

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	June 1, 2016
<b>PROJECT:</b>	Lot 20B, 5802 Yaupon Road – New Construction: Single-Family Residential
<b>APPLICANT:</b>	Southern Coastal Homes
<b>PROJECT MANAGER:</b>	Erin Schumacher, Senior Planner

**APPLICATION REQUEST:** The Applicant, Southern Coastal Homes, request that the Historic Preservation Commission approve the following application:

1. **COFA-6-15-9258.** A Certificate of Appropriateness to construct a new single family residence of approximately 1,800 SF and Carriage House of approximately 490 SF on the property is identified as 5802 Yaupon Road (Lot 20B) in the Stock Farm Development and is zoned as Neighborhood General-HD.

**INTRODUCTION:** The Applicant presented a previous 2 story structure to the HPC for approval on this lot at the January 6, 2016 meeting where it was approved with conditions. Since then the Applicant has made revisions to modify the plan into a 1-1/2 story version which is the subject of this application.

The application at hand is proposing the construction of a detached single-family residence located on lot 20B in the Stock Farm Development in the Old Town Bluffton Historic District. The proposed building, of approximately 1,800 SF, has attributes of several of the building types, but does not fully meet the requirements of any of them, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 490 SF, which meets the design standards for that building type (Carriage House).

The main house structure is a 1-1/2 story forward facing gabled form with smaller wings that extend to the rear and features a full-length front porch with an additional rear porch under a shed roof. The Carriage House is a single story structure with a rear-facing gable a shed wing to the east.

The Applicant has proposed buildings that reflect the vernacular characteristics of Bluffton by utilizing simple architectural forms housed under a gabled roof, adding front and rear porches, and using a combination of clapboard and board and batten siding. Additional materials that are in keeping with the vernacular of Bluffton are

the use of square columns with bases and capitals, corner board trim and water table trim, and tabby stucco at the chimney and foundation wall.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 22, 2015 meeting and comments were provided to the Applicant (See attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single family residence within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
- 1) Section 5.7.4.A.5. - Lot Layout and Design. As shown on the site plan access to the lot is currently proposed through existing street parking. The UDO states that every lot shall have access to a public or private roadway and that the access may be recorded via a cross or shared access easement. Additional information about the access to this lot must be provided.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.
- Finding.* Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

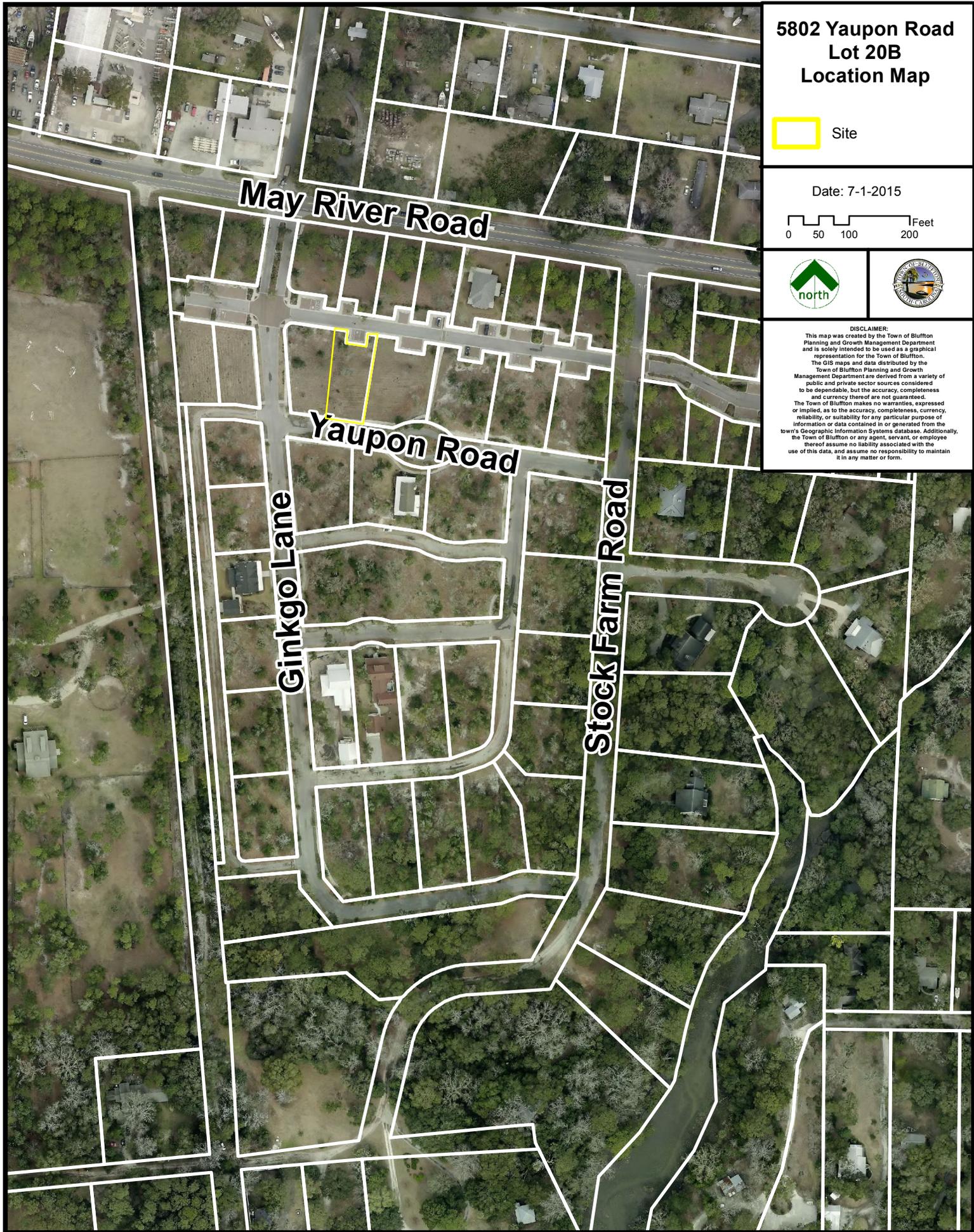
*Finding.* The application has been reviewed by Town Staff and has been determined to be complete.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.7.4.A.5., access must be provided to a public or private roadway through a curb cut and recorded (if necessary) via a cross or shared access easement.

**ATTACHMENTS:**

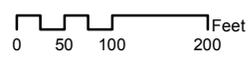
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



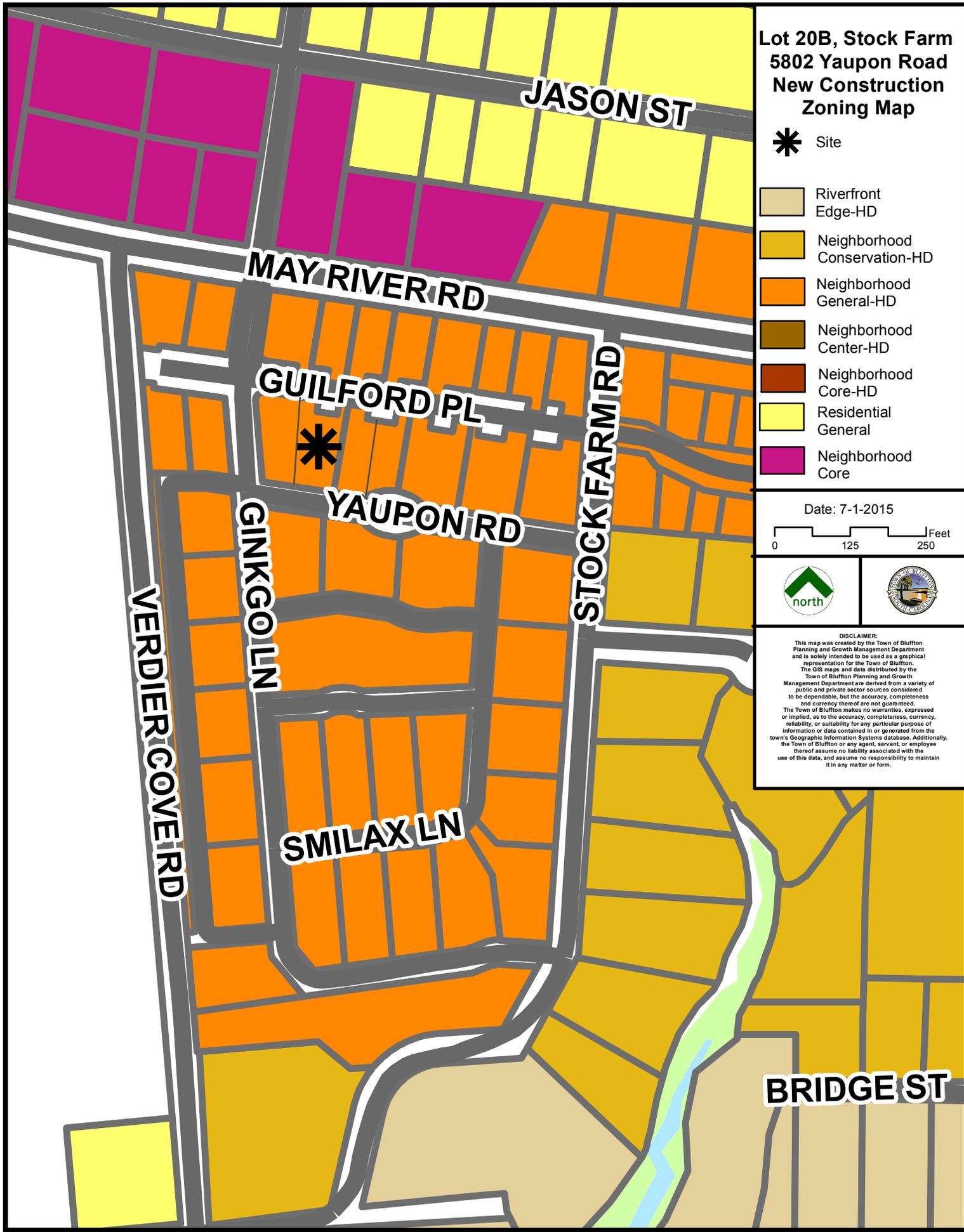
**5802 Yaupon Road  
Lot 20B  
Location Map**



Date: 7-1-2015



**DISCLAIMER:**  
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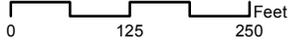


**Lot 20B, Stock Farm  
5802 Yaupon Road  
New Construction  
Zoning Map**

**\*** Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 7-1-2015



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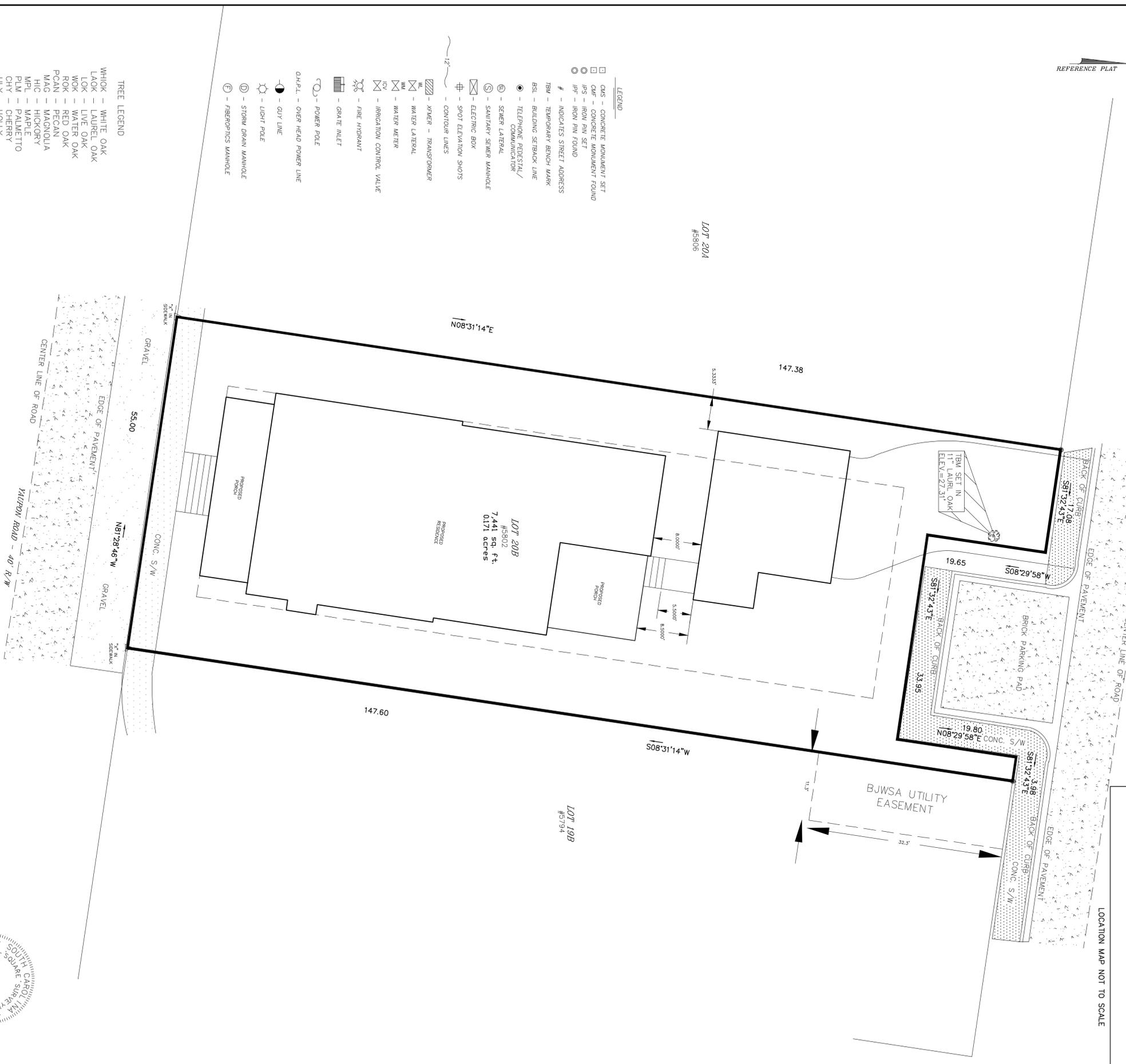
**BRIDGE ST**

Project Narrative

Stock Farm  
Lot 20B

Applicant is submitting for review Stock Farm Lot 20B. This lot is situated among other residential structures built or in the process of being built by the applicant. It is applicant's desire to build residential structures which conform to the Town's Unified Development Ordinance.

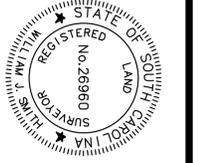
This home includes a separate detached garage. The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.



- LEGEND**
- CAS - CONCRETE MONUMENT SET
  - CWF - CONCRETE MONUMENT FOUND
  - IFS - IRON PIN SET
  - IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - TBM - TEMPORARY BENCH MARK
  - B.S.L. - BUILDING SETBACK LINE
  - - TELEPHONE PEDDESTAL/COMMUNICATION
  - - SEWER LATERAL
  - ⊗ - SANITARY SEWER MANHOLE
  - ⊕ - ELECTRIC BOX
  - ⊕ - SPOT ELEVATION SHOTS
  - - CONTOUR LINES
  - ▨ - XPOKER - TRANSFORMER
  - ▨ - WATER LATERAL
  - ▨ - WATER METER
  - ▨ - IRRIGATION CONTROL VALVE
  - ▨ - FIRE HYDRANT
  - ▨ - GRAPE ALEET
  - - POWER POLE
  - - OVER HEAD POWER LINE
  - - GUY LINE
  - - LIGHT POLE
  - - STORM DRAIN MANHOLE
  - - FIBEROPTICS MANHOLE
- TREE LEGEND**
- WHOK - WHITE OAK
  - LAOK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLA - HOLLA
  - ODR - CEDAR
  - RDB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY



**SQUARE SURVEYING**  
 PROFESSIONAL LAND SURVEYORS  
 P.L. Brewer 331  
 139 Burnt Church Road  
 Bluffton, SC 29910  
 bsquare@briarvalley.com  
 Phone 843-757-2650 Fax 843-757-5758  
 JOB No. 15-1551

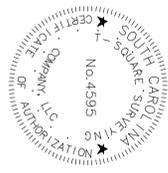


I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON, WAS MADE IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE AS SET FORTH THEREIN.

**WILLIAM J. SMITH, PLS # 28880**

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF  
**SOUTHERN COASTAL HOMES**  
 A TREE & TOPOGRAPHIC SURVEY OF LOT 208 STOCK FARM SUBDIVISION,  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.  
 DIST. 610, MAP 39, A PORTION OF PARCEL 1496

DRAWN BY: W.J.S.  
 APPROVED BY: W.J.S.  
 PARTY CHIEF: B.M.S.  
 DATE: MAY 8, 2015



NOTE:  
 1. According To FEMA Flood Insurance Rate Map # 490823 0630  
 Required Elevation Was 7.6' MGD/29  
 2. This Property May Be Subject To Easements, Protective Covenants  
 And Other Facts That May Be Revealed By A Complete Title Search  
 3. This Survey Was Performed Without The Benefit Of A Wetland Delimitation  
 4. All Building Setback Requirements Should Be Verified With The Proper  
 Reference To Local Ordinance And Code.  
 A SUBDIVISION PLAT BY ME, PREPARED FOR SOUTHERN COASTAL HOMES,  
 DATED APRIL 10, 2015.



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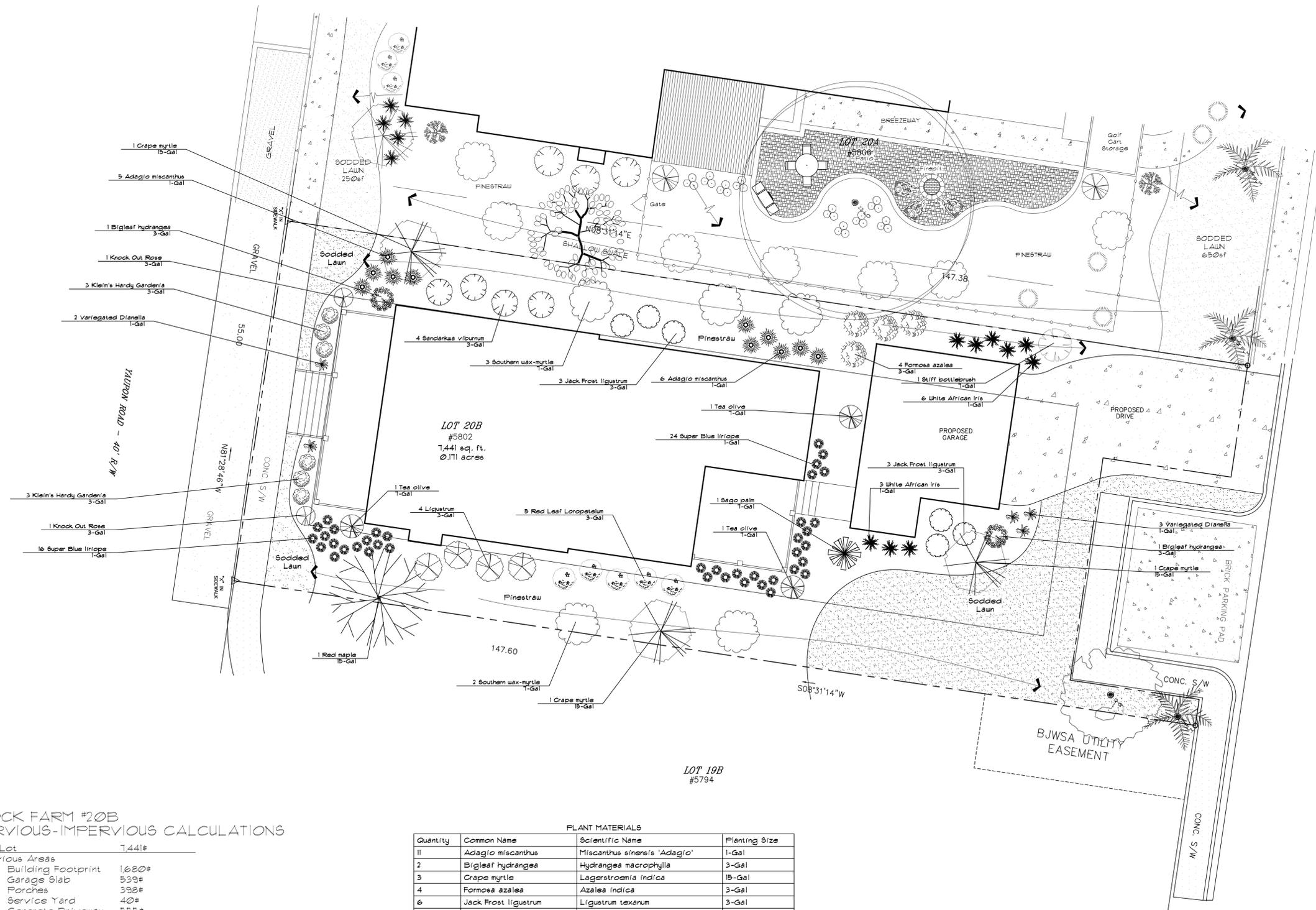
OCEAN WOODS LANDSCAPING

67 Union Cemetery Road Hilton Head Island, South Carolina 29926  
 ph 843.682.4000 fx 843.682.4012 www.oceanwoods.com



EXPERIENCE • EXCELLENCE • INTEGRITY

A LandPlan for  
**Southern Coastal Homes**  
 Lot 20B (5802) Yaupon Road  
 Stock Farm, Bluffton, SC



STOCK FARM #20B  
 PERVIOUS-IMPERVIOUS CALCULATIONS

Total Lot	7,441#	
Impervious Areas		
Building Footprint	1,620#	
Garage Slab	539#	
Porches	399#	
Service Yard	40#	
Concrete Driveway	555#	
Concrete Walks	67#	
Total Impervious	3,219#	44.1%
Pervious Areas		
Sodded Areas	1,250#	
Mulched/Natural	2,912#	
Total Pervious	4,162#	55.9%

PLANT MATERIALS

Quantity	Common Name	Scientific Name	Planting Size
11	Adagio miscanthus	Miscanthus sinensis 'Adagio'	1-Gal
2	Bigleaf hydrangea	Hydrangea macrophylla	3-Gal
3	Crape myrtle	Lagerstroemia indica	15-Gal
4	Formosa azalea	Azalea indica	3-Gal
6	Jack Frost Ligustrum	Ligustrum texanum	3-Gal
6	Klein's Hardy Gardenia	Gardenia spp. 'Klein's Hardy'	3-Gal
2	Knock Out Rose	Rosa spp. 'Knock Out'	3-Gal
4	Ligustrum	Ligustrum japonicum	3-Gal
5	Red Leaf Loropetalum	Loropetalum chinense rubra	3-Gal
1	Red maple	Acer rubrum	15-Gal
1	Sago palm	Cycas revoluta	1-Gal
4	Sandankwa viburnum	Viburnum suspensum	3-Gal
5	Southern wax-myrtle	Myrica carifera	1-Gal
1	Stiff bottlebrush	Callistemon rigidus	1-Gal
40	Super Blue liriope	Liriope muscari Super Blue	1-Gal
3	Tea olive	Osmanthus fragrans	1-Gal
5	Variiegated Dianella	Dianella tasmanica variegata	1-Gal
9	White African Iris	Iris alba bicolor	1-Gal

MULCH NOTE

All planting beds shown are to be mulched to a depth of 3" using Pinestraw Mulch at an approximate area of 3,800# at 1 bale/50# or approximately 60 bales.

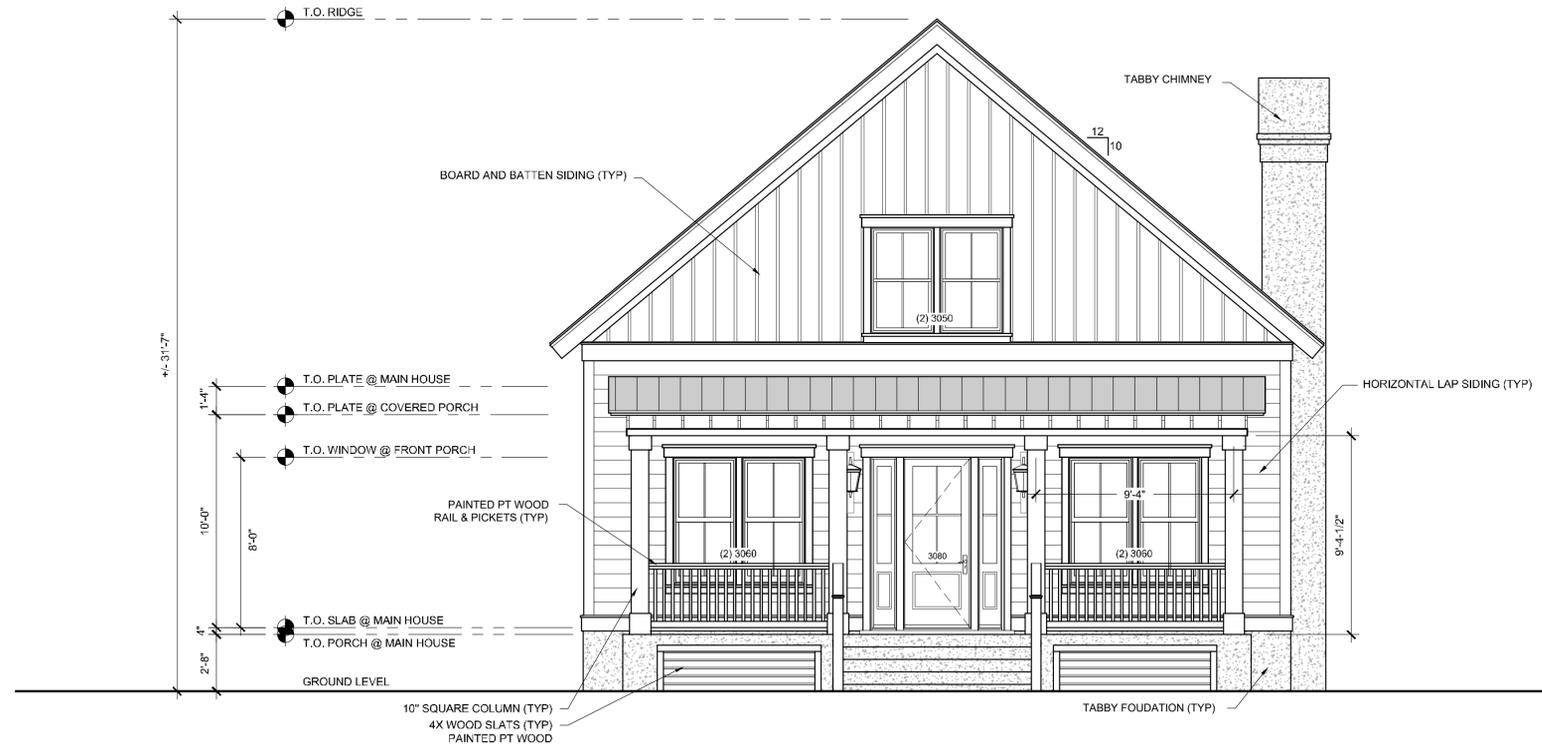
LAWN NOTE

All areas shown as Lawn are to be sodded using Centipede grass Sod at an approximate area of 1,250#. All sodded areas are to be graded to achieve a minimum slope of 1/16" or 1%.

IRRIGATION NOTE

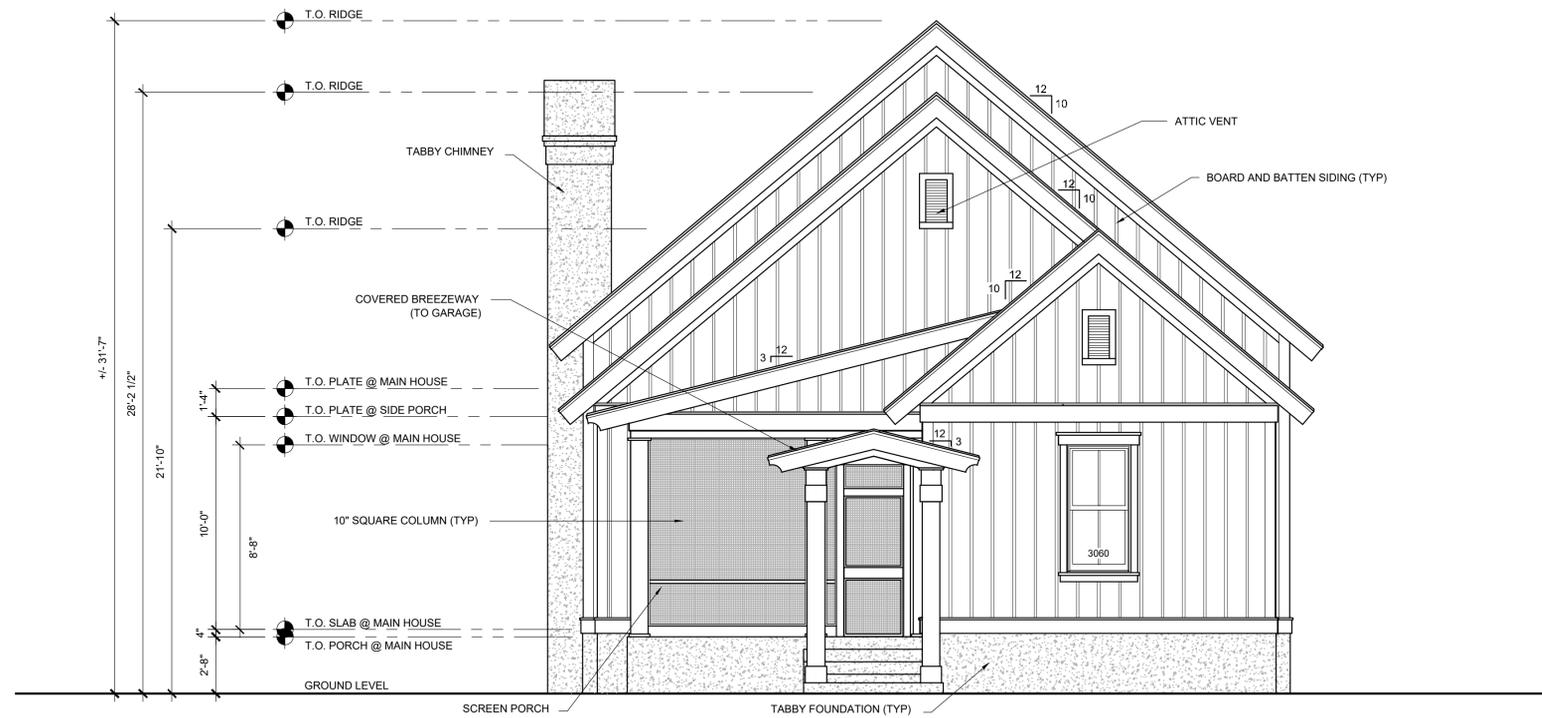
All plant materials and sod shown on this plan are to be irrigated using an automatically controlled system providing 100% coverage. The proposed system is to be installed to meet or exceed all current industry standards and all Town codes and requirements. All turf areas are to be conventional spray zones and plant materials are to be on low flow drip zones, separated as needed or as shown per provided working drawings. The Proposed Irrigation controller is to be acceptable for future modifications and that proper rain sensors and back-flow preventers are in place located in a convenient and accessible location.

By: M. Sherry  
 Scale: 1" = 8'-0"  
 Date: 1.9.15  
 Revs: 4-21-16  
 Revs:



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

OVERALL SQ. FT. CALCULATIONS	
MAIN LEVEL:	1,796 SF
<b>TOTAL HEATED:</b>	<b>1,796 SF</b>
GARAGE:	491 SF
SCREEN PORCH:	207 SF
FRONT PORCH:	237 SF
<b>TOTAL NON-HEATED:</b>	<b>935 SF</b>

REVISIONS:

**SOUTHERN COASTAL HOMES - PROTOTYPE 1**  
**LOT 20B**  
 STOCK FARM | BLUFFTON, SOUTH CAROLINA  
 FRONT AND REAR ELEVATIONS

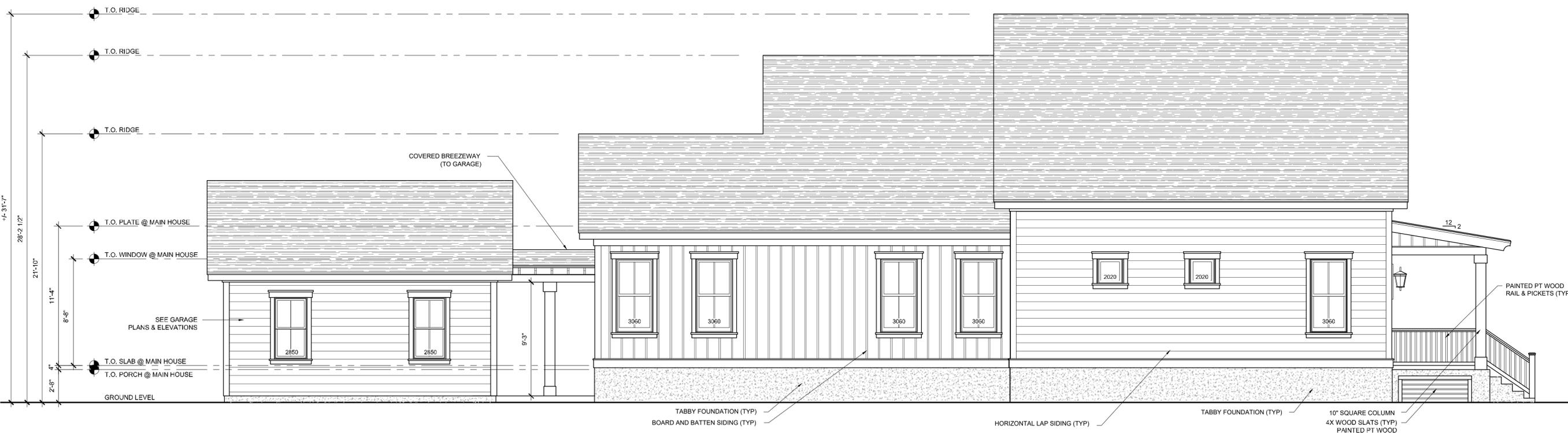
DATE: 04-15-2016  
 DESIGNED BY: KBJ  
 DRAWN BY: KBJ  
 CHECKED BY: KBJ  
 SCALE: AS SHOWN  
 PROJECT #:

SHEET NUMBER:  
**A-1**



**RIGHT-SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



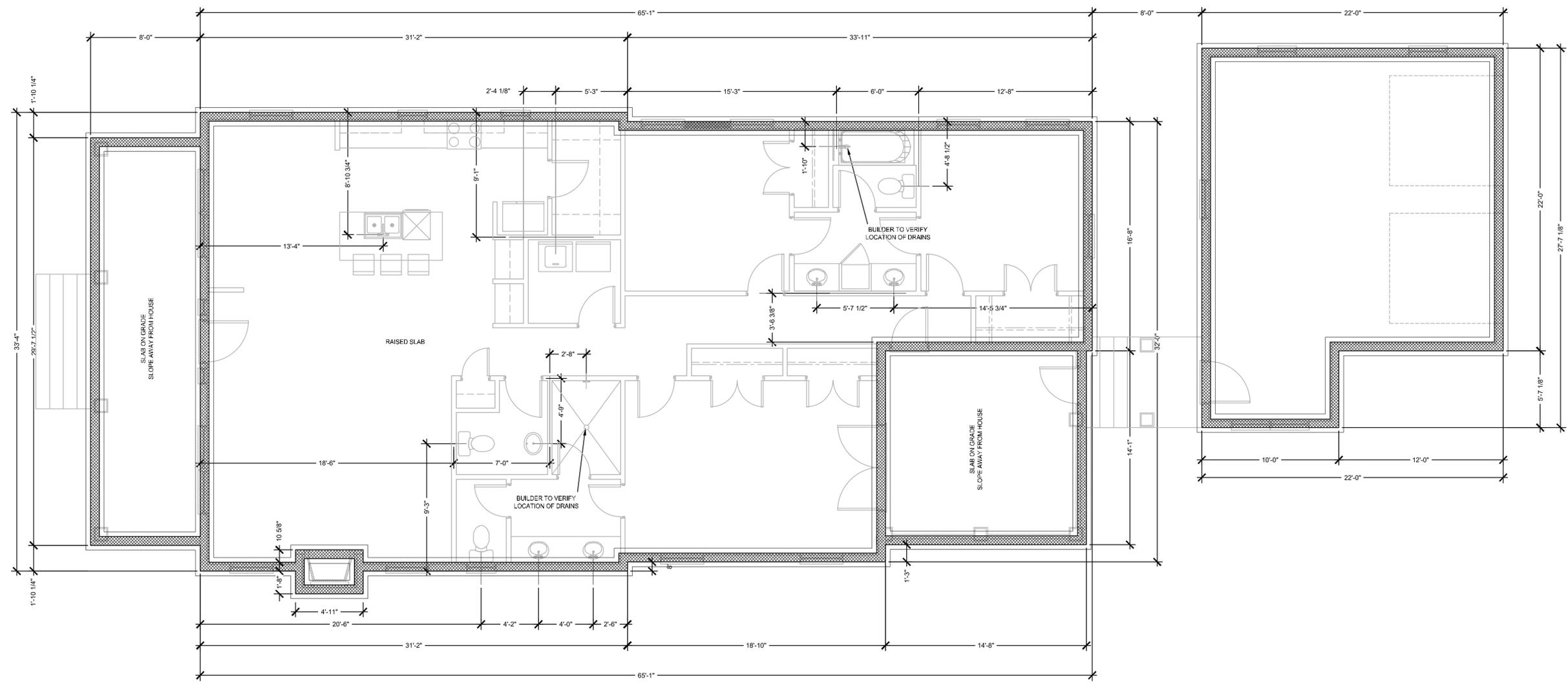
**LEFT-SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS:

**SOUTHERN COASTAL HOMES - PROTOTYPE 1**  
**LOT 20B**  
 STOCK FARM | BLUFFTON, SOUTH CAROLINA  
 RIGHT AND LEFT SIDE ELEVATIONS

DATE: 04-15-2016  
 DESIGNED BY: KBJ  
 DRAWN BY: KBJ  
 CHECKED BY: KBJ  
 SCALE: AS SHOWN  
 PROJECT #:  
 SHEET NUMBER:  
**A-2**

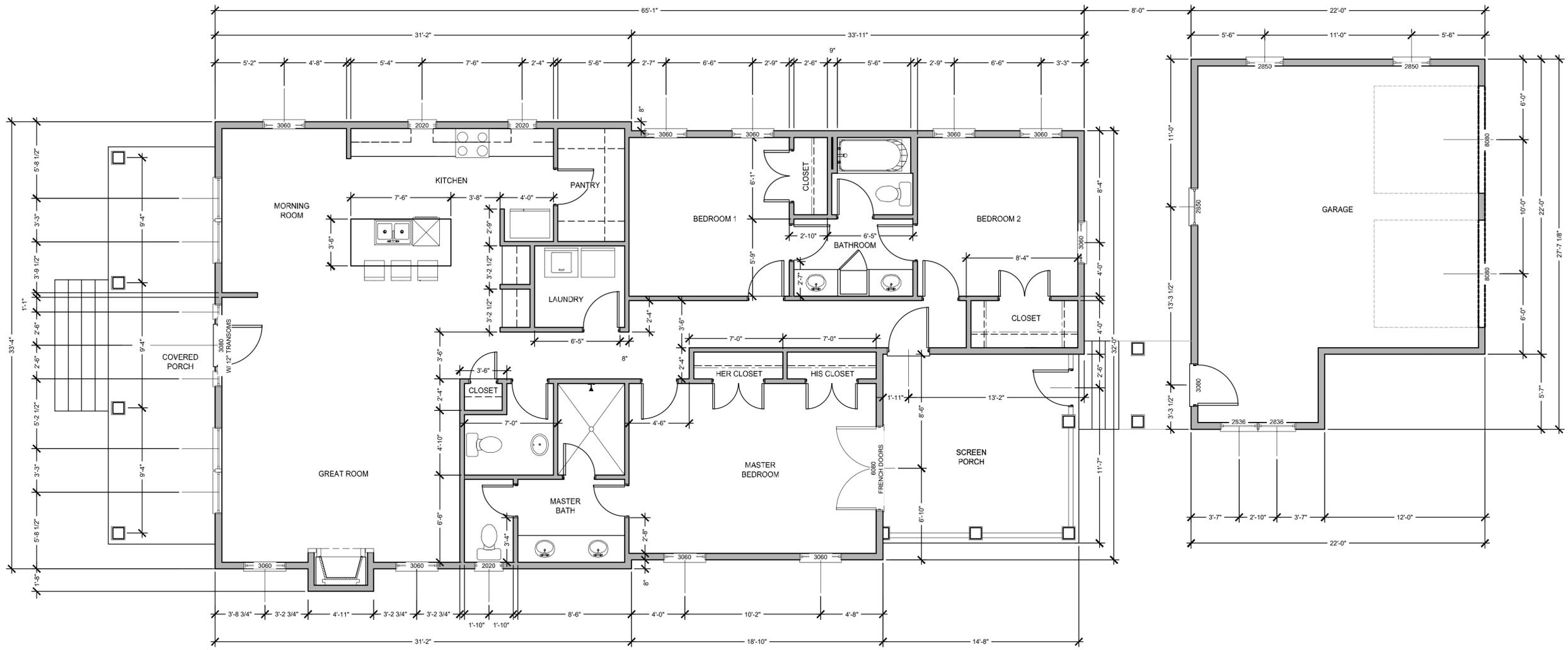


SLAB/FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS:

**SOUTHERN COASTAL HOMES - PROTOTYPE 1**  
**LOT 20B**  
STOCK FARM | BLUFFTON, SOUTH CAROLINA  
SLAB/FOUNDATION PLAN

DATE: 04-15-2016  
DESIGNED BY: KBJ  
DRAWN BY: KBJ  
CHECKED BY: KBJ  
SCALE: 1/4" = 1'-0"  
PROJECT #:  
SHEET NUMBER:  
**A-3**



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1  
LOT 20B

STOCK FARM | BLUFFTON, SOUTH CAROLINA  
FLOOR PLAN - FIRST FLOOR

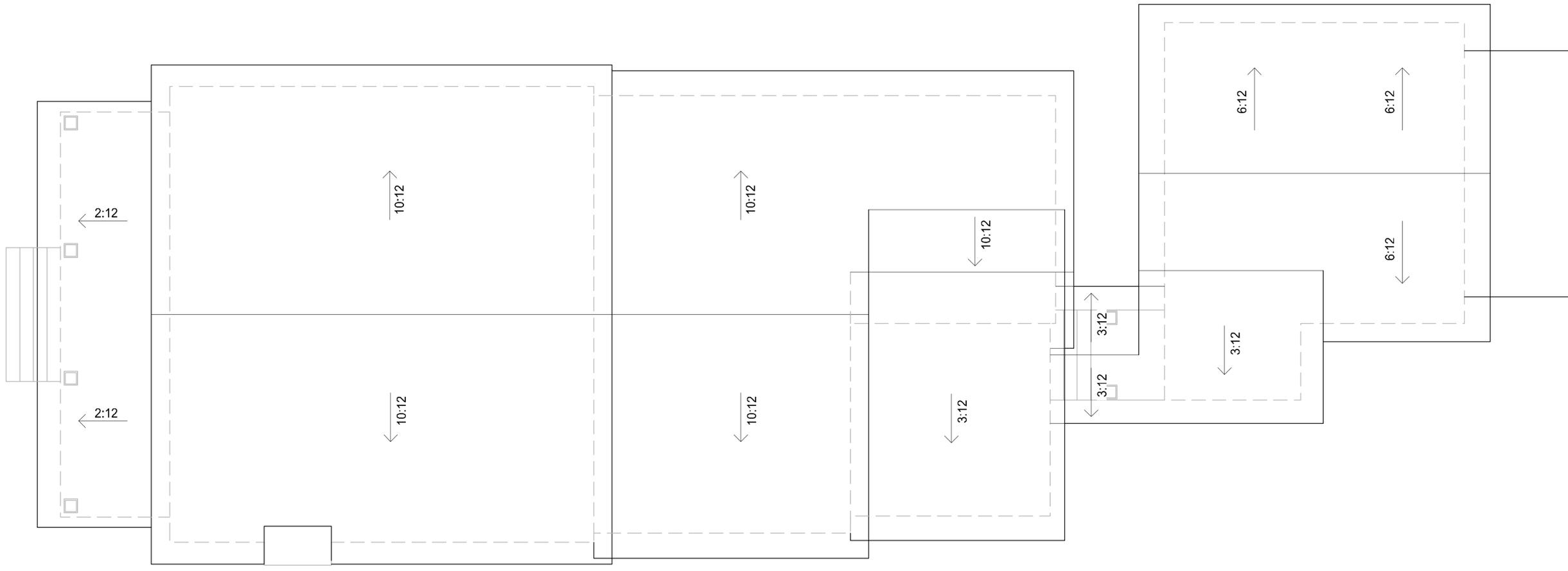
DATE: 04-15-2016  
DESIGNED BY: KBJ  
DRAWN BY: KBJ  
CHECKED BY: KBJ  
SCALE: 1/4" = 1'-0"  
PROJECT #:  
SHEET NUMBER:  
**A-4**



REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1  
LOT 20B  
STOCK FARM | BLUFFTON, SOUTH CAROLINA  
ROOF PLAN

DATE: 04-15-2016  
DESIGNED BY: KBJ  
DRAWN BY: KBJ  
CHECKED BY: KBJ  
SCALE: 1/4" = 1'-0"  
PROJECT #:  
SHEET NUMBER:  
**A-5**



ROOF PLAN

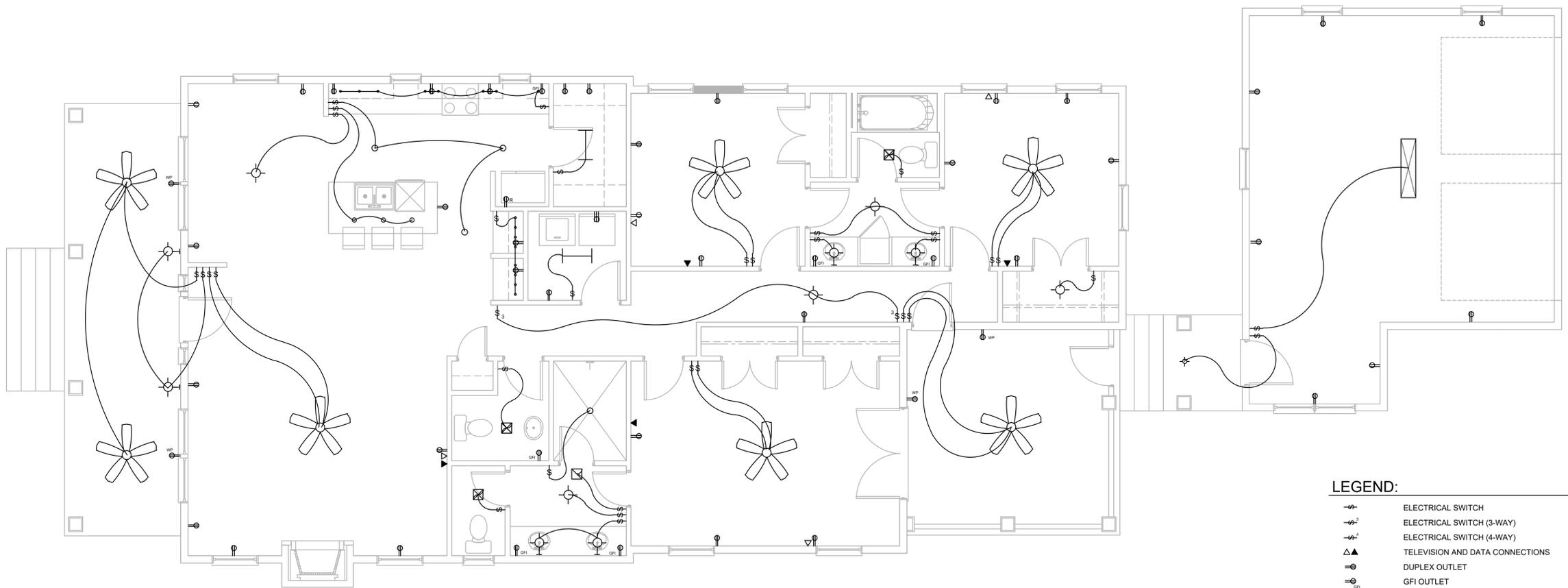
SCALE: 1/4" = 1'-0"



REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1  
LOT 20B  
STOCK FARM | BLUFFTON, SOUTH CAROLINA  
ELECTRICAL PLAN - FIRST FLOOR

DATE: 04-15-2016  
DESIGNED BY: KBJ  
DRAWN BY: KBJ  
CHECKED BY: KBJ  
SCALE: 1/4" = 1'-0"  
PROJECT #:  
SHEET NUMBER:  
**A-6**

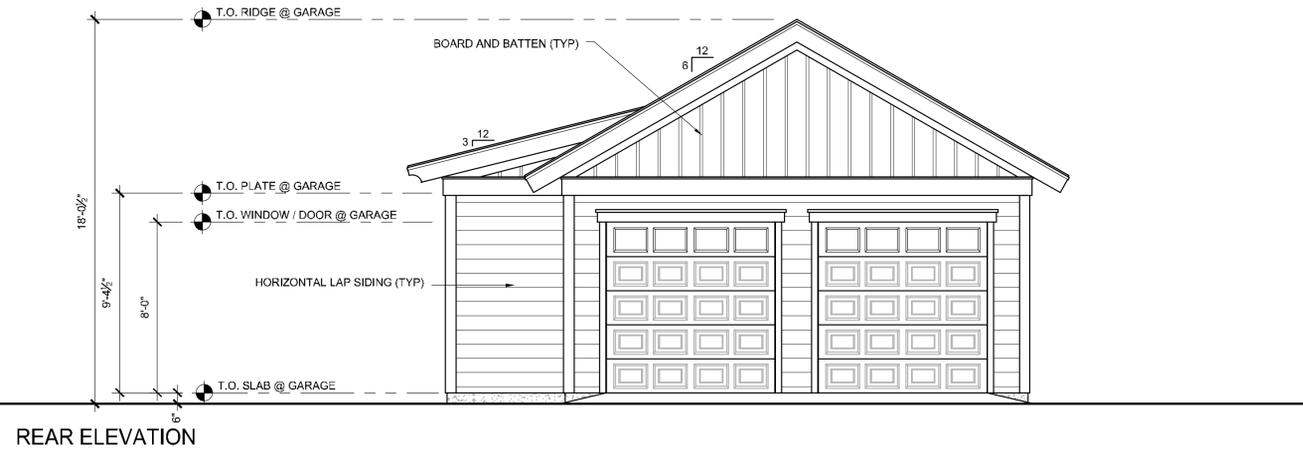


- GENERAL NOTES:**
1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
  2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
  3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.

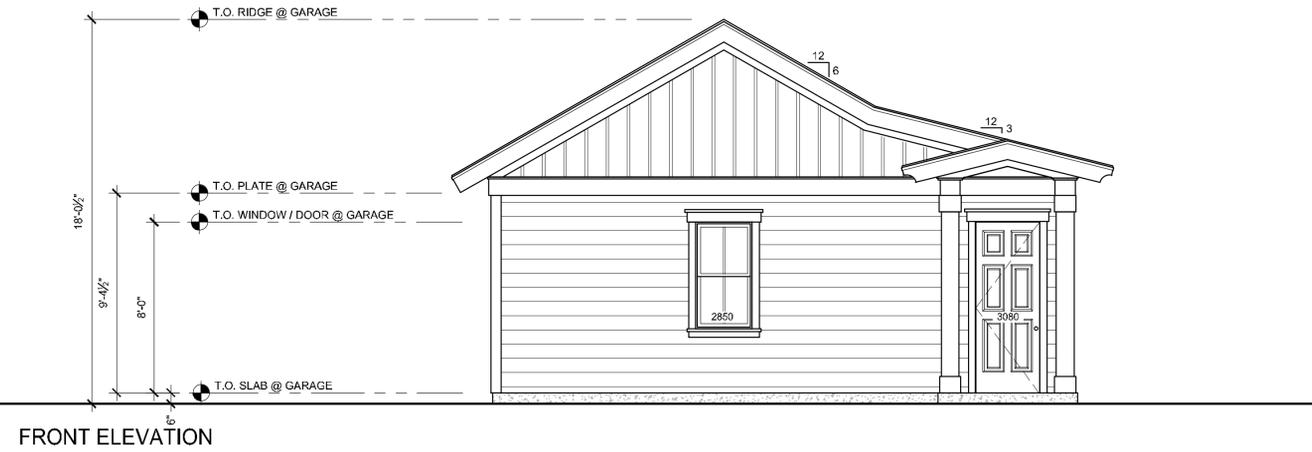
**LEGEND:**

	ELECTRICAL SWITCH
	ELECTRICAL SWITCH (3-WAY)
	ELECTRICAL SWITCH (4-WAY)
	TELEVISION AND DATA CONNECTIONS
	DUPLEX OUTLET
	GFI OUTLET
	WEATHER PROTECTED OUTLET
	DRYER RECEPTACLE
	RECESSED LIGHTING
	WALL SCONCE
	SURFACE / PENDANT FIXTURE
	LIGHT / EXHAUST FIXTURE
	FLUORESCENT FIXTURE
	CEILING FAN / LIGHT FIXTURE

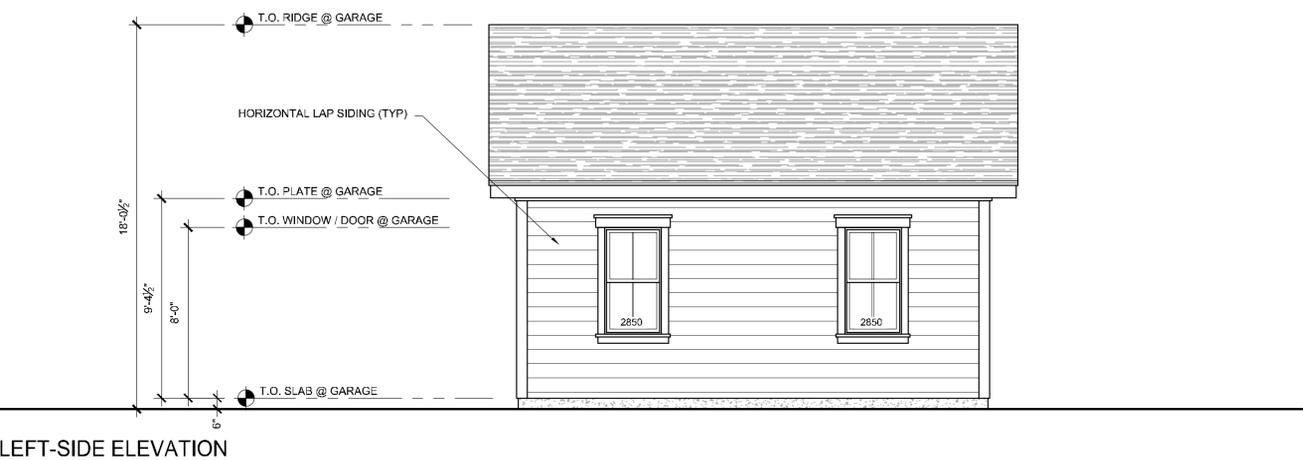
**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



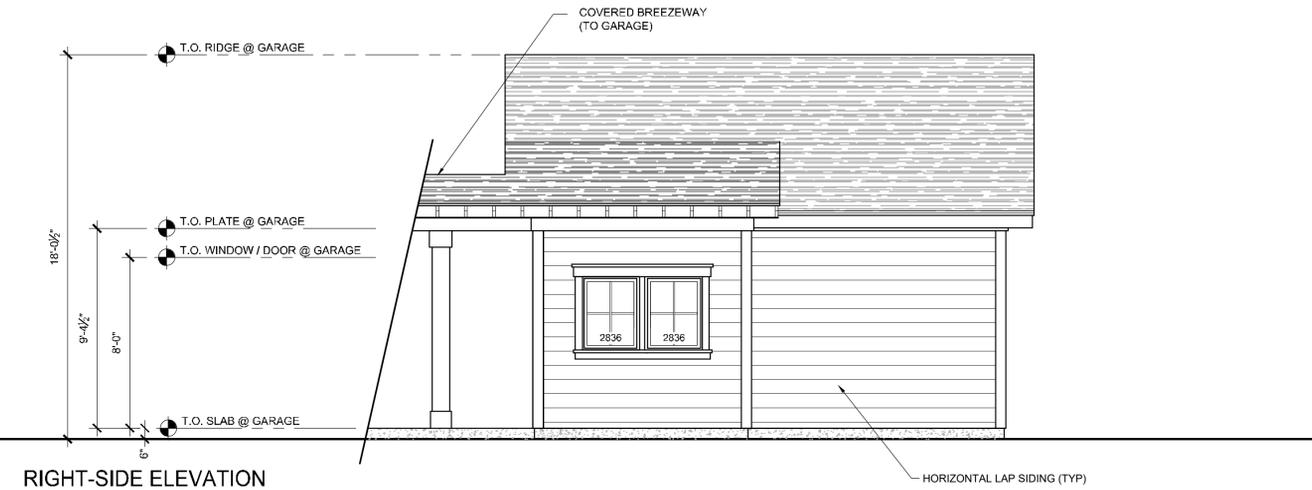
REAR ELEVATION



FRONT ELEVATION



LEFT-SIDE ELEVATION



RIGHT-SIDE ELEVATION

**GARAGE ELEVATIONS**

SCALE: 1/4" = 1'-0"

REVISIONS:

**SOUTHERN COASTAL HOMES - PROTOTYPE 1**

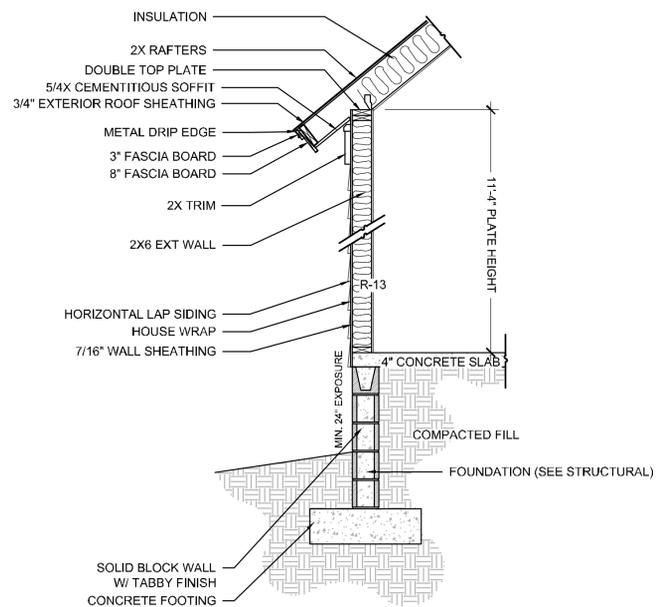
**LOT 20B**

STOCK FARM | BLUFFTON, SOUTH CAROLINA

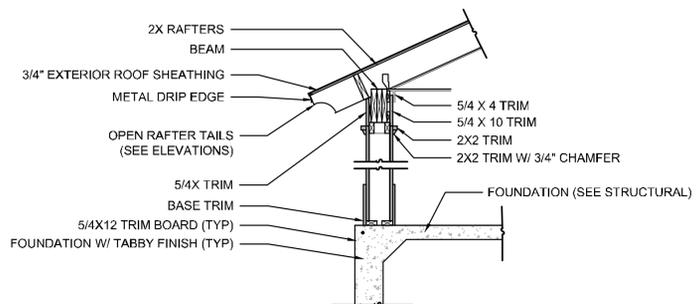
GARAGE ELEVATIONS

DATE: 04-15-2016  
 DESIGNED BY: KBJ  
 DRAWN BY: KBJ  
 CHECKED BY: KBJ  
 SCALE: 1/4" = 1'-0"  
 PROJECT #:

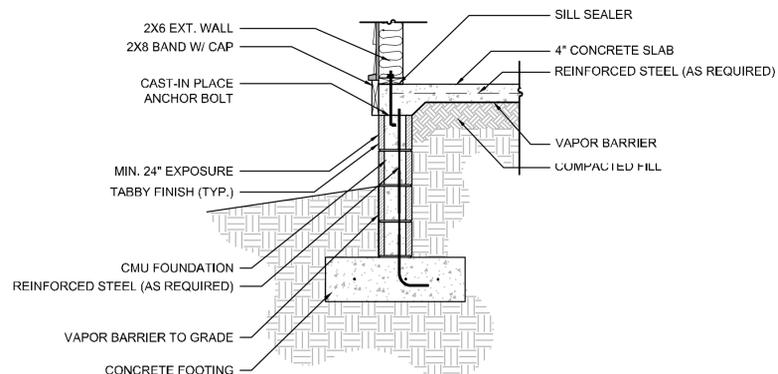
SHEET NUMBER:  
**A-7**



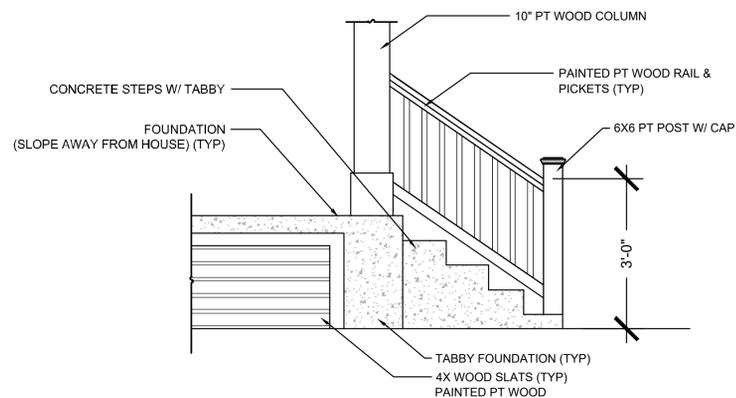
TYPICAL EXT. WALL - SECTION  
(NTS)



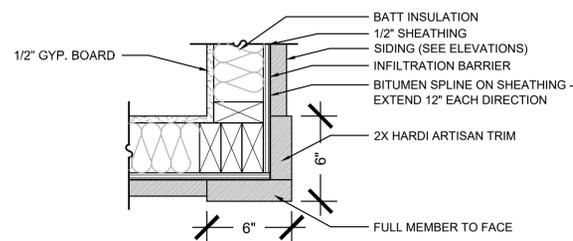
FRONT PORCH COLUMN - SECTION  
(NTS)



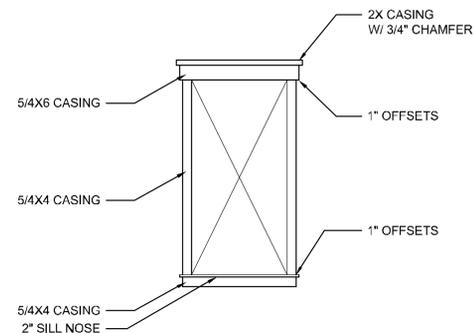
TYPICAL RAISED SLAB - SECTION  
(NTS)



TYPICAL RAIL & BALUSTERS  
(NTS)



TYPICAL CORNER BOARDS  
(NTS)



TYPICAL WINDOW DETAIL  
(NTS)

REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1

LOT 20B

STOCK FARM | BLUFFTON, SOUTH CAROLINA

CONSTRUCTION DETAILS

DATE: 04-15-2016  
DESIGNED BY: KBJ  
DRAWN BY: KBJ  
CHECKED BY: KBJ  
SCALE: 1/4\"/>

SHEET NUMBER:

A-8

# HISTORIC PRESERVATION REVIEW COMMITTEE



## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	June 22, 2015
<b>PROJECT:</b>	5802 Yaupon Rd., Lot 20B in the Old Town Bluffton Historic District and zoned Neighborhood General-HD (NG-HD). The Application was reviewed for conformance with the following documents: Stock Farm Development Plan, Town of Bluffton Unified Development Ordinance (UDO) and <i>Traditional Construction Patterns</i> by Stephen Mouzon.
<b>PROJECT MANAGER:</b>	Erin Schumacher, Senior Planner

The Town of Bluffton has reviewed the drawings and information provided for the construction of a new structure located at 5802 Yaupon Road (Lot 20B) in the Old Town Bluffton Historic District and zoned Neighborhood General-HD (NG-HD). The Application was reviewed for conformance with the following documents: Stock Farm Development Plan, Town of Bluffton Unified Development Ordinance (UDO) and *Traditional Construction Patterns* by Stephen Mouzon.

The Town of Bluffton submits the following comments:

#### **COMMENTS:**

##### **Growth Management**

1. Each floor of any building facing a park, square, or street shall contain transparent window covering from 20% to 70% of the wall area. The elevation of the Carriage House facing Guilford Place must be modified to include transparent window coverings. (UDO 5.15.6.L.1).
2. The finished floor height measured from the average adjacent of sidewalk grade and height of the top porch step measured from adjacent grade is required to be appears to be 36" and 30" respectively. Provide dimensions on the plans to show that the proposed heights meet these requirements. (UDO 5.15.5.F. c., 5.15.6. E.5.c.)
3. The columns along the front facade are just over 8' tall and are spaced approximately 8'-7" apart. The column spacing does not meet the requirement of "no farther apart than they are tall" and must be modified to meet the requirement. (UDO 5.15.6.H.1.a.)
4. As the project moves toward Final submittal, provide a landscape plan, typical window detail, railing and baluster detail, a corner board and water table trim detail, and a section through the eave as not enough information was provided in submittal to review these items for conformance with the UDO. (Applications Manual)

5. For the final submission, a letter of approval from the Stock Farm HARB must be provided stating that the plans have been reviewed and approved.  
(Applications Manual)

Recommendation: Reconsider the use of shutters for greater consistency on all elevations.

#### **Historic Preservation Review Committee**

1. Provide information on the proposed shutter dog. (UDO 5.15.6.M.)

#### **Engineering**

1. No comments

#### **Building Safety**

1. No comments

STOCK FARM DEVELOPMENT  
BOX 2570  
BLUFFTON, SC 29910

24 MAY 2016

To: Erin Schumacher  
Town of Bluffton

Subject: Plans for Lot 20B

The Habitat and Architectural Board (HARB) of Stock Farm has reviewed the revised plans for the residence on Lot 20B. The board considers the residential design and ancillary building meet the guidelines established by Stock Farm.

The HARB recommends the award of a Certificate of Appropriateness.

Emmett McCracken  
Manager