

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	July 6, 2016
PROJECT:	Lot 26, 3 Blue Crab Street – New Construction: Single-Family Residential
APPLICANT:	Mike Vaccaro
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Mike Vaccaro of Vaccaro Architecture, Inc. on behalf of Carl and Jennifer Myers, requests that the Historic Preservation Commission approve the following application:

1. **COFA-5-16-9658.** A Certificate of Appropriateness to allow for the construction of a new single family residence of approximately 2,075 SF on the property identified as 3 Blue Crab Street (Lot 26) in the Tabby Roads Development in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a single family residence located in the Tabby Roads development in the Old Town Bluffton Historic District. The proposed building, of approximately 2,075 SF, meets the dimensional/character requirements of the Village House Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district.

The structure features a forward facing gable with a full length front porch and a small side gabled ell. The proposed buildings reflect the vernacular characteristics of Bluffton by integrating a variety of typical architectural forms and features such as gabled roofs and front and rear porches. Additional materials that are in keeping with the vernacular of Bluffton are the use of tabby stucco, square chamfered columns with capitals and bases, corner board trim, and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 23, 2016 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a residential structure within the Tabby Roads development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more

complete. The addition of the proposed structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of the Village House Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C.

As the project is located within the Tabby Roads development, the site is required to meet the front, rear, and side setbacks prescribed by the Tabby Roads development plan. The proposed site plan meets these established criteria.

- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) Section 5.15.6.G. Building Walls. The Applicant has shown a monolithic turn down slab on fill noting parged stucco. The UDO notes that exposed foundation walls (below the first floor elevation) are permitted to have stucco over block or concrete with sand-finished or steel trowel finishes. The information provided does not note the specific stucco finish and additional information must be provided to clarify the finish intent of the parged stucco.
- 2) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. The Applicant has proposed handrails at the entry steps. The UDO specifies requirements for dimensional standards for the configuration of railings and balustrades. As no railing detail was supplied Town Staff was unable to determine conformity with the standards of the UDO. Provide a railing detail noting the dimension of the top rail and the spacing of the balustrades for review.
- 3) Section 5.15.6.N. Corners and Water Table Corners. The UDO states that water table trim should be a 2X stock. The architectural section on sheet A251 notes the use of a 1X10 skirtboard as part of the water table trim. To meet the requirements of the UDO this skirt board must be modified to a 2X material.

3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures is consistent with those allowed in the Neighborhood General-HD zoning district and appropriate for its location along Bruin Road. Additionally, the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter of approval has not yet been submitted by the Tabby Roads Habitat and Architectural Review Board. The Applicant is aware and has submitted the plans for review. A letter must be provided to Town Staff stating that the HARB is satisfied before the Certificate of Appropriateness is issued.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. A letter from the Tabby Roads HARB shall be provided to Town Staff stating that the plans have been reviewed and approved.
2. Per Section 5.15.6.G. of the UDO, additional information to clarify the finish intent of the parged stucco at the foundation wall must be provided for review and approval.
3. Per Section 5.15.6.H. of the UDO, provide a railing detail noting the dimension of the top rail and the spacing of the balustrades for review and approval.
4. Per Section 5.15.6.N. of the UDO, this skirt board of the water table trim must be modified to a 2X material.

ATTACHMENTS:

1. Location Map
2. Zoning Map

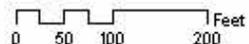
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report

Lot 26, Tabby Roads
3 Blue Crab Street
Location Map

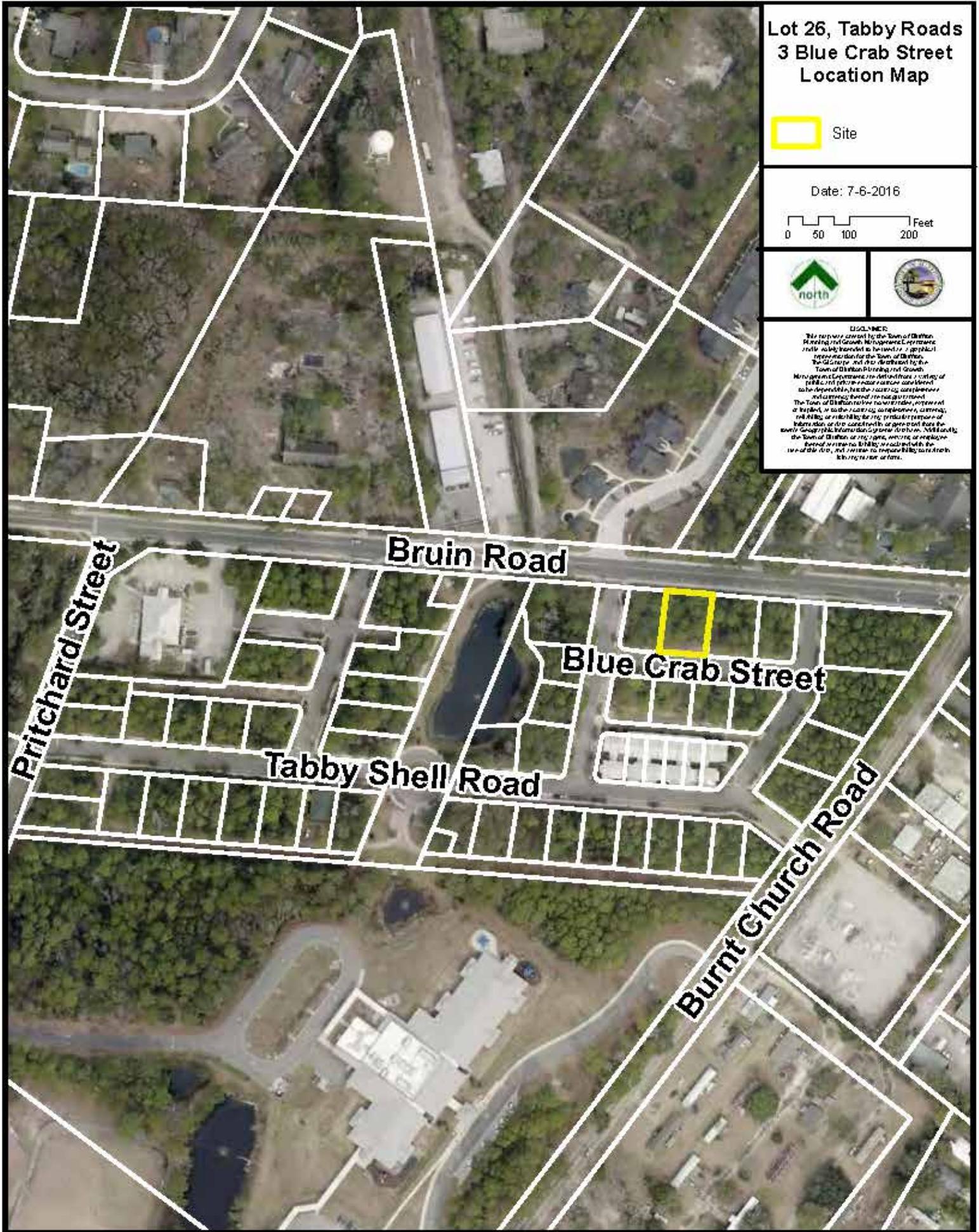


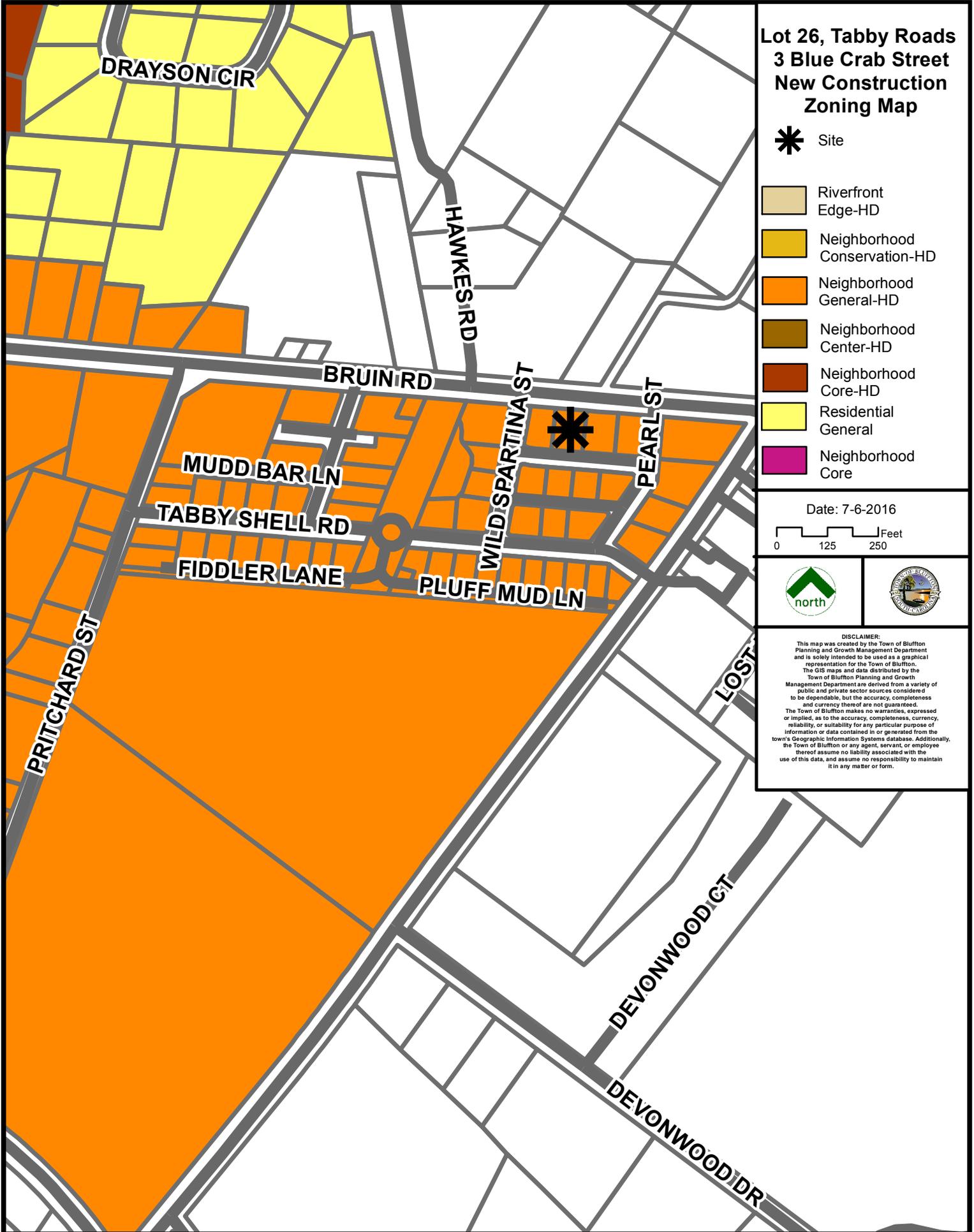
Site

Date: 7-6-2016



DISCLAIMER:
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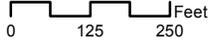




**Lot 26, Tabby Roads
3 Blue Crab Street
New Construction
Zoning Map**

-  Site
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 7-6-2016



DISCLAIMER:
 This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton. The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

6/3/2016

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Mike Vaccaro
Vaccaro Architecture, Inc.
21 Off Shore, Hilton Head Island, SC 29928

Members of the Bluffton Historic Preservation Board
20 Bridge Street, Bluffton, SC 29910

RE: Project Narrative

Dear HPC Members,

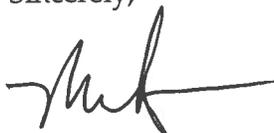
I am proud to submit for review the Myers Residence. I am submitting to gain a Certificate of Appropriateness.

The building has been designed to comply with the standards as described in Article 5 of the Unified Development Ordinance (UDO), and we have followed the application and submittal procedures as described in Article 3.

In designing this building I have been mindful of the UDO as well as the needs of my clients. The building's exterior is derived from the floor plan needs of a typical office. The exterior is designed to fit in with the existing commercial spaces within the Promenade development.

I appreciate your review of this building and am excited to see it underway.

Sincerely,

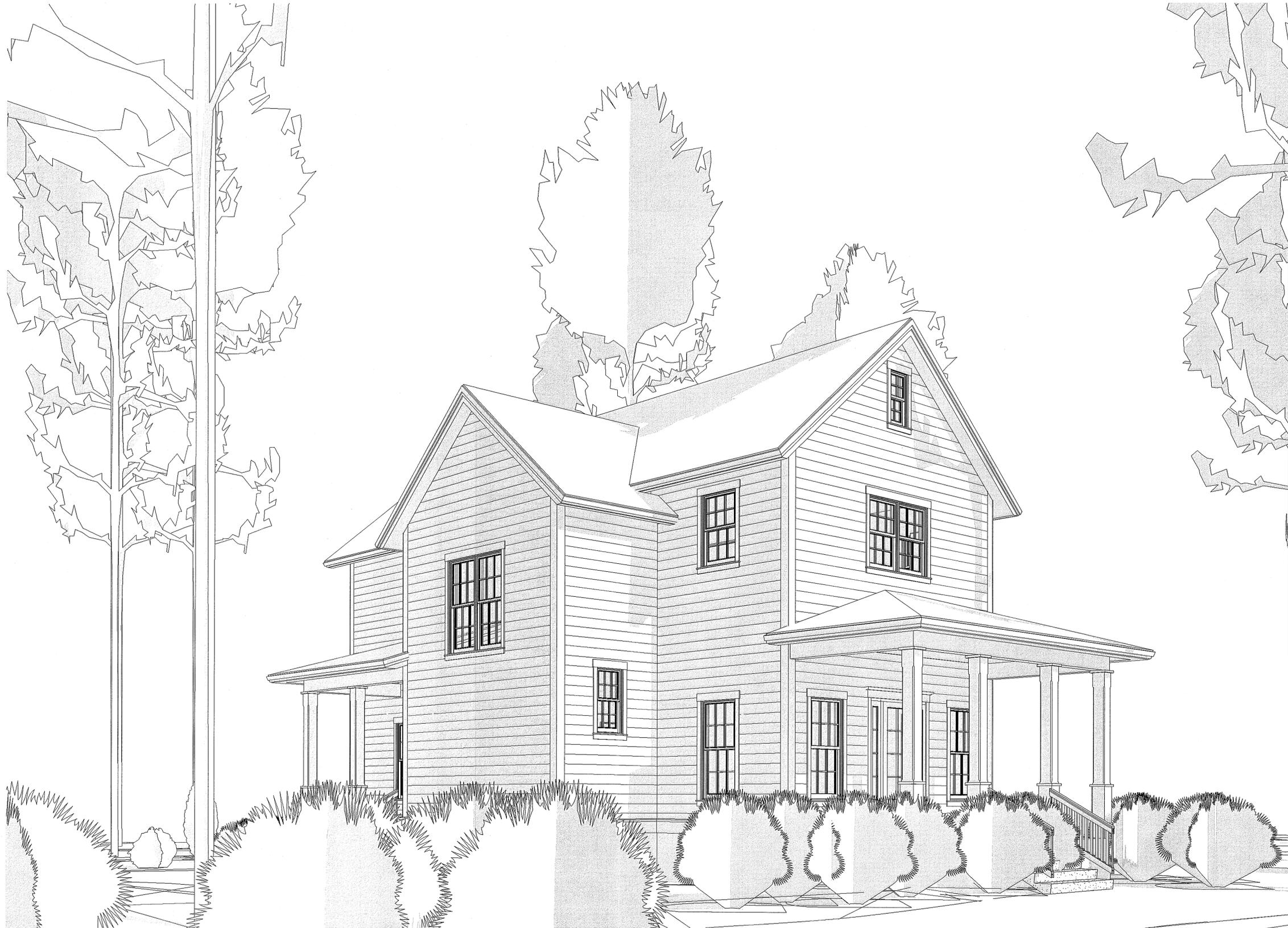
A handwritten signature in black ink, appearing to read "Mike Vaccaro", with a long horizontal stroke extending to the right.

Mike Vaccaro
Architect
Vaccaro Architecture, Inc.

Myers Residence

LOT 26 BLUE CRAB STREET, BLUFFTON, SOUTH CAROLINA

Tabby Roads



ATTACHMENT 4

VACCARO ARCHITECTURE, INC.

STATE OF SOUTH CAROLINA
VACCARO ARCHITECTURE, INC.
Hilton Head Island, SC
No. 3061
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
MICHAEL A. VACCARO
Hilton Head Island, SC
No. 6618
REGISTERED ARCHITECT

843.290.3076
www.VACCAROarchitecture.com
email: mikevaccaro7@yahoo.com

Sheet List	
Sheet Number	Sheet Name
A000	Cover
A0001	Site
A102	Plans
A201	Elevations
A251	Building Sections
A400	Schedules
E101	Electrical
Grand total: 7	

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such; it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Myers Residence Cover

Project number

Print Date: 6/3/2016 9:47:10 AM | Issue Date: 2016

Drawn by: CRE

Checked by: MAV

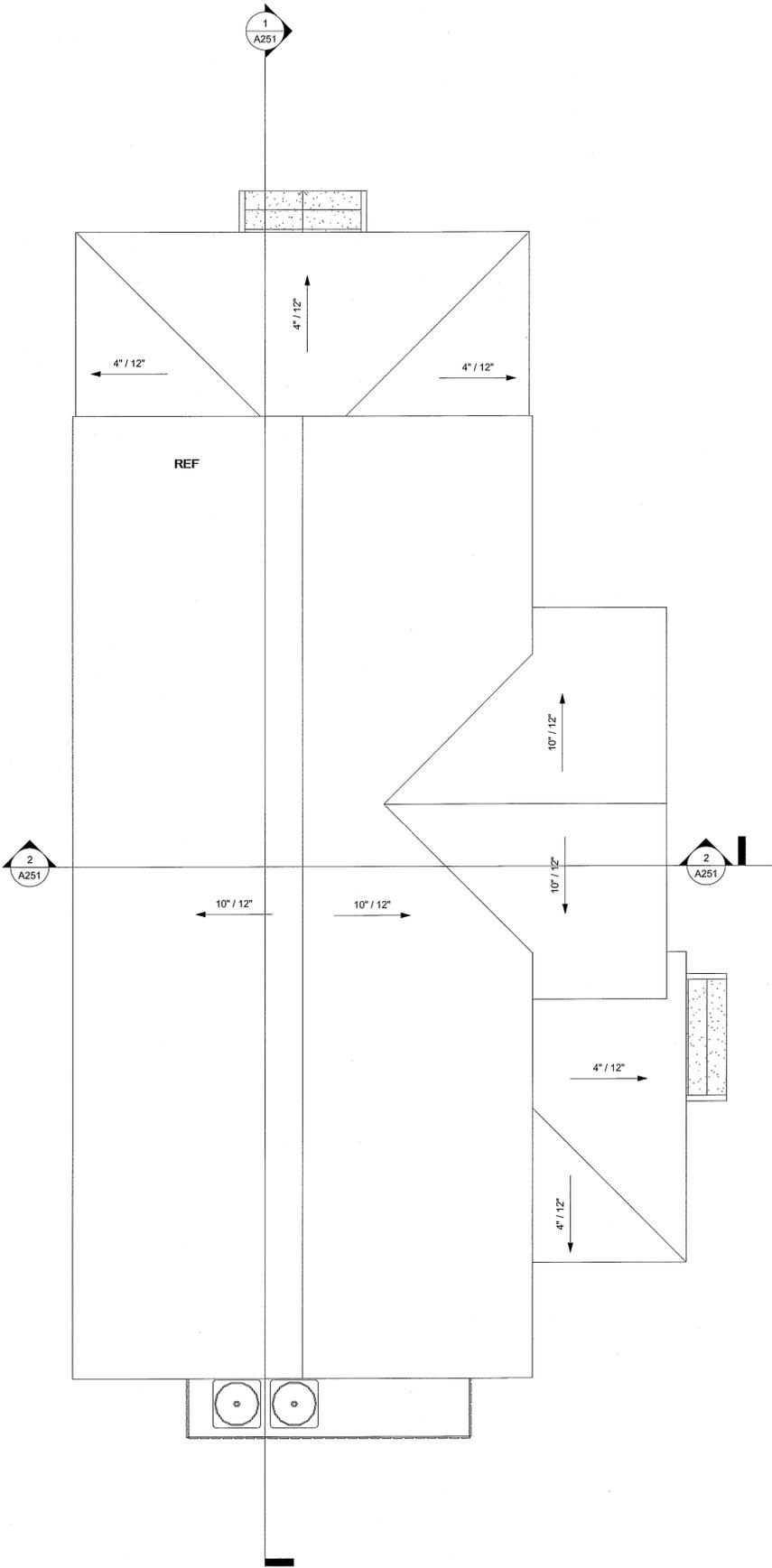
A000

Scale

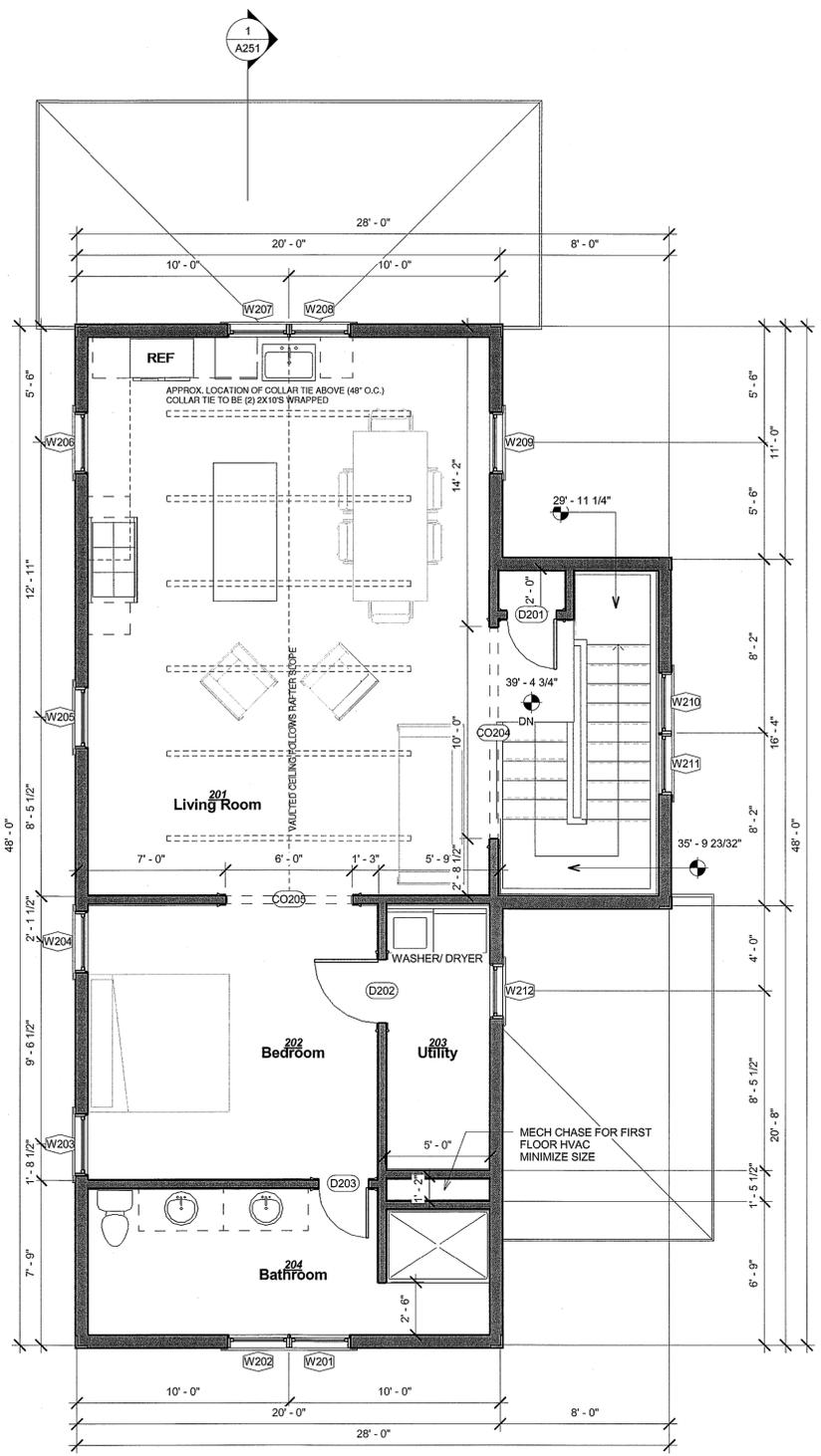


843.290.3076
www.VACCAROarchitecture.com
email: mikevaccaro7@yahoo.com

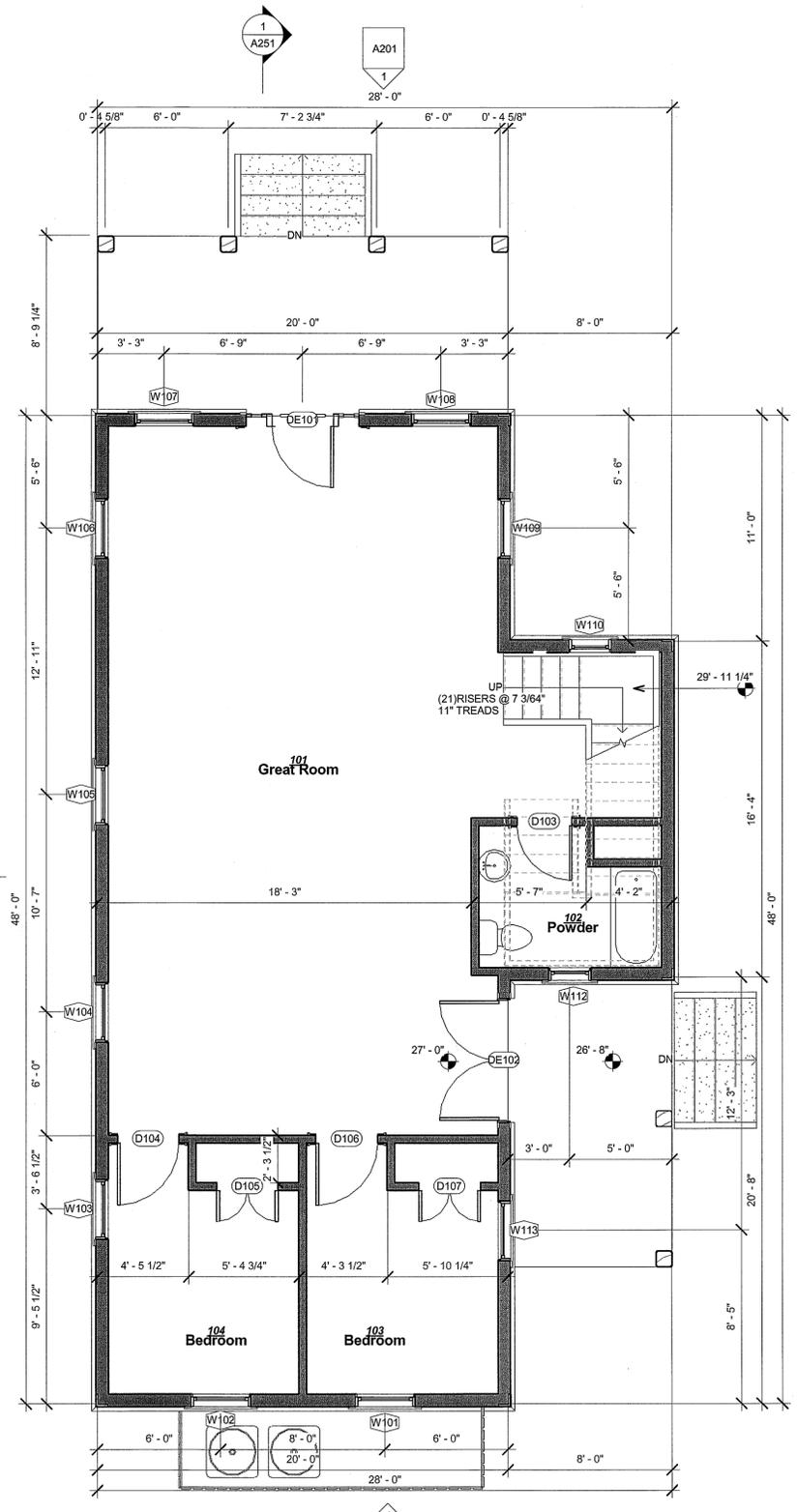
Conditioned Floor Areas		
Area	Level	Comments
1091 SF	First Floor	Heated
986 SF	Second Floor	Heated
2077 SF		



3 Roof Plan
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"



1 First Floor
1/4" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such, it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

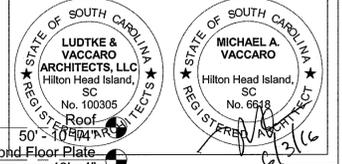
No.	Description	Date

Myers Residence Plans

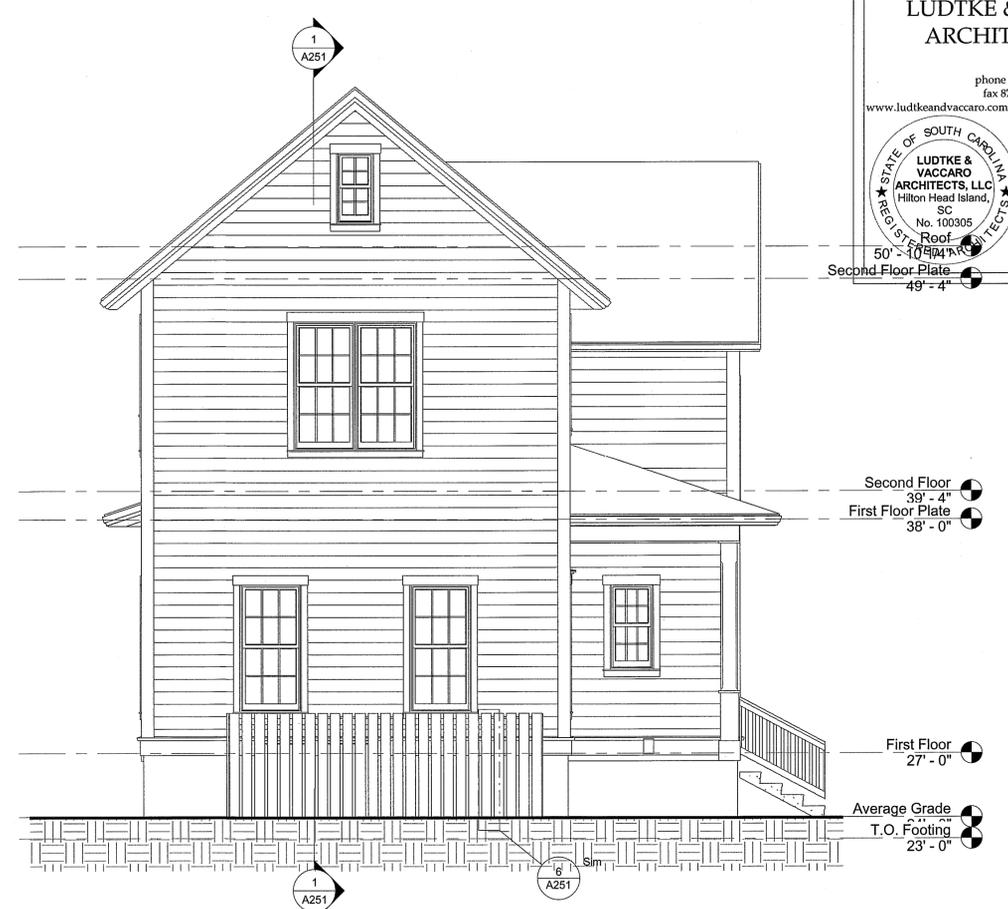
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Checked by: MAV

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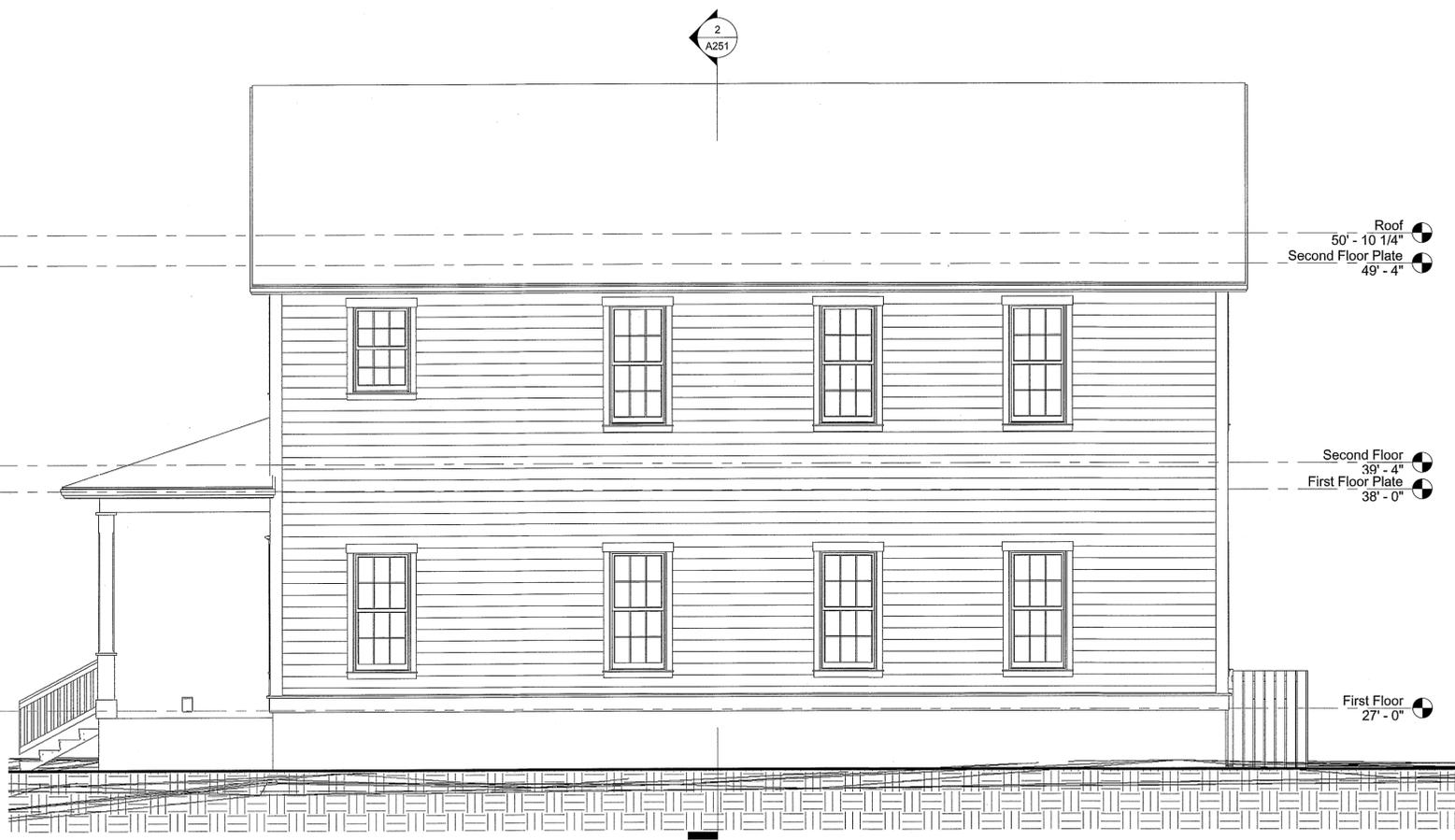
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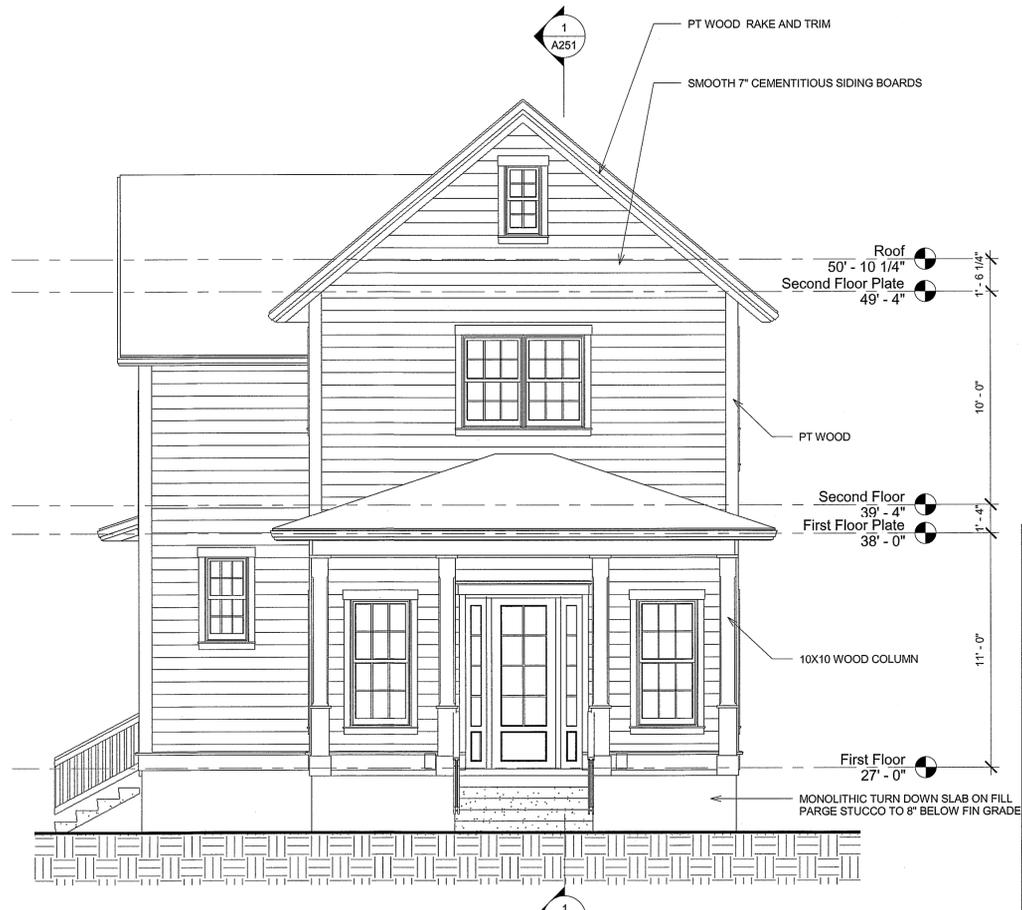
3 Left
 1/4" = 1'-0"



4 Rear
 1/4" = 1'-0"



2 Right
 1/4" = 1'-0"



1 Front
 1/4" = 1'-0"

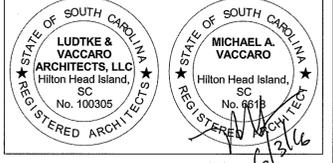
No.	Description	Date

Myers
 Residence
 Elevations

Project number 2016-003
 Date 2016
 Drawn by CRE
 Checked by MAV

A201

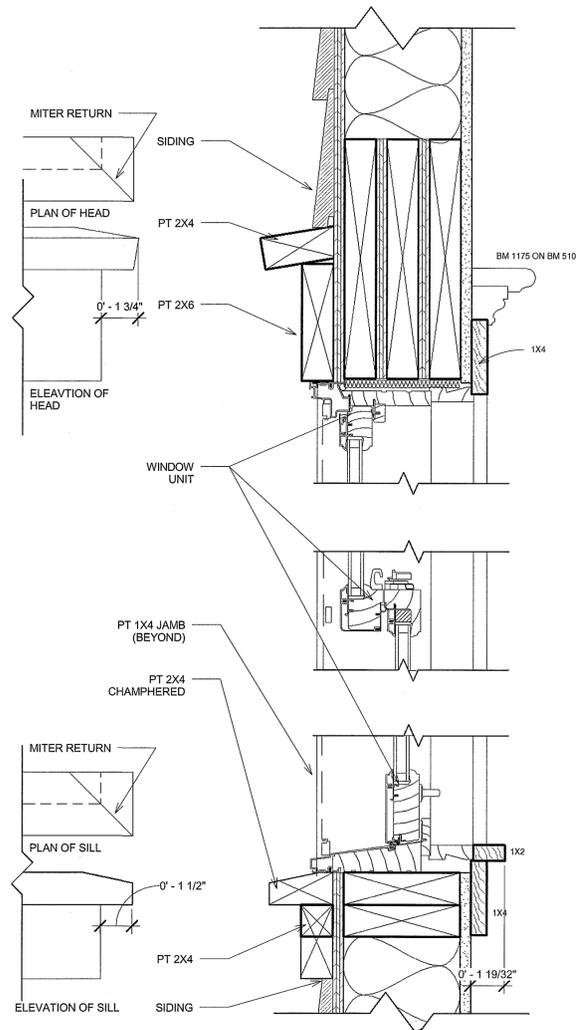
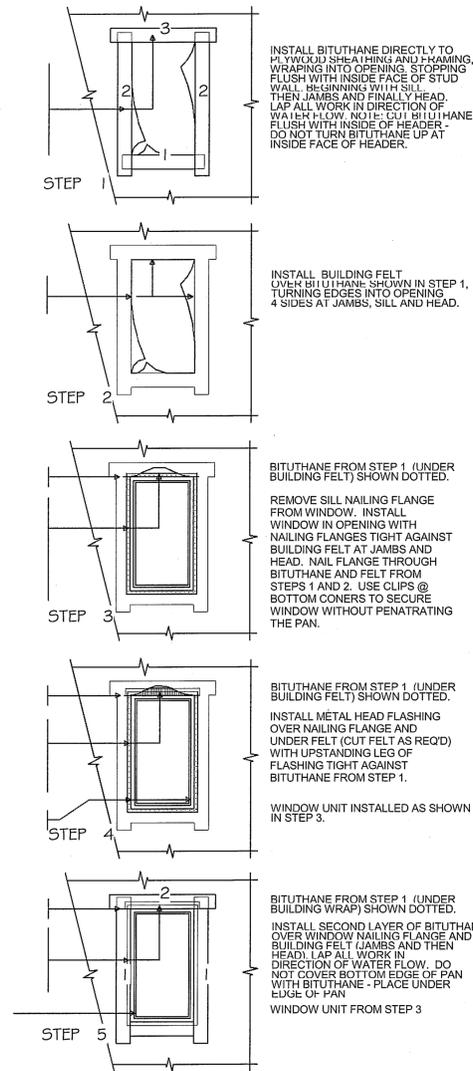
Scale 1/4" = 1'-0"



Room Number	Level	Room Name	Finish					Comments
			Floor	Base	Wall	Ceiling	Ceiling Height	
101	First Floor	Great Room						
102	First Floor	Powder						
103	First Floor	Bedroom						
104	First Floor	Bedroom						
201	Second Floor	Living Room						
202	Second Floor	Bedroom						
203	Second Floor	Utility						
204	Second Floor	Bathroom						

Mark	Type Mark	Head Height	Rough Opening		Manufacturer	Glazing Type	Comments
			Width	Height			
W063	VVVVV	6'-0"	1'-8 3/4"	3'-4 3/8"	JELD-WEN Windows & Doors		
W064	VVVVV	6'-0"	1'-8 3/4"	3'-4 3/8"	JELD-WEN Windows & Doors		
W101	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W102	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W103	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W104	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W105	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W106	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W107	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W108	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W109	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W110	DDDDDD	10'-0"	2'-0 3/4"	4'-0 3/8"	JELD-WEN Windows & Doors		
W112	DDDDDD	8'-0"	2'-0 3/4"	4'-0 3/8"	JELD-WEN Windows & Doors		
W113	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W201	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W202	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W203	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W204	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W205	LLL	8'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W206	QQQ	8'-0"	2'-10 3/4"	4'-4 3/8"	JELD-WEN Windows & Doors		
W207	QQQ	8'-0"	2'-10 3/4"	4'-4 3/8"	JELD-WEN Windows & Doors		
W208	QQQ	8'-0"	2'-10 3/4"	4'-4 3/8"	JELD-WEN Windows & Doors		
W209	QQQ	8'-0"	2'-10 3/4"	4'-4 3/8"	JELD-WEN Windows & Doors		
W210	LLL	5'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W211	LLL	5'-0"	2'-10 3/4"	6'-0 3/8"	JELD-WEN Windows & Doors		
W212	UUUUU	8'-0"	2'-6 3/4"	5'-0 3/8"	JELD-WEN Windows & Doors		
Grand total: 26							

Door Number	Door Type	Door Size		Manufacturer	Finish			Comments
		Width	Height		Door	Frame		
CO204	WW	10'-0"	8'-0"					
CO205	ZZ	6'-0"	8'-0"					
D103	FF	2'-8"	8'-8"					
D104	AA	3'-0"	8'-0"					
D105	GG	3'-0"	8'-0"					
D106	AA	3'-0"	8'-0"					
D107	GG	3'-0"	8'-0"					
D201	NNN	2'-4"	8'-8"					
D202	AA	3'-0"	8'-0"					
D203	NNN	2'-4"	8'-8"					
DE101	HHH	3'-0"	8'-0"	custom				
DE102	OOO	6'-0"	8'-0"					



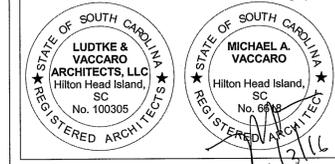
No.	Description	Date

Myers
Residence
Schedules

Project number: 2016-003
Date: 2016
Drawn by: CRE
Checked by: MAV

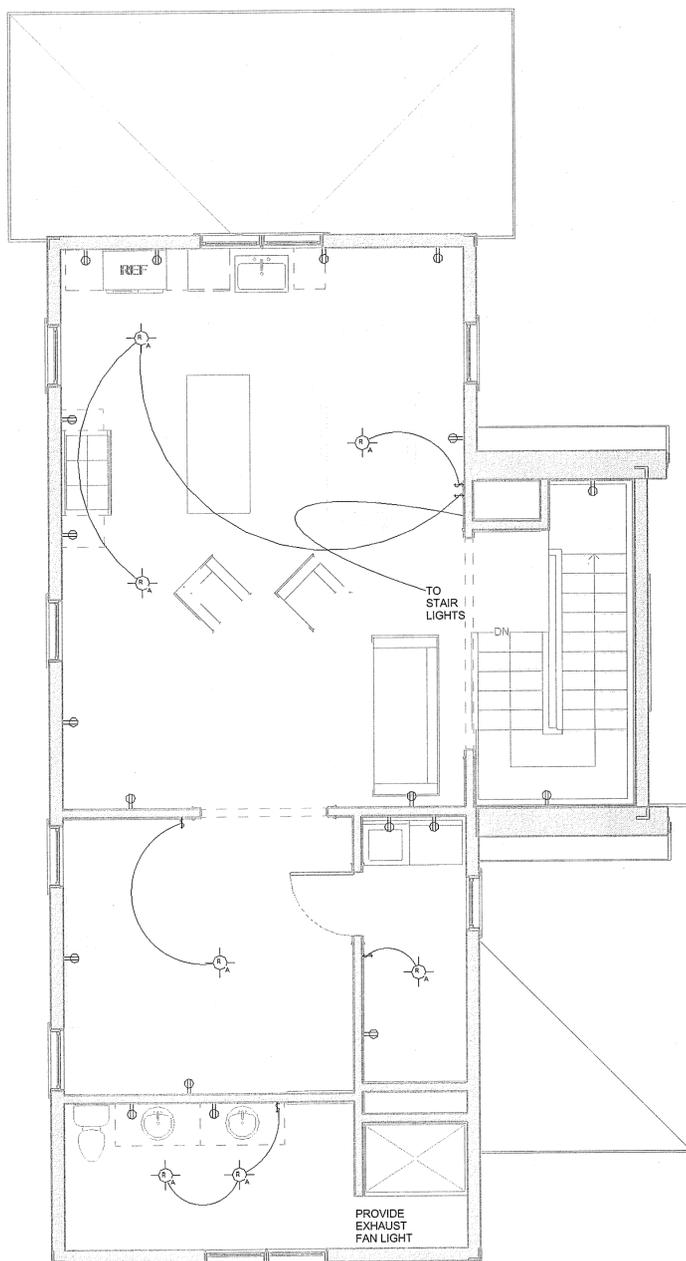
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Scale: As indicated



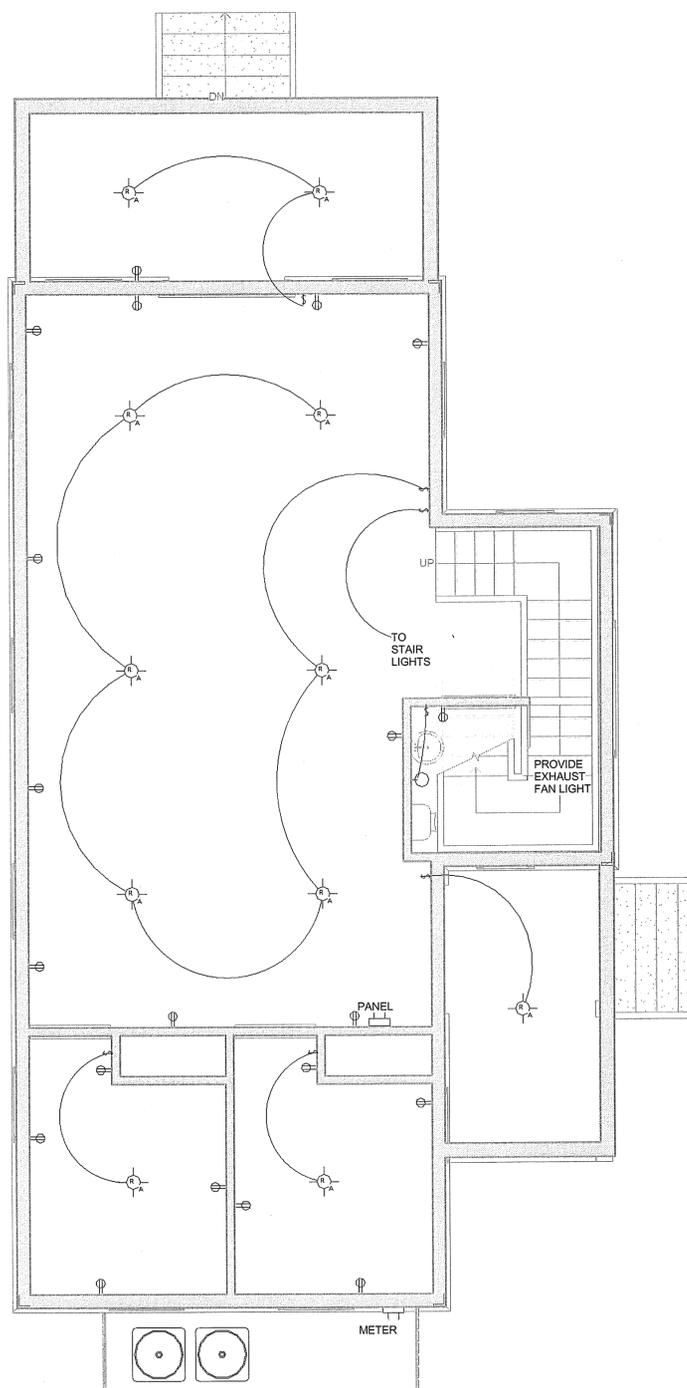
ELECTRICAL LEGEND

- LIGHT FIXTURES**
- FLUORESCENT FIXTURE
 - WP FLUORESCENT FIXTURE
 - LIGHT, STEP
 - STRIP LIGHT, FLUORESCENT MOUNTED @ HEAD JAMB
 - UNDER COUNTER STRIP LIGHT
 - LIGHT, TRACK, UPLIGHTING
 - SECURITY FIXTURE WALL
 - FLOOD LIGHTS
 - GROUND SPOT FIXTURE
 - SECURITY FIXTURE CLG
 - CLG FAN
 - CLG, MOUNTED FIXTURE
 - WEATHERPROOF CLG FIXTURE
 - WALL MOUNTED FIXTURE
 - WP WALL MOUNTED FIXTURE
 - RECESSED CLG FIXTURE (5')
 - WP RECESSED CLG FIXTURE
 - PULL CHAIN CLG FIXTURE
 - RECESSED ADJ. FIXTURE
 - RECESSED MINI CAN (4")
 - JUNCTION BOX, CLG MOUNT WITH ELECTRIC LIFT
 - ROPE LIGHTING
 - PENDANT FIXTURE / CHANDELIER
 - WP PENDANT FIXTURE
 - POST LIGHTING
- SWITCHES**
- SINGLE POLE SWITCH
 - 3- WAY SWITCH
 - 4- WAY SWITCH
 - DIMMER SWITCH
 - 3- WAY DIMMER SWITCH
 - FAN SWITCH
 - DOOR SWITCH
 - WEATHERPROOF SWITCH
 - 3-WAY WEATHERPROOF SWITCH
- RECEPTACLES**
- DUPLEX RECEPTACLE
 - QUAD RECEPTACLE
 - RECEP. @ COUNTER HEIGHT
 - RECEP. 1/2 SWITCHED
 - RECEP. GROUND FAULT INSULATED
 - RECEP. GFI/WEATHER PROOF
 - RECEP. WEATHERPROOF
 - RECEP. 220 VOLT
 - RECEP. FLOOR OUTLET (OWNER TO PROVIDE EXACT LOCATION)
 - RECEP. RECESSED
- MISC. FIXTURES**
- SMOKE DETECTOR (PER CODE)
 - GARAGE DOOR OPENER
 - TELEPHONE OUTLET @ 16" A.F.F.
 - TELEPHONE OUTLET WALL MOUNTED
 - COMPUTER OUTLET @ 16" A.F.F.
 - STRUCTURED WIRE OUTLET @ 16" A.F.F. (2CAT5e, (2)OPTICAL, (2)RG-6 COAX)
 - CABLE TV OUTLET
 - ELECTRIC PANEL
 - ELECTRIC METER
 - DOOR BELL BUTTON
 - DOOR CHIMES
 - EXIT SIGN
 - THERMOSTAT
 - EXHAUST FAN / FIXTURE
 - HEAT/EXHAUST FAN / FIXTURE
 - EXHAUST FAN



② Second Floor Electrical
1/4" = 1'-0"

NOTE: LIGHTING/POWER LAYOUT IS SCHEMATIC.
FINAL PLACEMENT AND FIXTURE COUNT TO BE DETERMINED IN FIELD W/ OWNER/ ARCHITECT



① First Floor Electrical
1/4" = 1'-0"

No.	Description	Date
Myers Residence Electrical		
Project number	2016-003	
Date	2016	
Drawn by	CRE	
Checked by	MAV	
E101		
Scale	As indicated	



PLAN REVIEW COMMENTS FOR COFA-05-16-009658

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
TABBY ROADS PHASE 1

Plan Type: Historic District Apply Date: 05/16/2016
Plan Status: Active Plan Address: 26 Tabby Shell Rd
BLUFFTON, SC 29910
Case Manager: Erin Schumacher Plan PIN #: R611 039 000 1194 0000
Plan Description: The applicant is requesting approval of a Certificate of Appropriateness for a Single Family Residential Structure.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the May 23rd meeting.

Staff Review (HD)

Table with 4 columns: Submission #, Received, Completed, Reviewing Dept., Complete Date, Reviewer, Status. Includes rows for Growth Management Dept Review (HD) and HPRC Review, both with associated comments.

Prior to any other activity on the lot, silt fencing shall be properly installed, in accordance with the Stormwater Design Manual , along the curbing in front of the lot (except at the access entrance), along the Coastal Council Critical Line, and along wetlands and any other locations needed to maintain erosion control at the site; (SWDM9.1)

- (1) Silt fencing shall be maintained in good working condition until such time as permanent erosion control features are in place and functioning;
- (2) Access to the site will be limited to one location with a maximum width of 20 feet. The access shall preferably be at the proposed driveway;
- (3) The Construction Entrance shall be maintained in good working condition until such time as permanent access areas are in place and functioning;
- (4) Construction debris and waste materials, concrete truck washout, sanitary facilities and waste, and chemicals such as paint or other construction substances will be collected and secured on site. These materials will be removed to a proper disposal facility as needed to maintain a neat and orderly site.
- (5) At no time will any of the above materials be deposited into the street or storm drainage system. Any spills must be immediately contained and cleaned according to manufacturer specifications. Discharges of petroleum products to the storm drainage system must be reported to the Town Stormwater Department immediately.
- (6) All design contours, swales, positive drainage, and any other drainage features that are a part of the current drainage system or planned drainage system will be installed or maintained in good working order.
- (7) The streets and public facilities near the work shall be kept clean and free of deposited materials. Failure to maintain facilities will result in possible fines, stopping of the work until cleaned, and increasing environmental controls as directed by the Town Field Engineer; and
- (8) The cost of repairs to the Public Street and damage to the public drainage system caused by activities at the location shall be paid prior to the issuance of a certificate of occupancy.

Addressing Review	05/19/2016	Theresa Thorsen	Approved
Comments:			
1. No comments.			
Beaufort Jasper Water and Sewer Review	05/20/2016	Dick Deuel	Approved
Comments:			
1. Water and sewer services are stubbed out the property.			
Transportation Department Review - HD	05/20/2016	Pat Rooney	Approved
Comments:			
1. No comments.			

Plan Review Case Notes: