

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	June 1, 2016
PROJECT:	Lot 18, 34 Tabby Shell Rd. – New Construction: Single-Family Residential
APPLICANT:	Sean Lewis
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Sean Lewis, on behalf of Dagmara Skowicz, requests that the Historic Preservation Commission approve the following application:

1. **COFA-4-16-9606.** A Certificate of Appropriateness to allow the construction of a new single family residential structure of approximately 2,335 SF, with a Carriage House of approximately 1,200 SF, located on the property identified as 34 Tabby Shell Road (Lot 18), in the Tabby Roads Development and zoned as Neighborhood General-HD

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,335 SF, has attributes of the Village House Building Type and the Center Hall Building Type, but does not fully meet the dimensional requirements, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 1,200 SF, which meets the design standards for that building type (Carriage House).

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by designing a structure housed under a hipped roof with a forward facing gable bay and a front porch to the side. Materials that are in keeping with the vernacular of Bluffton are the use of horizontal lap siding, square columns, tabby stucco at the piers, and corner board and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 25, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence within the Tabby Roads development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in section 2 are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more

complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.

Since the project is located within the Tabby Roads development, the site is required to meet the front, rear, and side setbacks prescribed by the Tabby Roads development plan. The proposed site plan meets these established criteria.

a. *Finding.* Town Staff finds that if the condition noted below are met, the design of the proposed structure will be in conformance with the other applicable provisions provided in Article 5:

- 1) Section 5.15.6.7.a. Corners and Water Tables Corners. The UDO notes that water table should be 2x stock with a bevel. The proposed plans note the use of 1x10 as the skirt board. As this is considered part of the water table trim, it must be revised to a 2x material to meet the requirements of the UDO.

- 2) Section 5.15.6.a. and 5.15.5.F.4.c. While shutters are not required, when they are proposed they must be applied in a consistent manner. Consider adding shutters to all windows that will accept them for better consistency and a more traditional application.

3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter of approval has been submitted by the Tabby Roads Habitat and Architectural Review Board, but has a number of conditions mentioned. These conditions must be satisfied prior to the issuance of a Certificate of Appropriateness. The project shows a number of trees for removal to allow for the building envelope. As such, a Town of Bluffton Tree Removal Permit is required.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.7.a. of the UDO, the water table trim material must be revised to a 2x material.
2. Per Section 3.22.2 of the UDO, a Town of Bluffton tree removal permit is required for any trees over 14 inches DBH proposed for removal.
3. Per the Applications Manual, a final approval letter from the Tabby Roads HARB shall be provided to Town Staff stating that the plans have been reviewed and approved.
4. Per Section 5.15.6.a. and 5.15.5.F.4.c. Consider adding shutters to all windows that will accept them for better consistency and a more traditional application.

ATTACHMENTS:

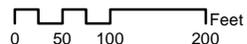
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



**34 Tabby Shell Road
Lot 18
Location Map**

 Site

Date: 6-1-2016



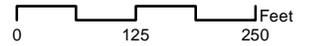
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**Lot 18, Tabby Roads
34 Tabby Shell Road
New Construction
Zoning Map**

 Site

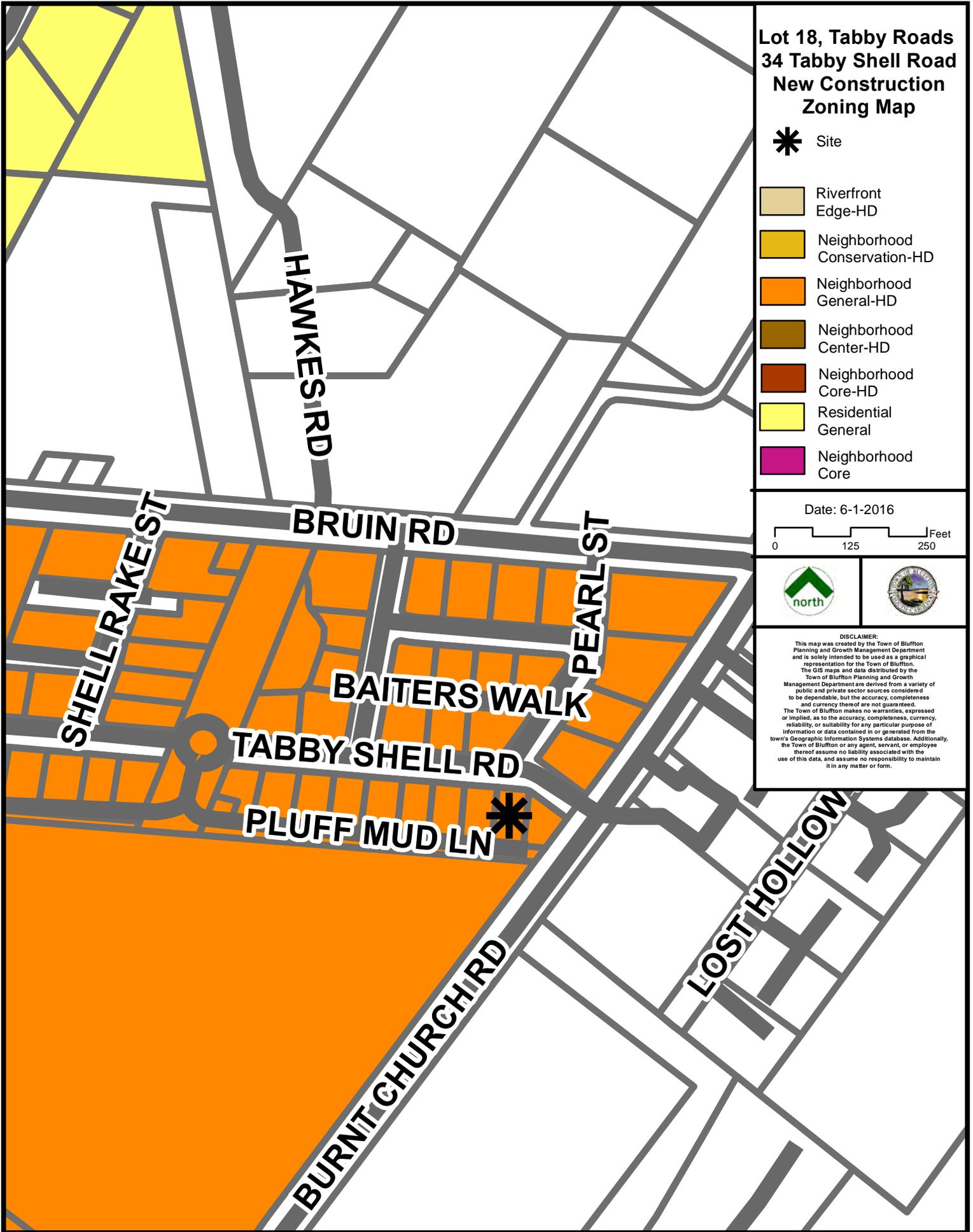
-  Riverfront
Edge-HD
-  Neighborhood
Conservation-HD
-  Neighborhood
General-HD
-  Neighborhood
Center-HD
-  Neighborhood
Core-HD
-  Residential
General
-  Neighborhood
Core

Date: 6-1-2016

 Feet



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The Sakowicz Residence

Lot 18, #34 Tabby Shell
Bluffton SC, 29910

May 24, 2016

Erin,

This is a project summary for the Sakowicz residence. The project is a new 2 story, single family residence with a detached garage and apartment above. This is new construction on a vacant lot.

List of materials include:

Roof - primarily asphalt shingle, standing seam metal roof over entry and rear entry

Siding - the majority of the finish is going to be horiz. Hardie plank. The foundation will be raised with crawl space below on piers finished in Tabby Shell.

Trim - all trim to be p.t. lumber

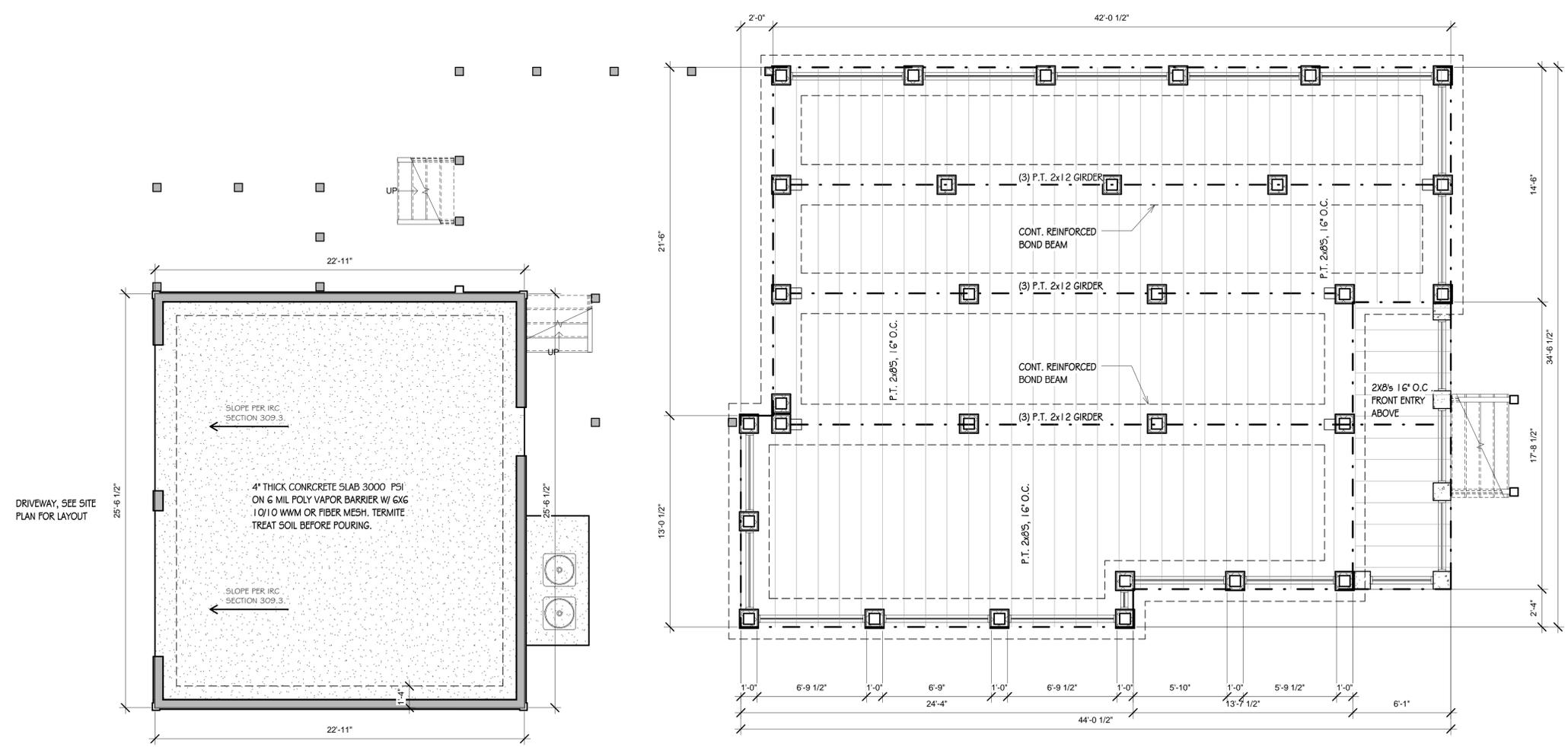
Decking and handrails - p.t. Lumber

Sidewalk is to be concrete

Sincerely,

Sean A. Lewis

THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD BUILDING CODE, THE STANDARD MECHANICAL CODE, AND THE STANDARD PLUMBING CODE OF THE SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL AND THE NATIONAL BUILDING CODE, CURRENT EDITION, AND ALL OTHER APPLICABLE BUILDING CODES. THE CONTRACTOR IS TO OBTAIN ALL BUILDING PERMITS REQUIRED.



FOUNDATION NOTES

- PRIOR TO ANY FILLING OPERATIONS, STRIP ALL BUILDING AND PAVING AREAS OF TOPSOIL AND ROOT MATTER.
- PROOFROLL ALL AREAS PRIOR TO ANY FILLING WITH A MINIMUM OF FOUR(4) PASSES TWO(2) IN EACH DIRECTION, AT RIGHT ANGLES WITH A 10 OR 15 TON VIBRATORY ROLLER UNTIL A MAXIMUM DENSITY OF 95% (ASTM D698) IS ACHIEVED THROUGH THE UPPER TWELVE(12) INCHES OF SOIL. ADDITIONAL PASSES SHALL BE MADE TO ACHIEVE THE DENSITY REQUIREMENT. ENGINEER'S CERTIFICATION OF SATISFACTORY TEST RESULTS SHALL BE PROVIDED BY THE EARTH WORK CONTRACTOR TO THE GENERAL CONTRACTOR AND THE OWNER.
- FILL OPERATIONS SHALL COMMENCE WITH LIFTS NOT EXCEEDING TWELVE(12) INCHES LOOSE THICKNESS. FILL MATERIAL SHALL BE CLEAN AND FREE FROM CLAY BALLS AND ORGANIC MATTER. FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698(STANDARD PROCTOR). ENGINEER'S CERTIFICATION OF SATISFACTORY TEST RESULTS SHALL BE PROVIDED BY THE EARTH WORK CONTRACTOR TO THE GENERAL CONTRACTOR AND THE OWNER.
- FOUNDATION DESIGN IS PREDICATED ON A SOIL BEARING CAPACITY OF 2000 P.S.F. IN THE EVENT MUCK OR OTHER UNSUITABLE MATERIAL IS ENCOUNTERED DURING CONSTRUCTION THE DESIGNER SHALL BE NOTIFIED AND ADDITIONAL SOIL ANALYSIS SHALL BE MADE FOR REDESIGN PURPOSES.
- FOUNDATION CONSTRUCTION SHALL CONFORM TO APPLICABLE SECTIONS OF ACI STANDARDS AND THE FOLLOWING:
 - CONCRETE SHALL HAVE A MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.
 - REINFORCING SHALL BE DEFORMED BARS OR WELDED WIRE FABRIC OF A307 STEEL.
 - ANCHOR BOLTS SHALL BE OF A307 STEEL.

NOTE:
 DOUBLE OR TRIPLE JOISTS UNDER BEARING WALLS PARALLEL TO FRAMING. REFER TO FLOOR PLAN.

1 FOUNDATION PLAN
 1/4" = 1'-0"

DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

FOUNDATION PLAN	
Project#	.
Date	5-6-16
Drawn By	Author
Checked By	Checker
A.1	
Scale 1/4" = 1'-0"	

PATHFINDERS DESIGN GROUP
SEAN LEWIS
 CAD DESIGNER
 10 E. HILTON ROAD
 SUITE #8
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 842-561-7727

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DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

FLOOR PLAN

Project# _____
 Date 5-6-16
 Drawn By Author
 Checked By Checker

A.2
 Scale 1/4" = 1'-0"

Garage Door Schedule

Mark	Count	Width	Height	Comments
8	2	9'-0"	7'-0"	METAL FRAME O.H.D.
9	1	3'-0"	6'-8"	METAL INSULATED

Grand total: 3

1st Floor Door Schedule

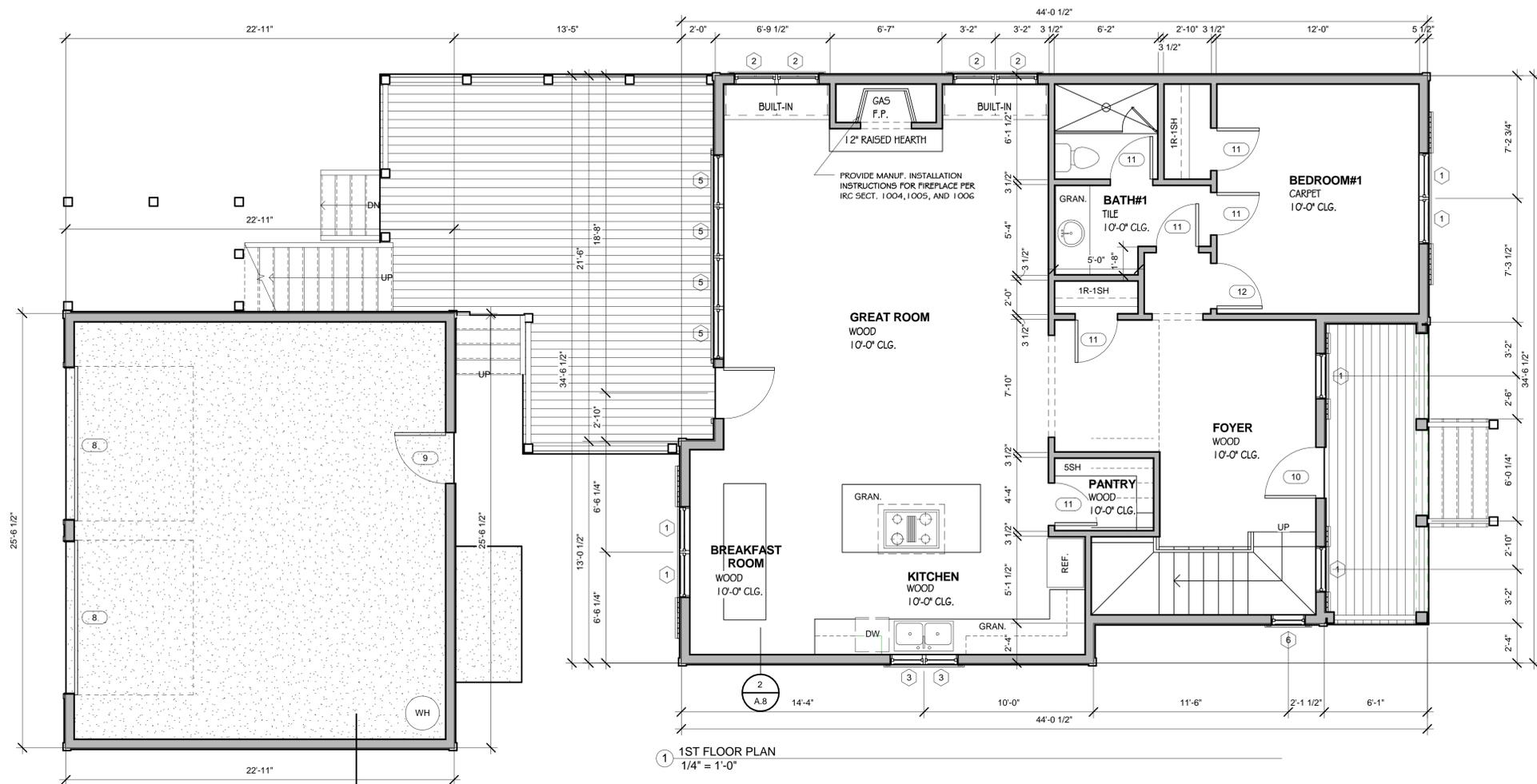
Mark	Count	Width	Height	Comments
10	1	3'-0"	8'-0"	SINGLE GLASS
11	6	2'-6"	8'-0"	
12	1	2'-8"	8'-0"	
24	1	3'-0"	8'-0"	

Grand total: 9

1st Floor Window Schedule

Type	Mark	Count	Width	Height	Comments
	1	6	2'-8"	6'-0"	
	2	4	2'-6"	2'-6"	
	3	2	2'-0"	3'-0"	
	5	4	3'-0"	6'-0"	
	6	1	2'-0"	3'-0"	

Grand total: 17



1 1ST FLOOR PLAN
 1/4" = 1'-0"

NOTES:

- MUST REQUIRE THE PUBLIC SERVICE DISTRICT SERVE LETTER PER IRC SECTION 306.3 AND 306.4
- THE AIR BARRIER OF THE DWELLING SHALL BE TESTED BY THE DOOR PRESSURE TEST OR THE VISUAL INSPECTION EXCEPTION PER IECC SECTION 402.2.
- PROPER STREET ADDRESS IS TO BE POSTED AND VISIBLE FROM THE STREET PER IRC SECTION 32.1
- DOOR & WINDOW NOTES:
 GLASS DOORS & WINDOWS TO BE "JEN-WEN" VINYL CLAD OR EQUAL. COLOR TO BE SELECTED. ALL WINDOW HEAD HEIGHTS TO BE 8'-0" EXCEPT AS OTHERWISE NOTED. ALL INTERIOR DOORS TO BE SOLID CORE, 6 PANEL, 8'-0" HEAD HT. EXCEPT AS OTHERWISE NOTED. ALL GARAGE DOORS TO BE FBGL INSUL. PANELS.
- WINDOWS WITHIN 2 FEET OF A SWINGING DOOR, WITHIN 60 INCHES OF A SHOWER/TUB, AND NEXT TO STAIRS OR LANDINGS SHALL BE TEMPERED PER IRC SECTIONS 308.4.2, 308.4.5, 308.4.6.
- NOTE:
 HURRICANE PROTECTION TO BE PROVIDED BY PROFESSIONAL HURRICANE PROTECTION COMPANY, COORDINATE W/ GC.
- LP GAS LINES SHALL BE PRESSURE TESTED PER IFGC SECTION 406.
- LP GAS LINES SHALL BE BONDED PER IFGC SECTION 310.
- DRYER VENTS MAY NOT EXCEED 35 FEET INCLUDING THE EQUIVALENT LENGTHS FOR FITTINGS PER IRC SECTIONS 1502.4.4.1
- THE LENGTH OF THE VENT SHALL BE PERMANENTLY IDENTIFIED AT THE DRYER CONNECTION PER IRC SECTION 1502.4.5.

SQ. FOOTAGE:

1ST FLOOR HEATED:	1,231sqft (1,234 ALLOWABLE)
2ND FLOOR HEATED:	1,102sqft
BONUS ROOM HEATED:	614sqft
TOTAL HTD. SQFT:	2,947sqft
GARAGE:	585sqft

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DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

2ND FLOOR PLAN & BNS RM

Project# _____
 Date 5-6-16
 Drawn By Author
 Checked By Checker

A.3
 Scale 1/4" = 1'-0"

Bonus Room Door Schedule

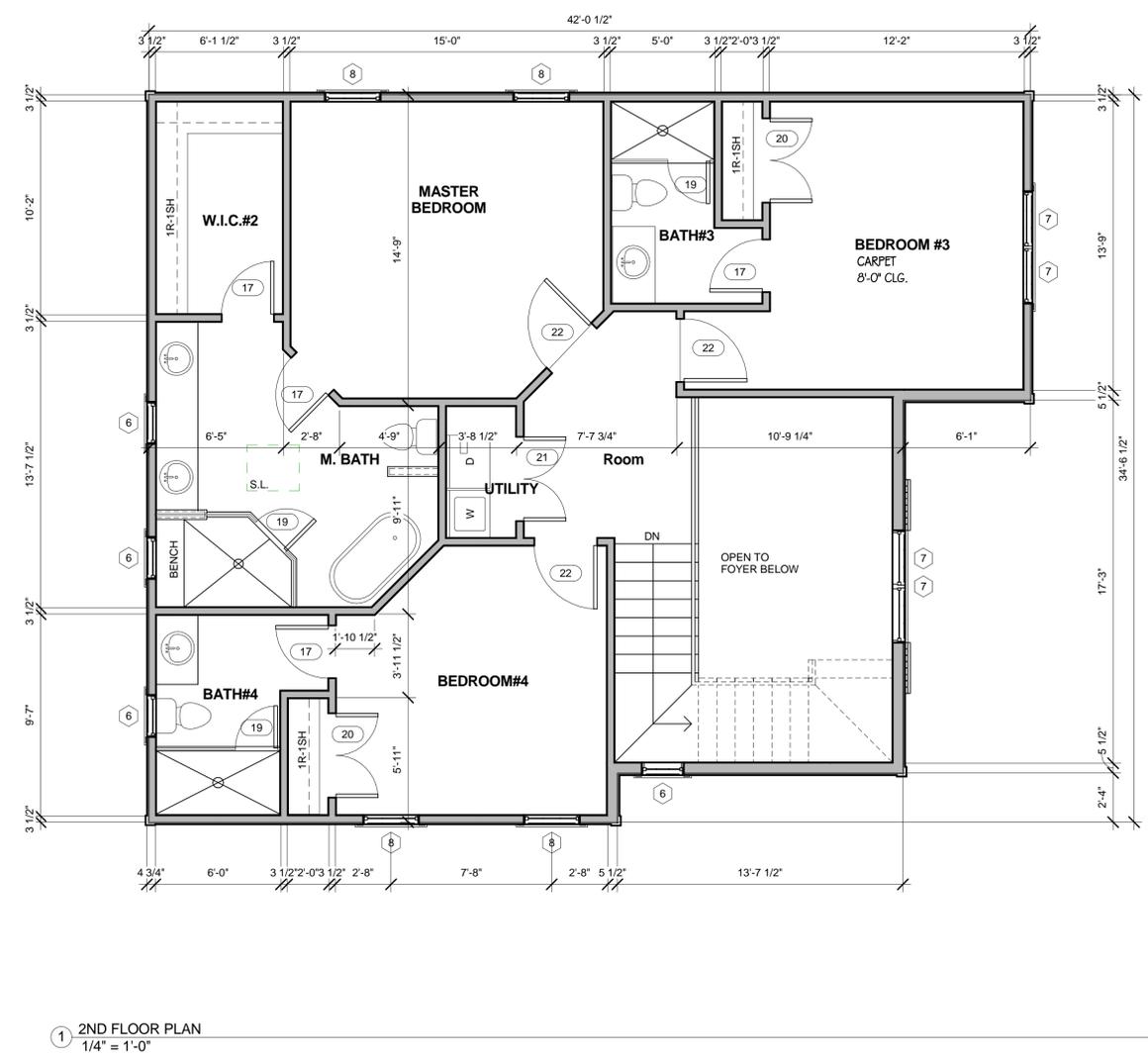
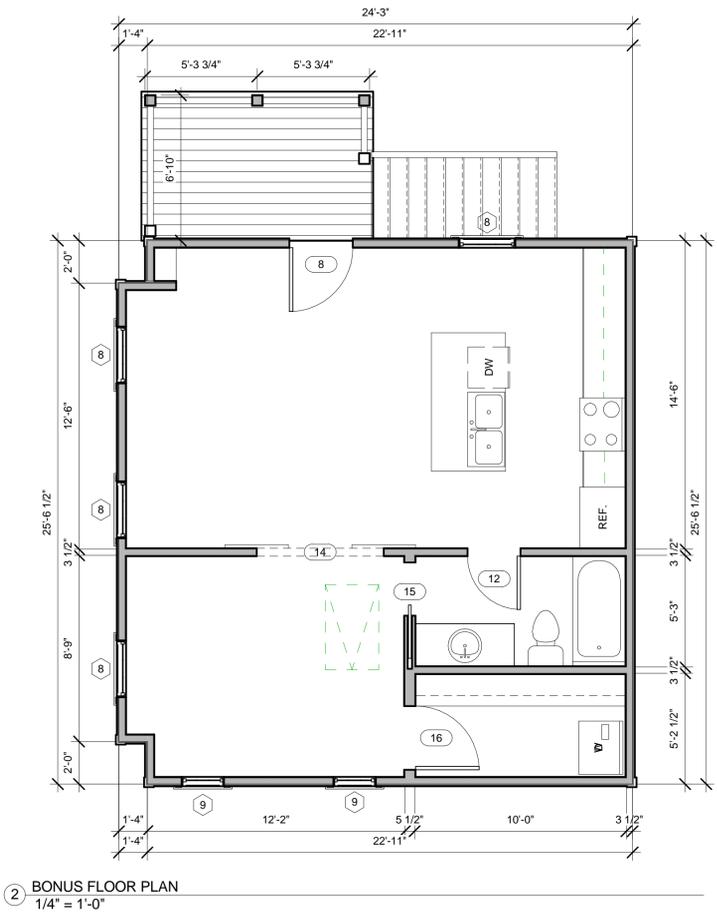
Mark	Count	Width	Height	Comments
8	1	3'-0"	6'-8"	SINGLE GLASS
12	1	2'-6"	6'-8"	SOLID CORE
14	1	6'-0"	6'-8"	CUSTOM BARN DOORS
15	1	2'-6"	6'-8"	POCKET DOOR (6" WALL)
16	1	3'-0"	6'-8"	SOLID CORE

Grand total: 5

Bonus Room Window Schedule

Type Mark	Count	Width	Height	Comments
8	4	2'-8"	5'-0"	
9	2	2'-0"	5'-0"	

Grand total: 6



2nd Floor Door Schedule

Mark	Count	Width	Height	Comments
17	4	2'-6"	6'-8"	
19	3	2'-0"	6'-8"	
20	2	4'-0"	6'-8"	
21	1	4'-0"	6'-8"	
22	3	3'-0"	6'-8"	

Grand total: 13

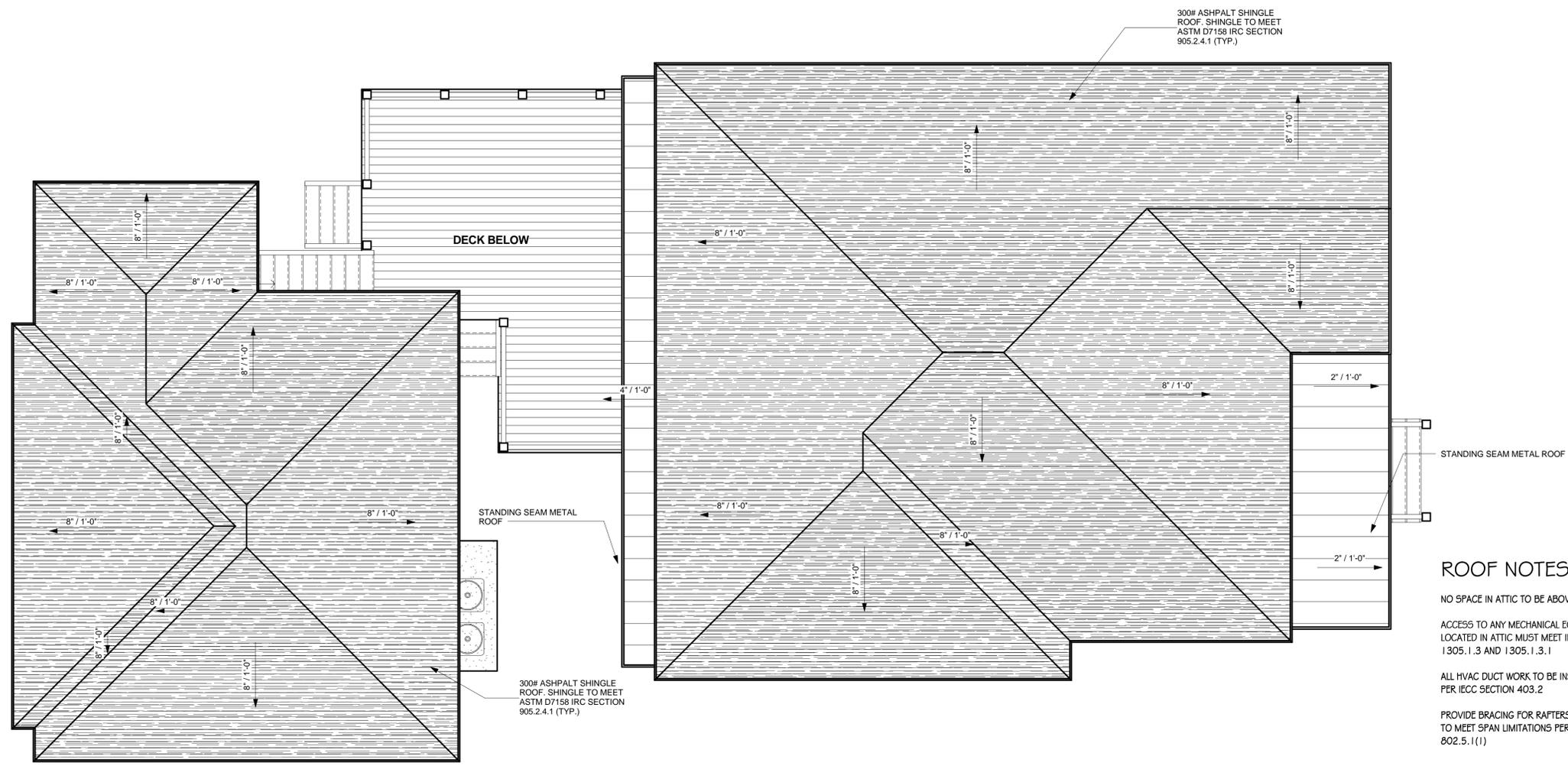
2nd Floor Window Schedule

Type Mark	Count	Width	Height	Comments
6	4	2'-0"	3'-0"	
7	4	2'-8"	5'-0"	
8	4	2'-8"	5'-0"	

Grand total: 12

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THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD BUILDING CODE, THE STANDARD MECHANICAL CODE, AND THE STANDARD PLUMBING CODE OF THE SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL AND THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND ALL OTHER APPLICABLE BUILDING CODES. THE CONTRACTOR IS TO OBTAIN ALL BUILDING PERMITS REQUIRED.



ROOF NOTES:

- NO SPACE IN ATTIC TO BE ABOVE 6'-11"
- ACCESS TO ANY MECHANICAL EQUIPMENT LOCATED IN ATTIC MUST MEET IRC SECT. 1305.1.3 AND 1305.1.3.1
- ALL HVAC DUCT WORK TO BE INSTALLED PER IECC SECTION 403.2
- PROVIDE BRACING FOR RAFTERS AS REQ. TO MEET SPAN LIMITATIONS PER IRC TABLE 802.5.1(1)

1 ROOF PLAN
 1/4" = 1'-0"

DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

ROOF PLAN

Project#	.
Date	5-6-16
Drawn By	Author
Checked By	Checker

A.4
 Scale 1/4" = 1'-0"

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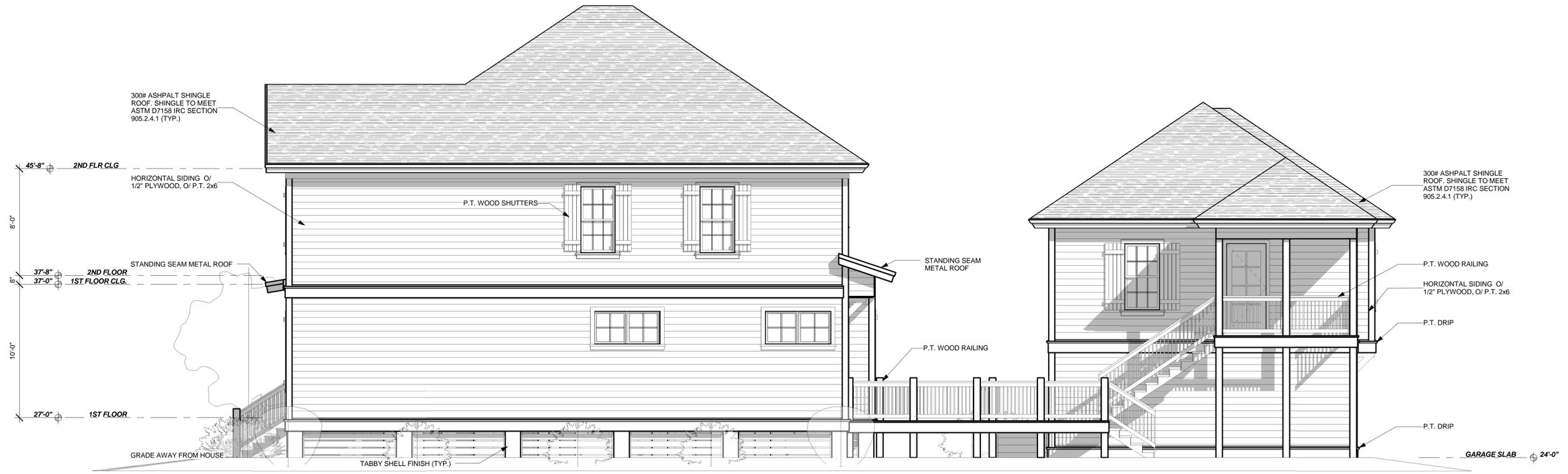
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1 FRONT ELEVATION
 1/4" = 1'-0"



3 FRONT PERSPECTIVE



2 RIGHT ELEVATION
 1/4" = 1'-0"

DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

FRONT & RIGHT ELEVATIONS

Project#
 Date 5-6-16
 Drawn By Author
 Checked By Checker

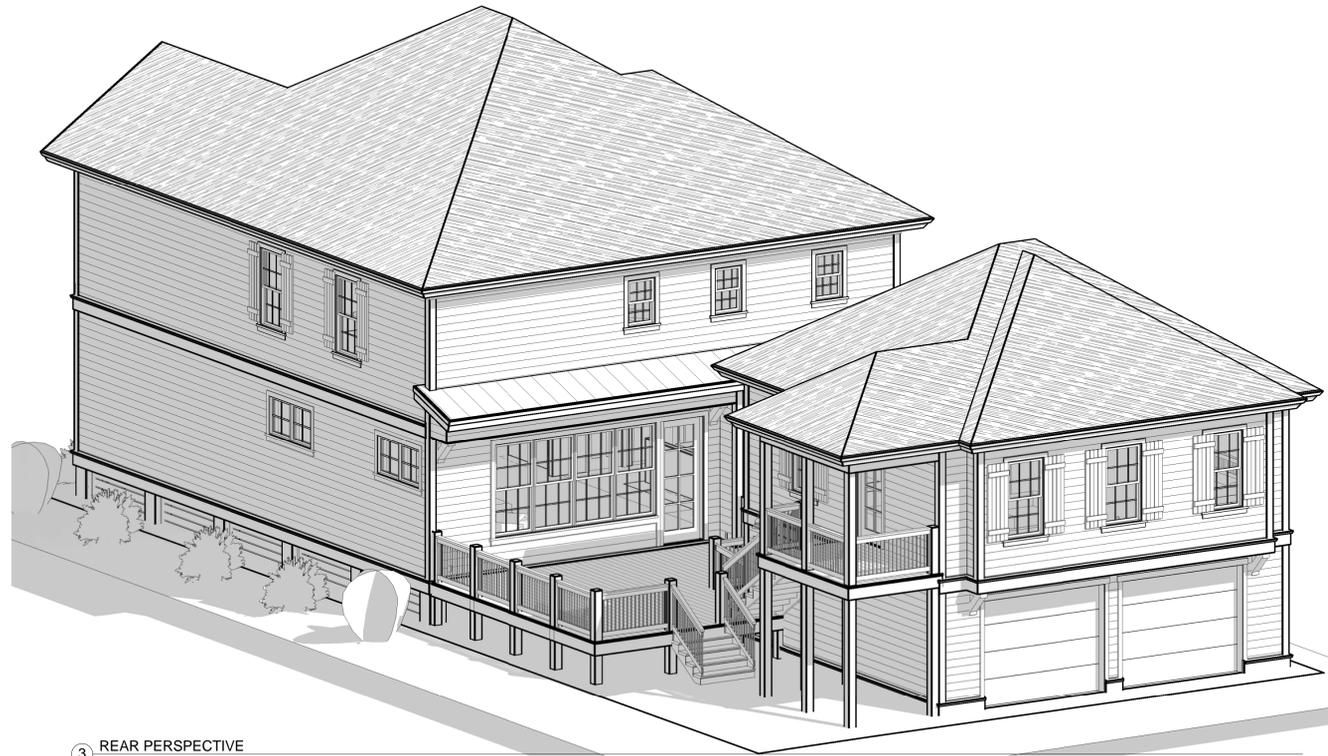
A.5
 Scale 1/4" = 1'-0"

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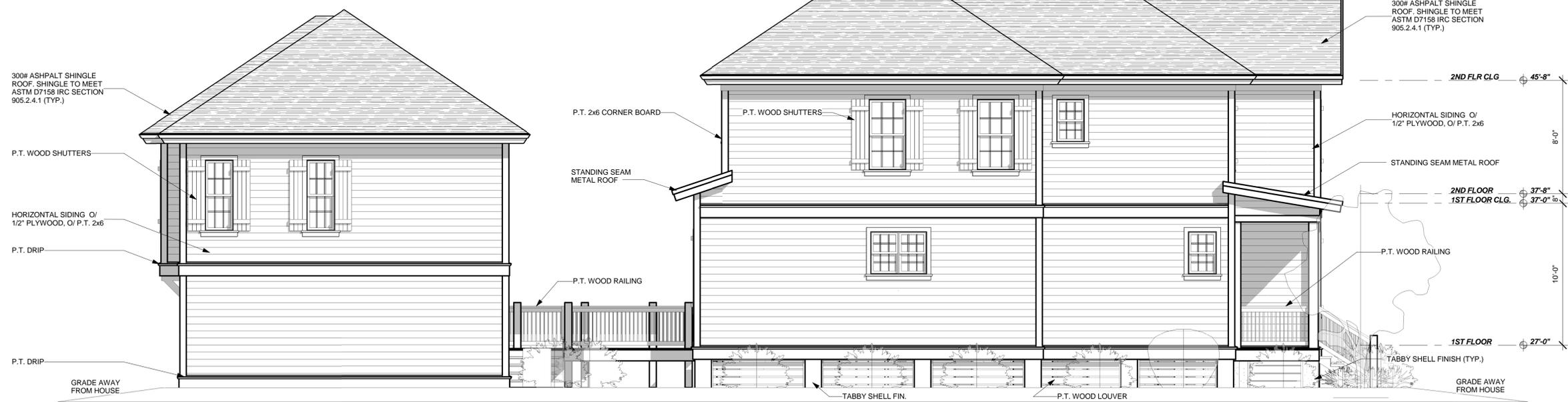
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1 HOUSE REAR ELEVATION
 1/4" = 1'-0"



3 REAR PERSPECTIVE



2 LEFT ELEVATION
 1/4" = 1'-0"

DAGMARA SAKOWICZ

LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

REAR & LEFT ELEVATIONS

Project#	
Date	5-6-16
Drawn By	Author
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A.6
 Scale 1/4" = 1'-0"

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① GARAGE FRONT ELEVATION
 1/4" = 1'-0"



③ GARAGE REAR PERSPECTIVE



② REAR ELEVATION
 1/4" = 1'-0"

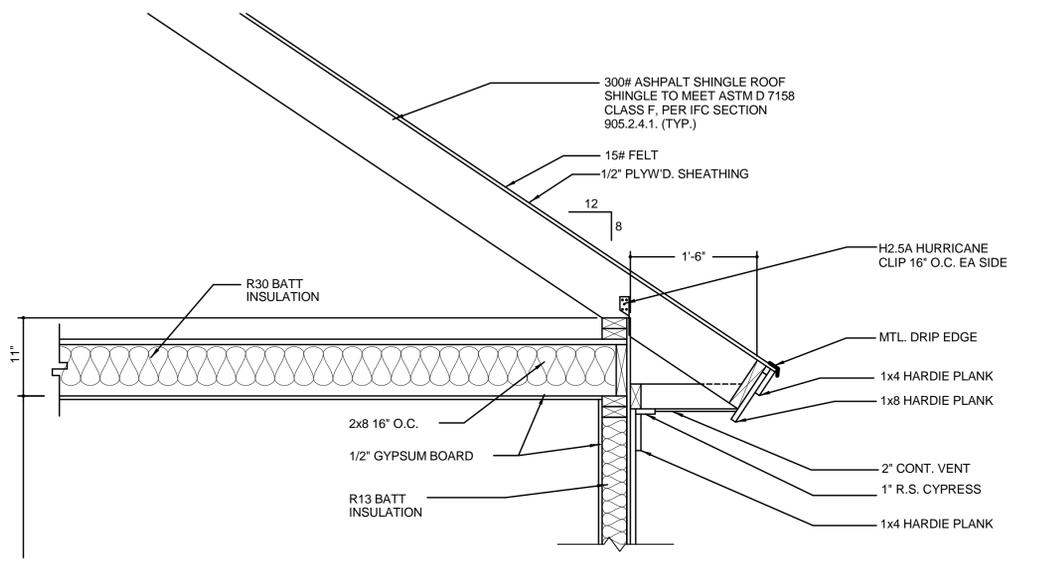
DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
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FRONT & REAR GARAGE ELEV.

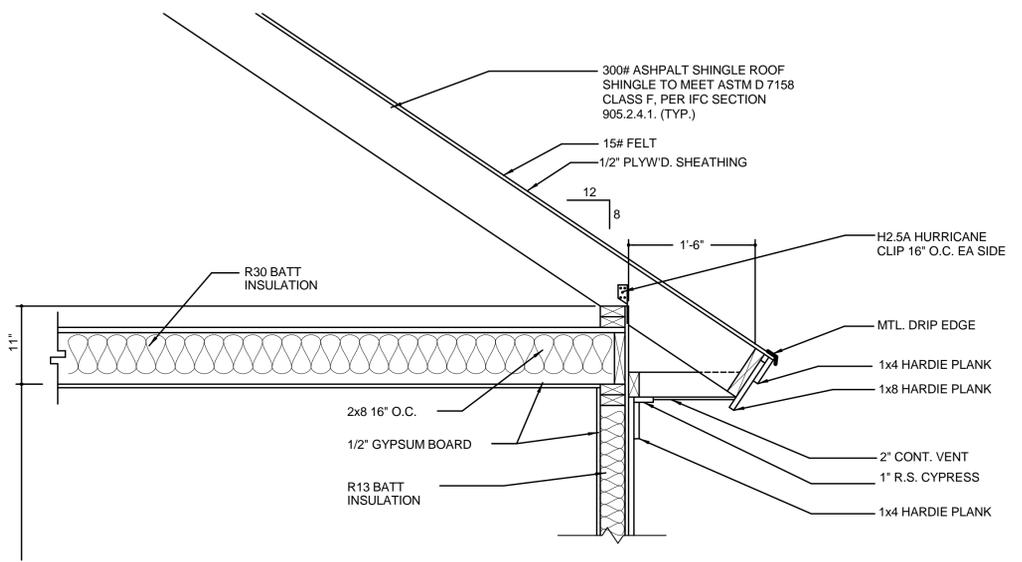
Project#
 Date 5-6-16
 Drawn By Author
 Checked By Checker

A.7
 Scale 1/4" = 1'-0"

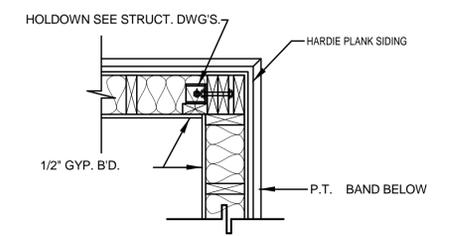
THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD BUILDING CODE, THE STANDARD MECHANICAL CODE, AND THE STANDARD PLUMBING CODE OF THE SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL AND THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND ALL OTHER APPLICABLE BUILDING CODES. THE CONTRACTOR IS TO OBTAIN ALL BUILDING PERMITS REQUIRED.



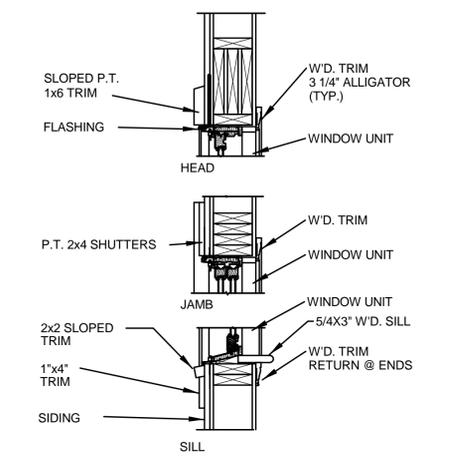
1 GARAGE WALL SECTION
 1" = 1'-0"



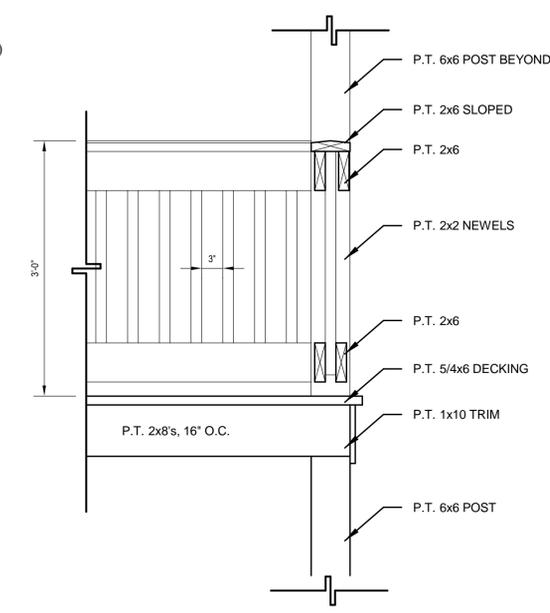
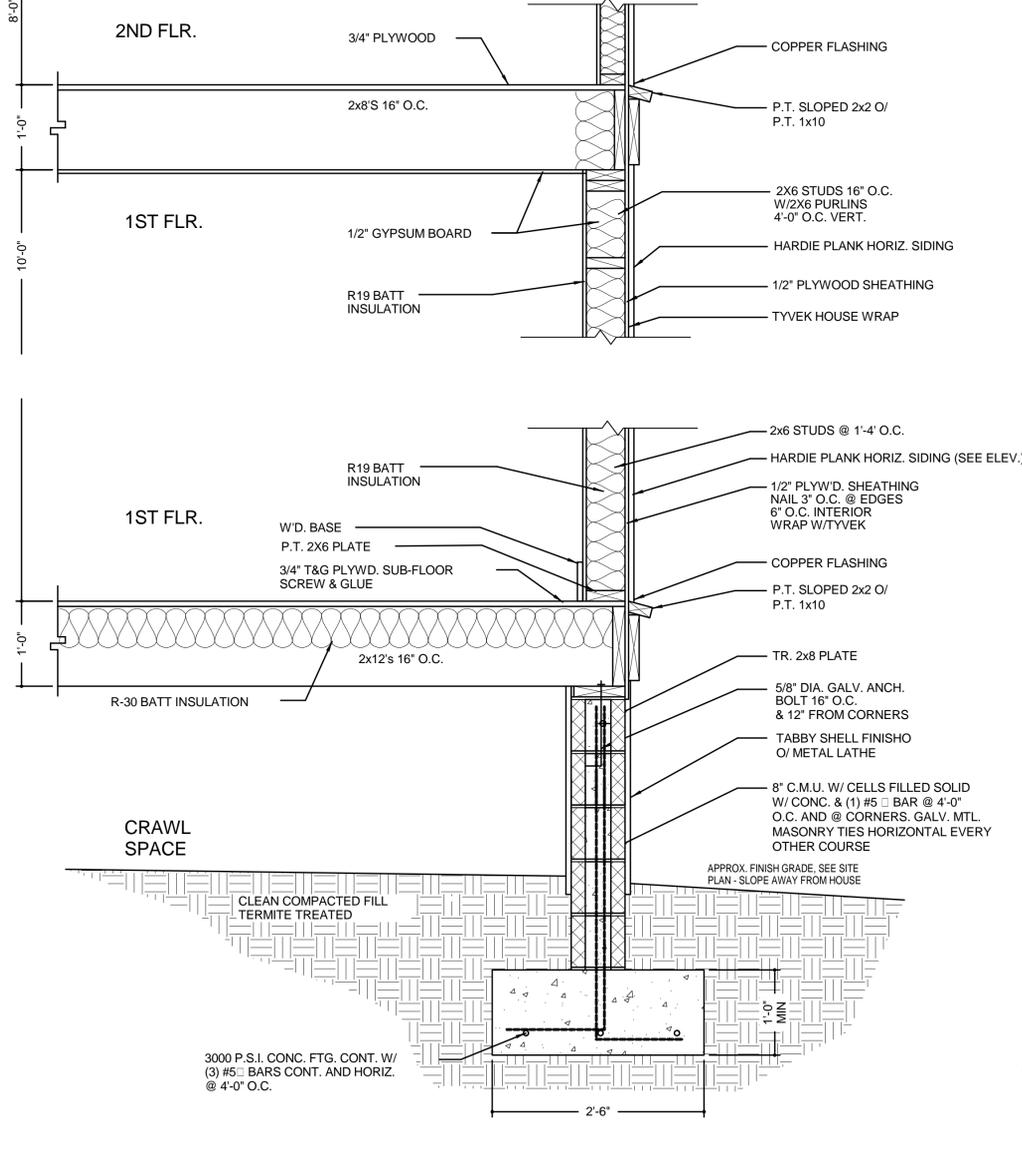
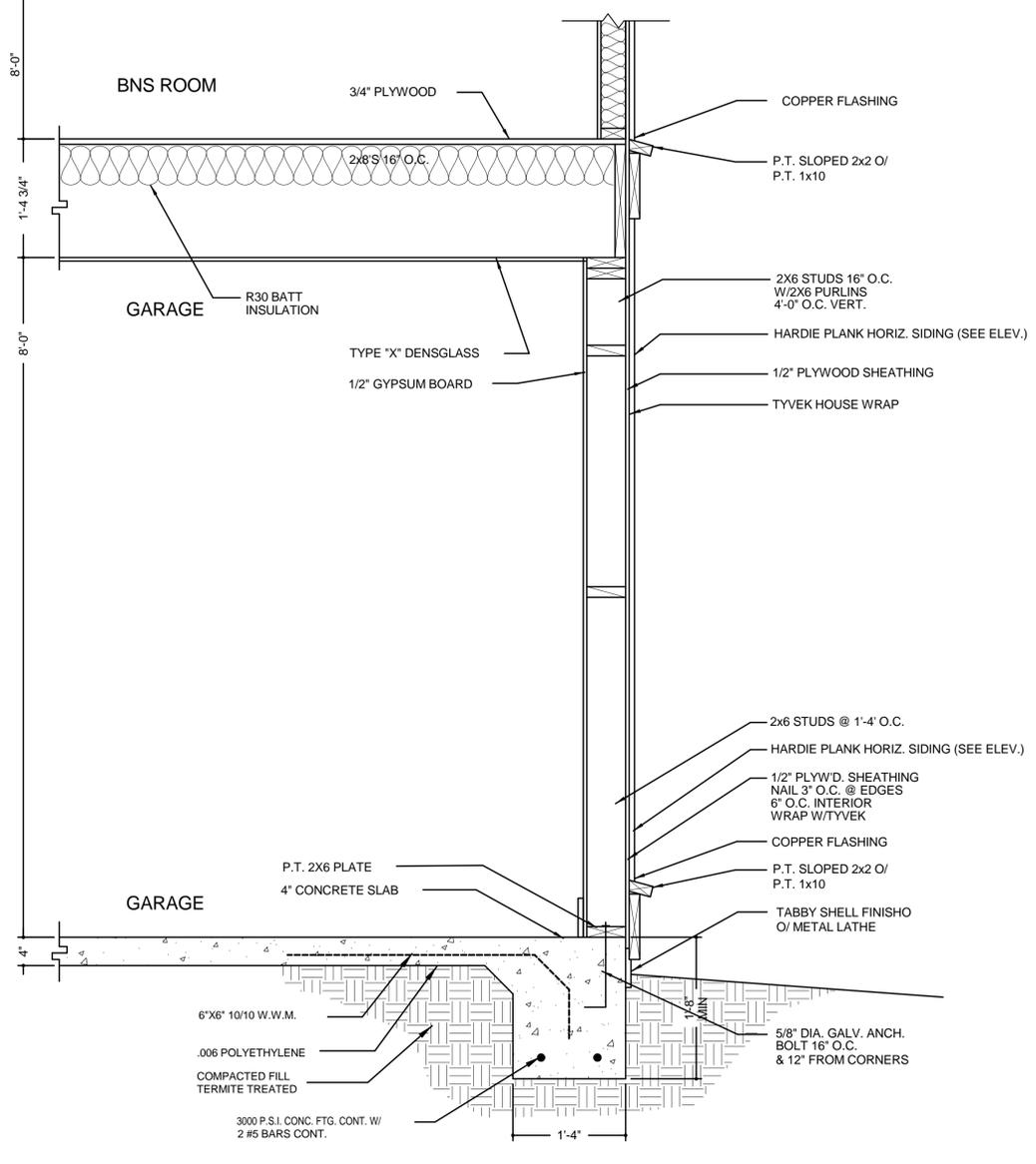
2 2 STORY WALL SECTION
 1" = 1'-0"



3 CORNER DETAIL
 1" = 1'-0"



4 WINDOW TRIM
 1" = 1'-0"



5 GUARDRAIL DETAIL
 1" = 1'-0"

DAGMARA SAKOWICZ

LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

WALL SECTION & DETAILS

Project#
 Date 5-6-16
 Drawn By Author
 Checked By Checker

A.8
 Scale 1" = 1'-0"

PATHFINDERS DESIGN GROUP
 SEAN LEWIS
 CAD DESIGNER
 10 E. 10TH AVE. SUITE #8
 HILTON HEAD ISLAND, SC 29928
 842-361-7777
 sean@pathfindersdesign.com

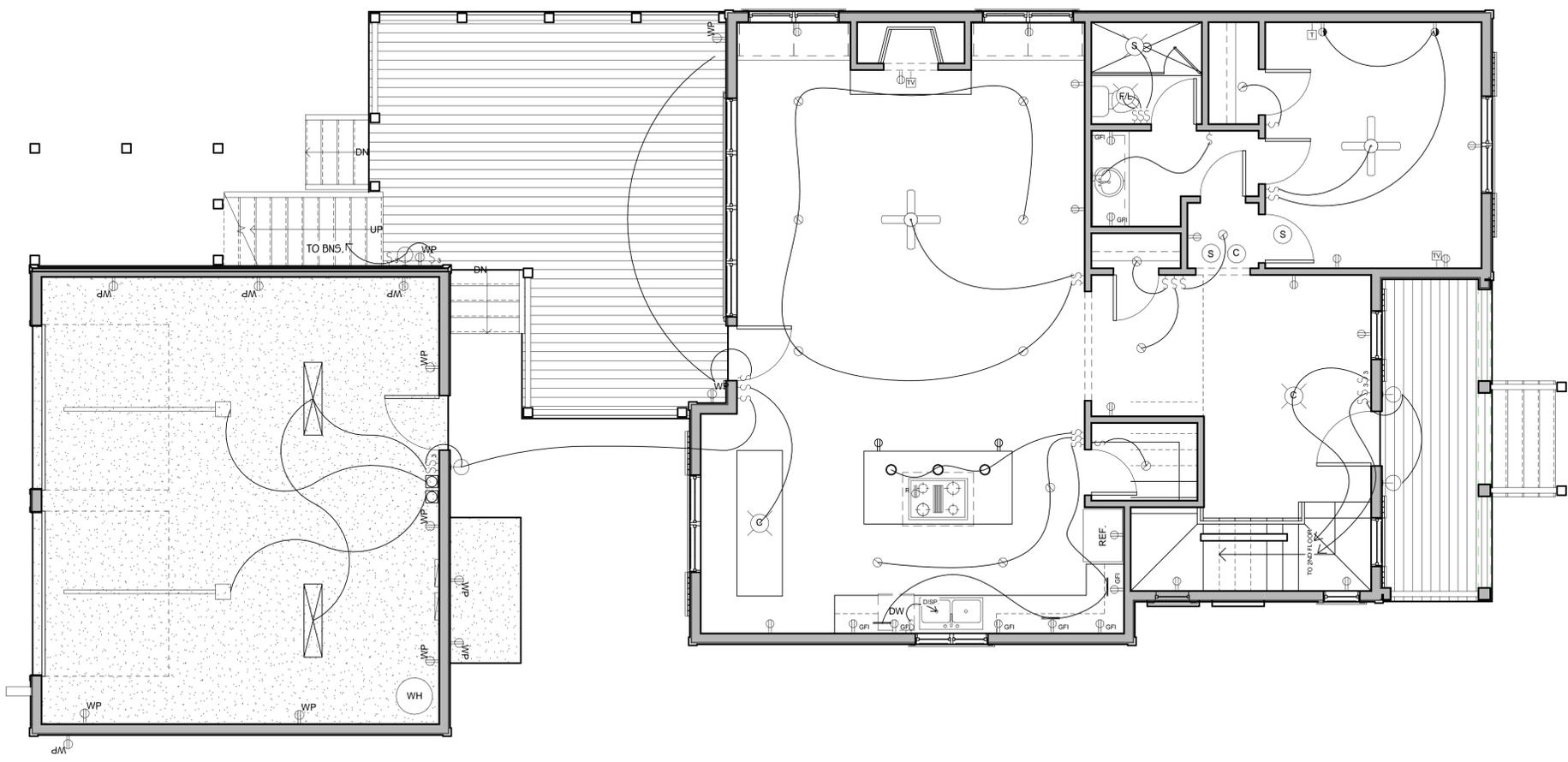
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NOTE:
 - ALL OUTLETS IN GARAGE SHALL BE ABOVE THE BFE PER IRC SECTION 322.1.6.
 - ALL OUTLETS IN BEDROOMS TO BE ARC-FAULT PROTECTED
 - ALL OUTLETS SHALL BE TAMPER RESISTENT PER IRC SECTION 4002.1.4.
 - ALL 120 VOLT CIRCUITS NOT REQ. TO BE GFCI PROTECTED SHALL BE ARC-FAULT PROTECTED PER IRC SECT. 3902.1.2.
 - ALL HVAC DUCTWORK SHALL BE INSTALLED PER IECC SECTION 403.2.
 - ACCESS TO ANY MECHANICAL EQUIP. LOCATED IN ATTIC MUST MEET IRC SECTIONS 1305.1.3 AND 1305.1.3.1.
 - THE LP TANK SHALL BE INSTALLED IN ACCORDANCE W/ NFPA 58 AND FEMA DOCUMENT 346.
 - ALL GROUNDING POINTS AVAILABLE SHALL BE UTILIZED PER IRC SECTION 350B.1
 - 50% OF ALL PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH-EFFICIENCY LAMPS PER IRC SECTION 404.1.

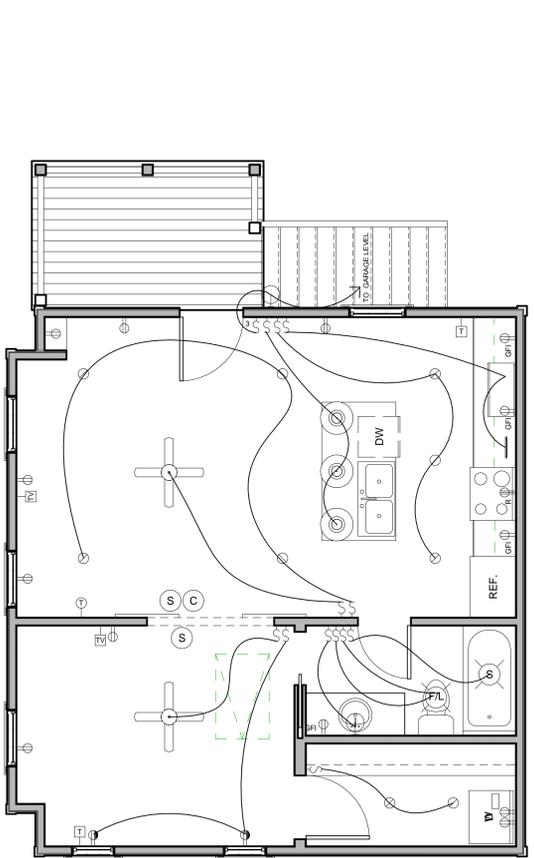
THE THERMOSTAT SHALL BE A PROGRAMMABLE TYPE PER IECC SECT. 403.1

LP GAS LINES SHALL BE PRESSURE TESTED PER IFGC SECT. 406 AND WITNESSED BY BUILDING INSPECTOR

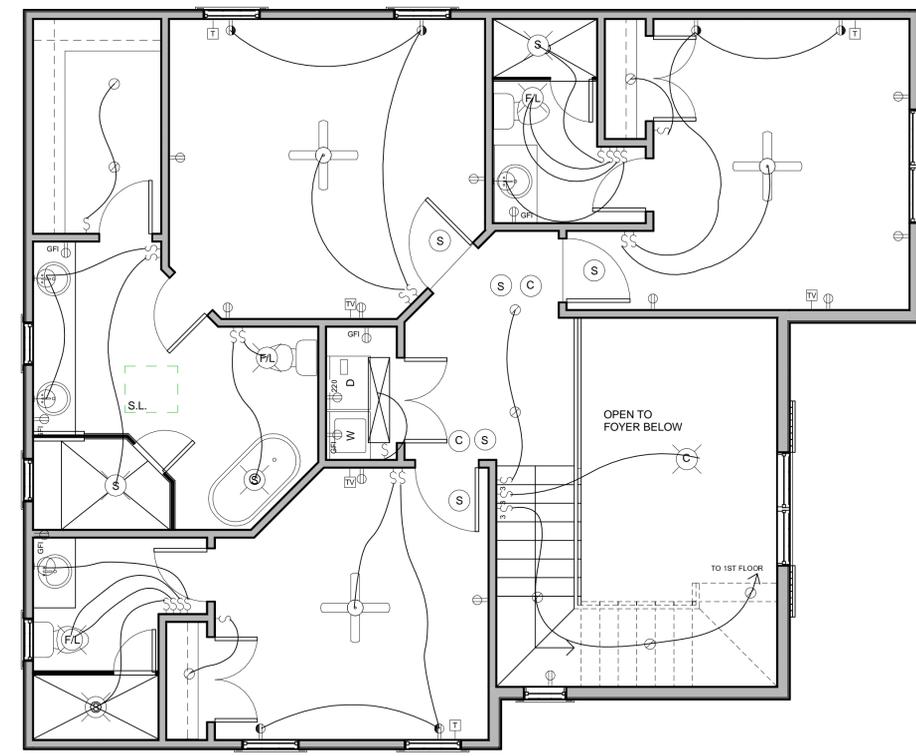
LP GAS LINES SHALL BE BONDED PER IFGC SECTION 310



1 1ST FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



2 2ND FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



DAGMARA SAKOWICZ
 LOT 18, #34 TABBY SHELL
 BLUFFTON SC, 29910

ELECTRICAL PLANS

Project#	
Date	5-6-16
Drawn By	Author
Checked By	Checker

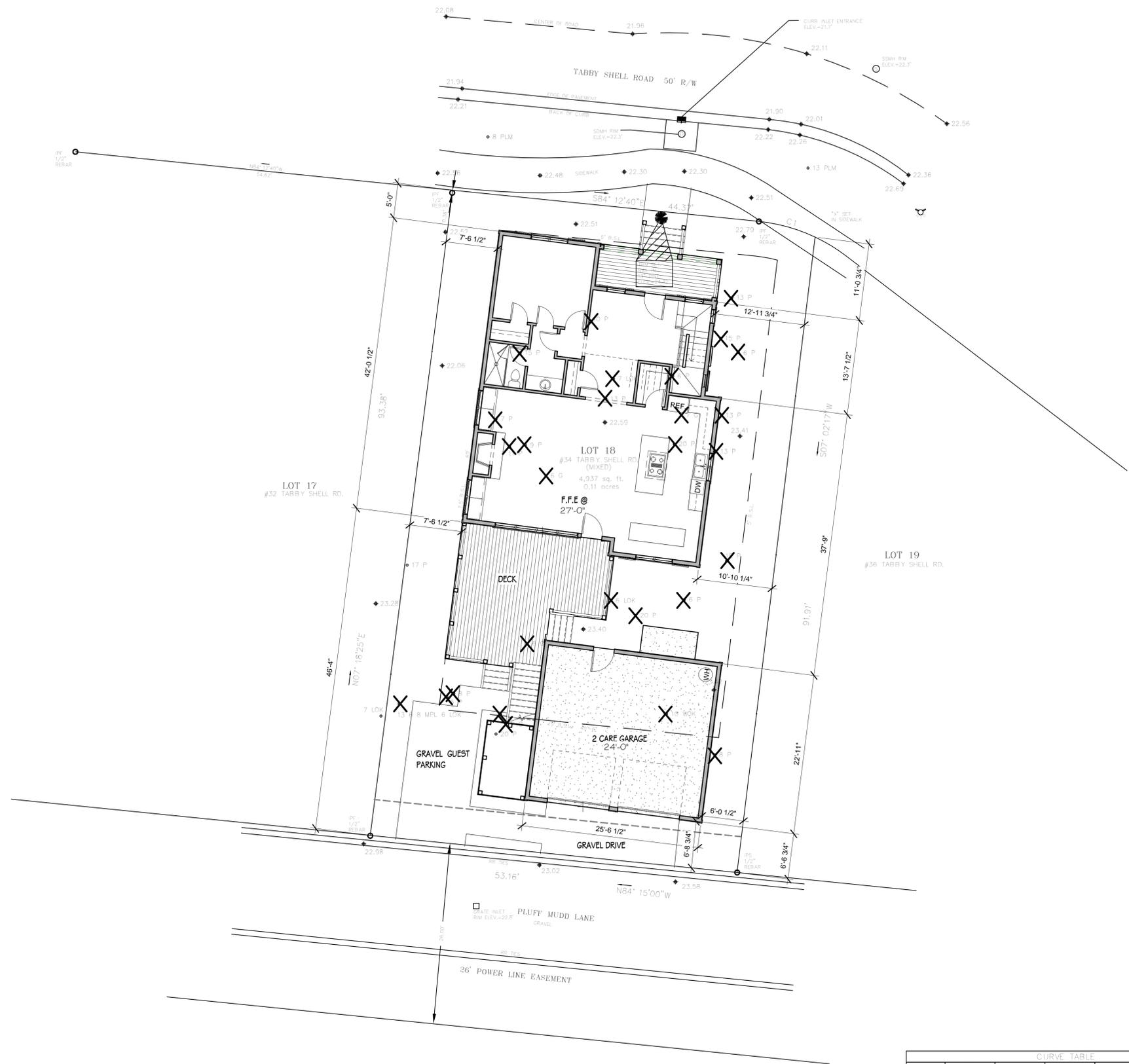
E.1
 Scale 1/4" = 1'-0"



LOCATION MAP NOT TO SCALE

- LEGEND**
- ◻ CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - TELEPHONE PEDESTAL/COMMUNICATOR
 - SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - ⊠ ELECTRIC BOX
 - ⊕ SPOT ELEVATION SHOTS
 - ~ CONTOUR LINES
 - ⊞ XFMR - TRANSFORMER
 - ⊞ WATER LATERAL
 - ⊞ WM - WATER METER
 - ⊞ ICV - IRRIGATION CONTROL VALVE
 - ⊞ FIRE HYDRANT
 - ⊞ GRATE INLET
 - ⊞ POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⊞ GUY LINE
 - ⊞ LIGHT POLE
 - STORM DRAIN MANHOLE
 - FIBEROPTICS MANHOLE

- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HL - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



Sheet List

Sheet #	Sheet Name
S.1	SITE PLAN
A.1	FOUNDATION PLAN
A.2	FLOOR PLAN
A.3	2ND FLOOR PLAN & BNS RM
A.4	ROOF PLAN
A.5	FRONT & RIGHT ELEVATIONS
A.6	REAR & LEFT ELEVATIONS
A.7	FRONT & REAR GARAGE ELEV.
A.8	WALL SECTION & DETAILS
E.1	ELECTRICAL PLANS

PROJECT NARRATIVE:

THIS IS A NEW TWO STORY SINGLE FAMILY RESIDENCE ON A VACANT LOT WITH A DETACHED GARAGE WITH AN APARTMENT ABOVE.

IMPERVIOUS/PERVIOUS

1ST FLOOR HEATED:	1,231 sqft
GARAGE:	585 sqft
COVERED ENTRY:	100 sqft
REAR DECK:	372 sqft
TOTAL IMPERVIOUS:	2,288 sqft
(Walk and driveway to be gravel)	
TOTAL LOT:	4,937 sqft
IMPERVIOUS sqft	2,288 sqft
PERVIOUS sqft	2,649 sqft (46.34%)

Project Name
DAGMARA SAKOWICZ
 LOT 18, #34, TABBY SHELL
 BLUFFTON SC, 29910

SITE PLAN

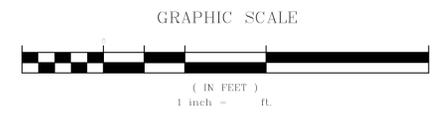
Project # _____
 Date **5-6-16**
 Drawn by **SAL**
 Checked by **SAL**

S.1

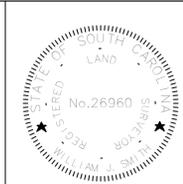
Scale 1/8" = 1'-0"

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	8.47'	25.00'	8.43'	N74° 30' 02" W	19° 25' 17"

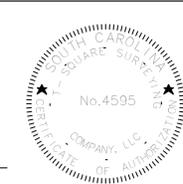


T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@hargray.com
 Phone 843-757-2650 Fax 843-757-5756



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

DAGMARA SAKOWICZ

A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST 614., MAP 37, PARCEL 358

Notes:

- According To FEMA Flood Insurance Rate Map # 450025 0115D This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A FL NGVD29
- This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):
 PLAT BOOK 132 AT PAGE 133

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 22, 2014



PLAN REVIEW COMMENTS FOR COFA-04-16-009606

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 04/19/2016
Plan Status: Active **Plan Address:** 34 Tabby Shell Rd
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R611 039 000 1198 0000

Plan Description: A request by Sean Lewis, on behalf of Dagmara Sakowicz, for review of a Certificate of Appropriateness to allow the construction of a new single family residence of approximately 2,333 SF and a detached carriage house of approximately 1,199SF on the property identified as 34 Tabby Shell Road in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the April 25th meeting.

Staff Review (HD)

Submission #: 1 Received: 04/21/2016 Completed: 04/22/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	04/22/2016	Erin Schumacher	Approved with Conditions

Comments:

1. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).
 2. Provide additional information to clarify the finish of the stucco proposed on the CMU piers (tabby, sand-finished, and steel trowel are permitted). (5.15.6.G.1.a.)
 3. Provide additional information to clarify the type of door proposed (wood or metal are permitted). The project analysis notes metal clad. (UDO Section 5.15.6.I.)
 4. Provide additional information to clarify the type of metal roof material proposed (standing seam and 5-V metal crimp are permitted). The project analysis notes metal. (UDO Section 5.15.6.J.6.a.)
 5. The front porch depth is noted at 5'-7". The UDO requires that porch depth be no less than 6'-0" minimum. Increase the depth of the porch to no less than 6'-0". (UDO Section 5.15.6.E.5.a.)
 6. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, bracket detail, a section through the eave, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include at least one street tree and foundation plantings. (Applications Manual)
 7. As the project moves toward Final submittal, a letter of approval from the Tabby Roads HARB is required. (Applications Manual)
- Recommendation:
1. Consider adding additional fenestration or architectural details to the right and rear elevation as there are some areas that lack interruptions or variety that create interest. As well, consider adjusting the window/expression line trim on the left elevation as there appears to be a conflict in the placement. (UDO Section 5.15.5.F.3.a. and Section 5.15.6.A.)

HPRC Review	04/21/2016	Erin Schumacher	Approved with Conditions
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Comments:

1. On the right side elevation the pair of transom windows flanking the fireplace, are horizontal, rather than vertical in nature. Per the UDO, windows may be rectangular or square and must be vertically oriented. Revise windows to a permitted configuration. (UDO Section 5.15.6.I.1.b. and Section 5.15.6.I.3.a)
2. While shutters are not required, when they are proposed they must be applied in a consistent manner. Add shutters to the three windows above the front porch. (UDO Section 5.15.6.A. and Section 5.15.5.F.4.c.)
3. The first floor finish height must be 3 feet above the average adjacent sidewalk grade. Provide elevation of adjacent sidewalk grade to confirm that the finished floor is 36" above grade. (UDO Section 5.15.5.F.1.c.)
4. Permitted door configurations include casement and french. Door #13, in the great room, calls for a sliding glass door which is not permitted. Convert to french doors or another permitted configuration. (UDO Section 5.15.6.I. 1.3.c.)
5. Rooflines shall be simple and correspond to the major massing of the building; roof forms that overwhelm the mass of the primary building form and complicated rooflines are to be avoided. As such, the gable roof on the rear elevations at the garage, seems out of place. Considers making it a hip roof. It exposes a large amount of siding, in the gable condition and is lacking in detail. (UDO Section 5.15.5.F.2.b.)

Addressing Review	04/22/2016	Theresa Thorsen	Approved
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Beaufort Jasper Water and Sewer Review	04/21/2016	Dick Deuel	Approved
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Comments:

Water and sewer services are available to the lot.

Stormwater Review	04/22/2016	William Baugher	Approved
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Comments:

1. At a minimum sediment and erosion control including silt fence and construction entrance protection will need to be installed according to the development plan for Tabby Roads.

Transportation Department Review - HD	04/22/2016	Pat Rooney	Approved
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Comments:

No Comments by Reviewer.

Plan Review Case Notes: