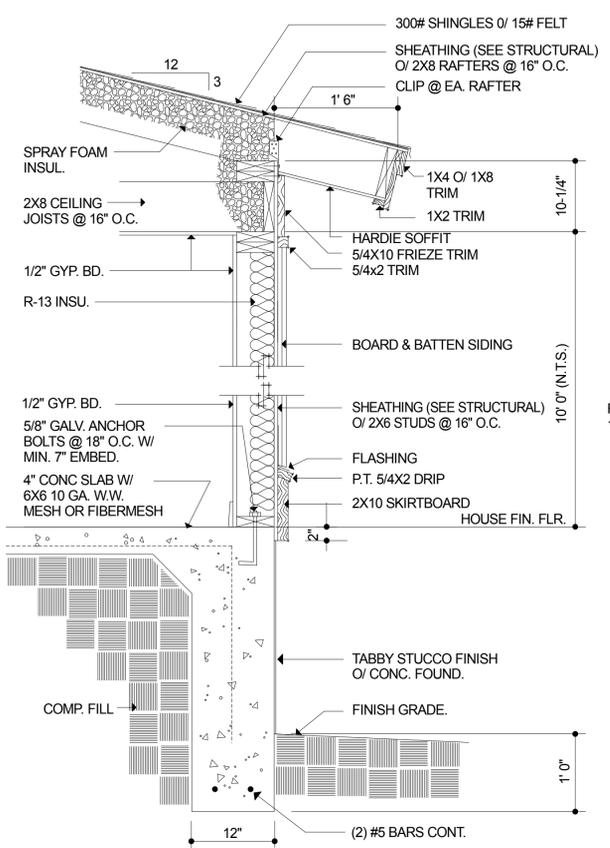
SHEET NUMBER
8
JOB NUMBER
 1613



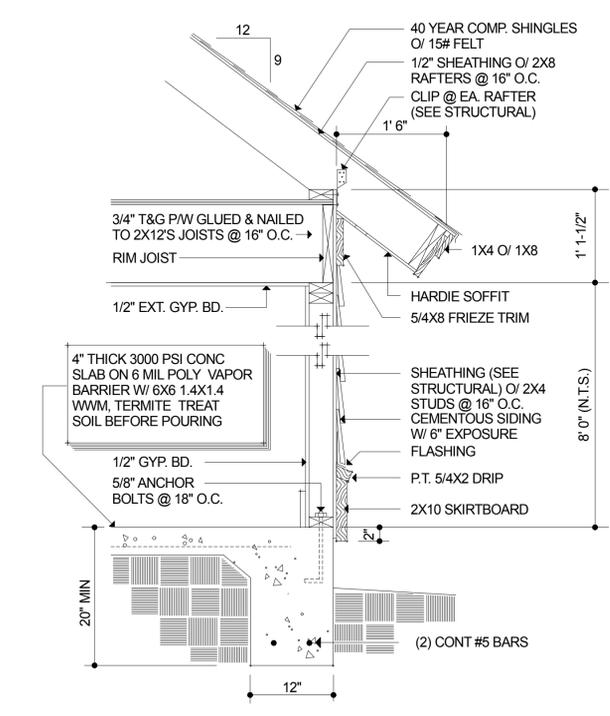
808 WOOD ENTRY STEP DETAIL
 SCALE: 1" = 1' 0"



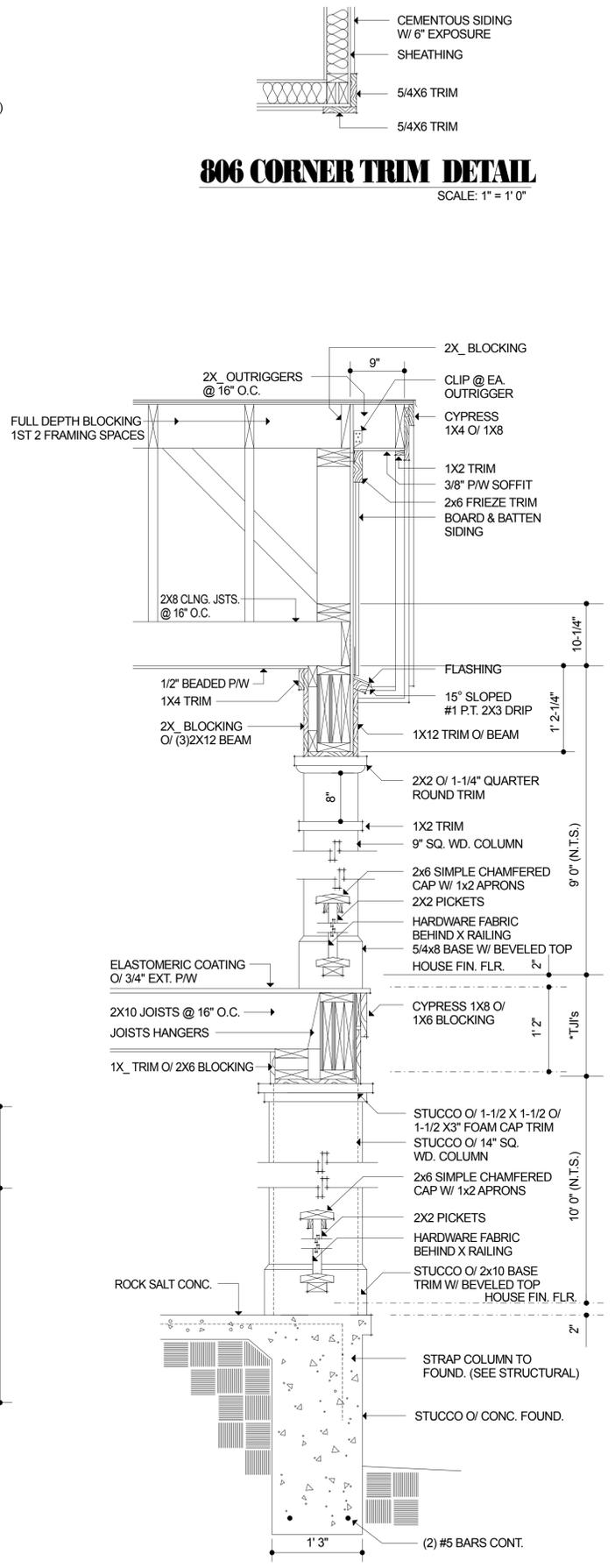
804 WINDOW DETAILS
 SCALE: 3/4" = 1' 0"



807 WALL SECTION
 SCALE: 1" = 1' 0"

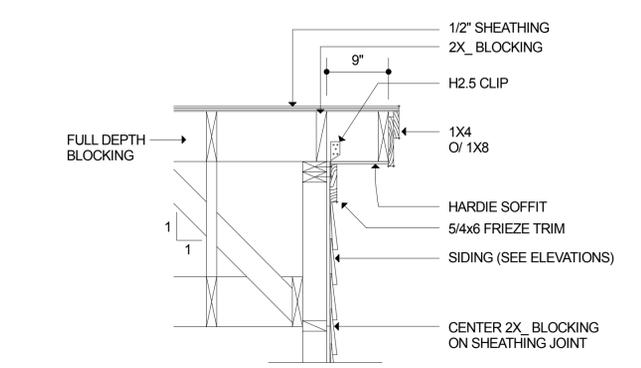


803 GARAGE WALL SECTION
 SCALE: 1" = 1' 0"



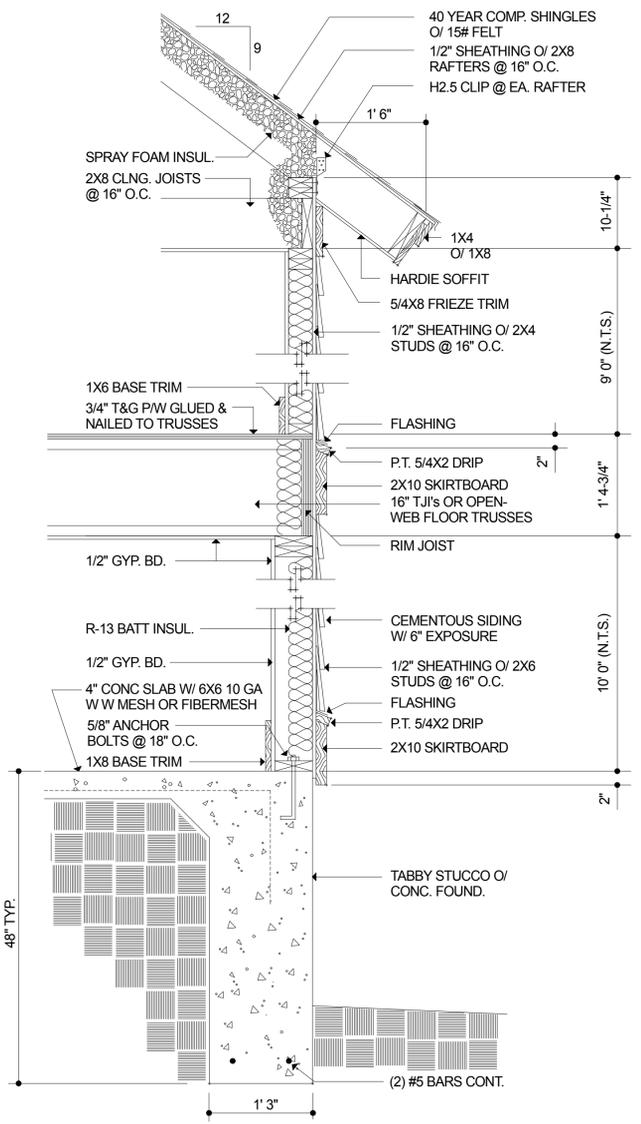
802 ENTRY PORCH SECTION
 SCALE: 1" = 1' 0"

806 CORNER TRIM DETAIL
 SCALE: 1" = 1' 0"



805 RAKE DETAIL
 SCALE: 1" = 1' 0"

NOTE: ANY NAILS OR FASTENERS IN CONTACT WITH PRESSURE TREATED (P.T.) LUMBER MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED



801 HOUSE WALL SECTION
 SCALE: 1" = 1' 0"

NOTE: ANY NAILS OR FASTENERS IN CONTACT WITH PRESSURE TREATED (P.T.) LUMBER MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED

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A RESIDENCE FOR :
THE HARVEY RESIDENCE
 LOT #80, BRIDGE STREET
 OLD TOWN BLUFFTON, S.C.

SHEET TITLE
ELECTRICAL PLANS
 PLOTTED 6/20/2016

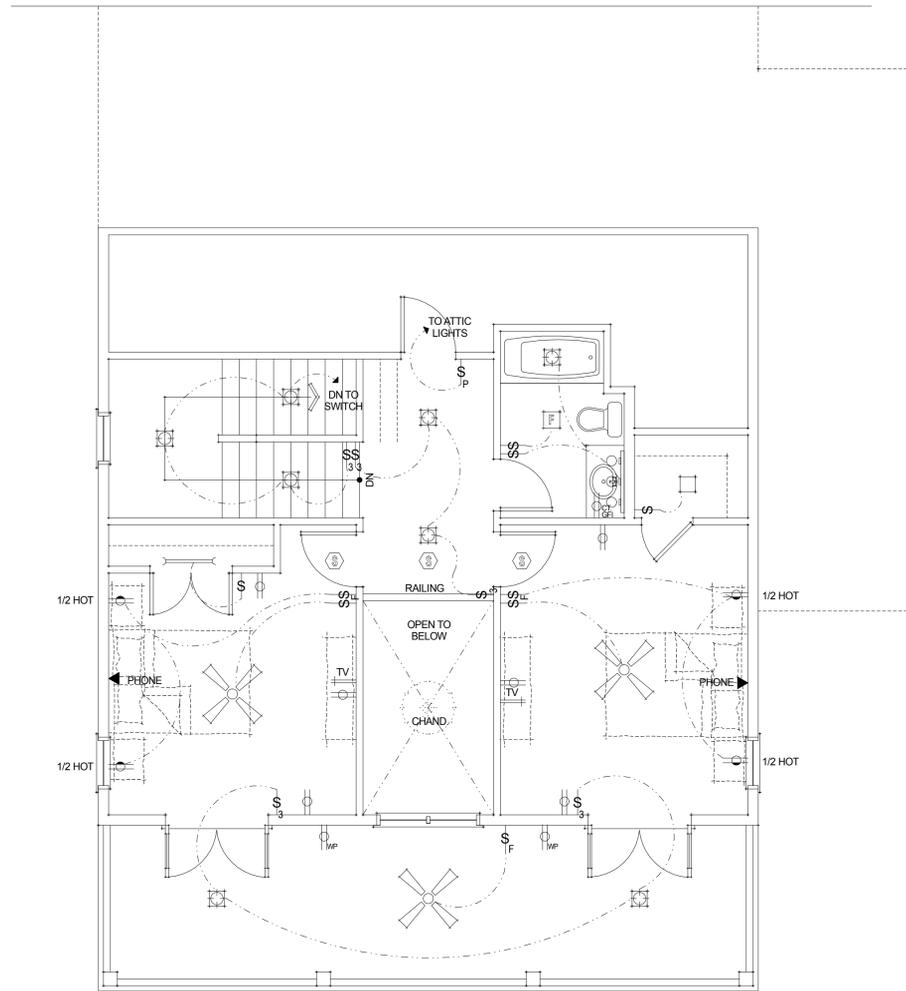
DATE
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 JUNE 1, 2016
 JUNE 20, 2016

SHEET NUMBER

9

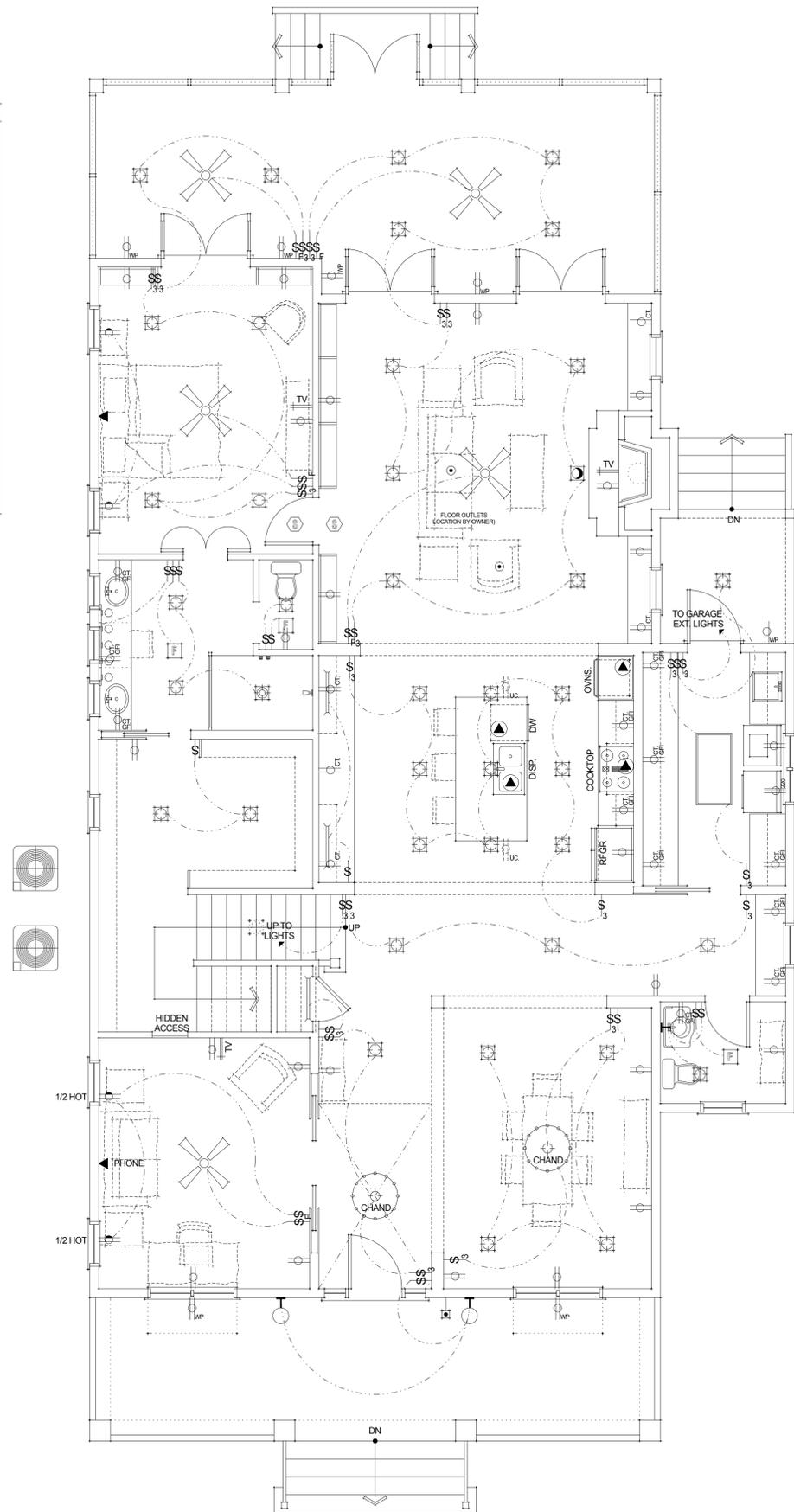
JOB NUMBER
 1613

ELECTRICAL LEGEND			
	110 VOLT DUPLEX RECEPTICAL		EXHAUST FAN
	110 V. DUP. RECPT./SWTCHD.		EXHAUST FAN / LIGHT
	220 VOLT RECEPTICAL		EXHST. FAN / LGHT. / HEAT LAMP
	110 V. WEATHER PRF. RECPT.		RECESSED DOWN LIGHT
	110 V. DUP. FLOOR RECPT.		SURFACE MNTD. INCANDESCENT
	110 V. DUP. CEILING RECPT.		EMERGENCY EXIT LIGHT
	110 V. GRND. FLT. DUP. RECPT.		VANITY STRIP LIGHT
	110 V. DEDICATED CIRCUIT		RECESSED WALL WASH
	110 V. SURGE PROTCTD RECPT.		ADJUSTABLE EYEBALL
	110 V. CTRTP GRD. FT. RECPT.		WALL MOUNTED BRACKET LIGHT
	SINGLE POLE SWITCH		WALL SCONCE
	3-WAY SWITCH		CHANDELIER FIXTURE
	4-WAY SWITCH		KEYLESS FIXTURE (SWITCHED)
	DIMMER SWITCH		KEYLESS FIXTURE (PULL CHAIN)
	SWITCH BY FAN MANUFTR.		RECESSED FLRSCNT. FIXTURE
	SWITCH WITH PILOT LIGHT		SURFACE MNTD. FLRSCNT. FIXTURE
	PUSH BUTTON SWITCH		CEILING FAN
	QUICK DISCONNECT SWITCH		CEILING FAN WITH LIGHT KIT
	COMPUTER NET. JACK		TRACK LIGHTING
	TELEPHONE JACK		UNDER CABINET STRIP LIGHT
	FAX JACK		CLOSET LIGHT
	TV / CABLE CONNECTION		STEP LIGHT FIXTURE
	DOOR CHIMES		DOUBLE SECURITY LIGHT
	JUNCTION BOX		WALL MOUNTED STRIP LIGHT
	DIRECT WIRE APPLIANCE		SURROUND SOUND SPEAKER
	AC PWRD. SMOKE DETECTOR		FLOOR OUTLET / SWITCHED
	ATTIC EXHAUST FAN W / TSTAT		



902 2ND FLR. ELECTRICAL PLAN

SCALE : 1/4" = 1' 0"



901 1ST FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1' 0"



PLAN REVIEW COMMENTS FOR COFA-05-16-009635

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District Apply Date: 05/04/2016
Plan Status: Active Plan Address: 80 Bridge St BLUFFTON, SC 29910
Case Manager: Erin Schumacher Plan PIN #: R610 039 00A 158A 0000
Plan Description: The Applicant is requesting the approval of a Certificate of Appropriateness for a Center Hall house, a carriage house, an a lap pool.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the May 16th meeting.

Staff Review (HD)

Submission #: 1 Recieved: 05/09/2016 Completed: 05/13/2016

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Addressing Review, 05/10/2016, Theresa Thorsen, Approved with Conditions

Comments:

1. Need demo permit to remove existing structures prior to building permit issuance. If keeping existing buildings new address will need to be assigned.

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Growth Management Dept Review (HD), 05/13/2016, Erin Schumacher, Approved with Conditions

Comments:

- 1. The proposed building placement does not meet the front build-to requirement of 10'-20' for the Additional Building Type as there are two large cedar trees (22 and 24DBH) that the Applicant is trying to maintain. As such they are requesting that an exception be allowed by the HPC. (UDO Section 5.15.5.F.6.)
2. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).
3. Provide additional information to clarify the finish of the stucco proposed on the foundation and chimney (tabby, sand-finished, and steel trowel are permitted). (5.15.6.G.1.a.)
4. Provide additional information to clarify the type of door proposed (wood or metal are permitted). The project analysis notes metal clad. (UDO Section 5.15.6.I.)
5. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, a section through the eave, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure. (Applications Manual)

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: HPRC Review, 05/13/2016, Erin Schumacher, Approved with Conditions

Comments:

1. For the final application provide material call outs on elevations. (Applications Manual)
2. Provide additional information on the type of shutter dogs proposed. Typical "s" type are permitted. (UDO Section 5.15.6.M.e.)
3. Consider adding additional shutters to the windows that will accept them for better visual consistency. In particular, to the double window on right side elevation. (UDO Section 5.15.5.F.4.c.)
4. Reconsider the design of the windows on first floor at the Left Side Elevation to have a more traditional assembly of materials in order not to be half false shutter. (UDO Section 5.15.6.A.)
5. Consider revising the railings on the first and second story to have a better consistency and a logical sequential manner. (UDO Section 5.15.5.F.c.)
6. Consider omitting the second story transom windows or making them taller to have better consistency with the first floor windows. (UDO Section 5.15.5.F.c.)
7. Windows or vents shall occupy the majority of the dormer's surface, as such consider use of multiple windows at the garage dormer on the rear elevation. (UDO Section 5.15.6.E.7.e.)
8. For better horizontal rhythm, consider adding an expression line is needed on both main structure and garage. (UDO Section 5.15.5.F.4.d.)

Beaufort Jasper Water and Sewer Review	05/13/2016	Dick Deuel	Approved
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Comments:

1. No comments submitted by reviewer.

Stormwater Review	05/12/2016	William Baugher	Approved
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Comments:

Single Family Development, not part of a larger common plan of development:

1. Silt Fencing buried a minimum of 6 inches below disturbed grade, where applicable,
2. In areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing meeting the requirements of SCDOT must be used.
3. Temporary gravel driveways a minimum of 15 feet by 10 feet, where applicable
4. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site, where applicable

Transportation Department Review - HD	05/13/2016	Pat Rooney	Approved
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Comments:

No comment

Plan Review Case Notes: