

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	June 1, 2016
<b>PROJECT:</b>	17 Lawrence Street – New Construction (COFA-3-16-9567)
<b>APPLICANT:</b>	Joe Hall
<b>PROJECT MANAGER:</b>	Erin Schumacher, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Joe Hall on behalf of Meghan and Charles Young, requests an approval from the Historic Preservation Commission for the following application:

1. **COFA-3-16-9567.** A Certificate of Appropriateness-HD to allow the construction of a Carriage House of approximately 1,200 SF and an addition of approximately 356 SF to the front porch to wrap around the east side of the building located on the currently developed lot located at 17 Lawrence Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD.

**INTRODUCTION:** The proposed building, of approximately 1,200 SF, has attributes of the Carriage House Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district and meets the applicable lot standards.

The garage is a two story, structure with second story roof dormers and a side entrance under an open bay. The proposed building reflects the vernacular characteristics of Bluffton by integrating a variety of typical architectural forms and features such as the use of horizontal lap siding, dormers, and corner board trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 4, 2016 meeting and comments were provided to the Applicant (See attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is to be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced.”

The Applicant proposes to construct an accessory Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the adjacent historic structures in both scale and architectural form, so the addition to the site and the neighborhood’s architectural diorama will both protect and enhance the neighboring historic structures.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in section 2 are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the proposed structure falls within the category of Carriage House Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. and meets the lot standards of that district.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the design of the proposed structure will be in conformance with the other applicable provisions provided in Article 5:
  - 1) Per Section 5.15.6.H.1.a. Columns, Arches, Piers, Railings, Balustrades. The UDO states that columns and porch posts shall be spaced no farther apart than they are tall. As proposed, the column spacing at the open bay of the carriage house meets this requirement with the exception of the spacing along the east/west elevations. Here the columns are approximately 8'-0" tall, but the spacing is approximately 10'-0" apart. This must be revised to meet the requirements of the UDO.
  - 2) Per Section 5.15.6.P. and 5.15.6.A. Cornice, Soffit, and Frieze and Architectural Standards. The UDO states that the UDO Administrator, the HPC in this instance, shall have the authority to approve substitute materials for those listed as options under the Architectural Standards. Further the UDO states that the standards are to encourage construction, which is straightforward and functional and draws its ornament and variety from the traditional assembly of genuine materials. The Applicant has proposed the use of PVC at the cornice, soffit, frieze. Staff requests a determination from the HPC on the appropriateness of the use of PVC as an allowable substitute for those permitted.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

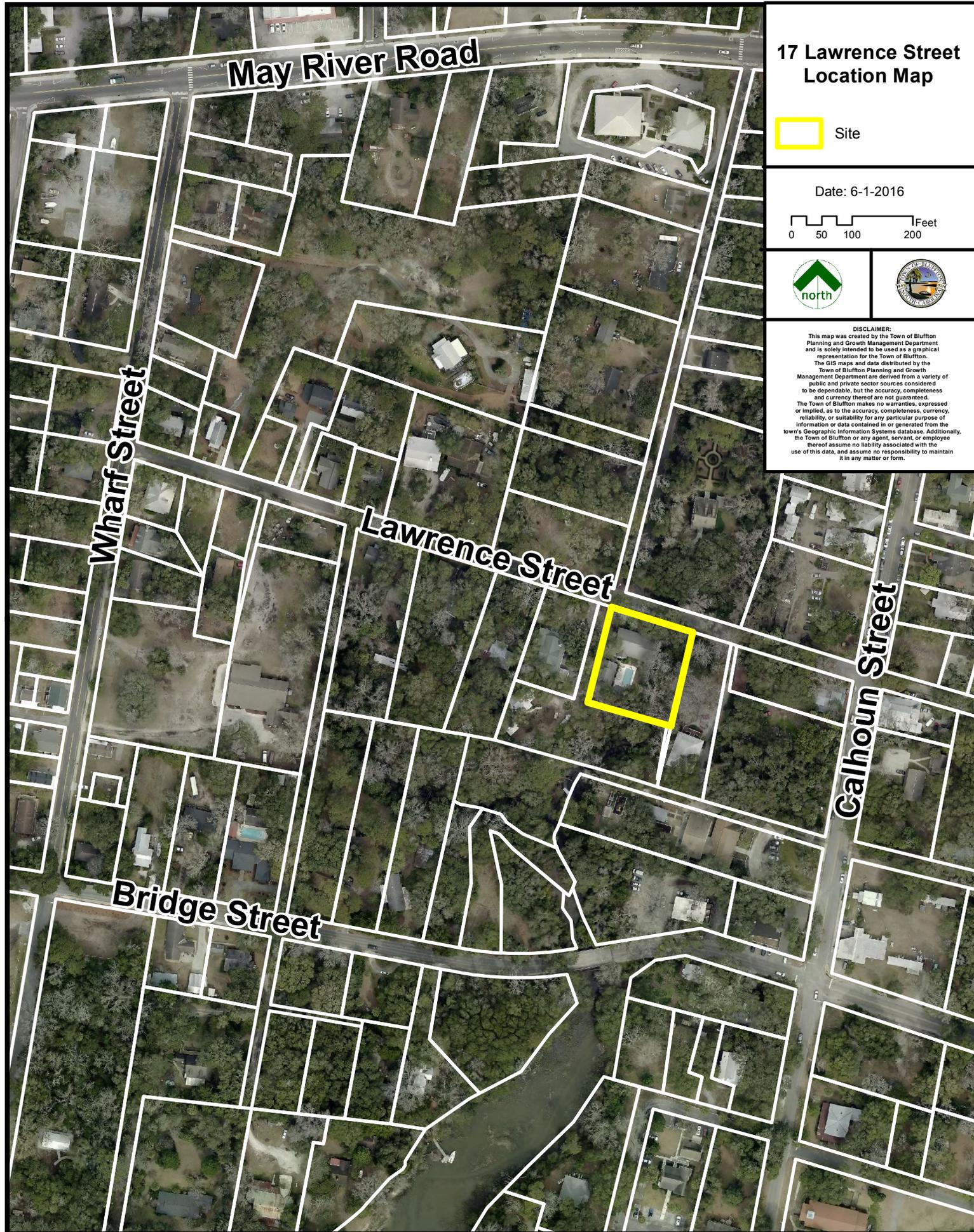
*Finding.* The application has been reviewed by Town Staff and has been determined to be complete.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.H. of the UDO, the column spacing must be modified to meet the dimensional requirements.
2. Per Sections 5.15.6.A. and 5.15.6.P. of the UDO, the use of PVC as an allowable substitute for those materials listed as permitted in the UDO must be approved by the HPC.

**ATTACHMENTS:**

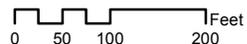
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan and Elevations
5. HPRC Comments



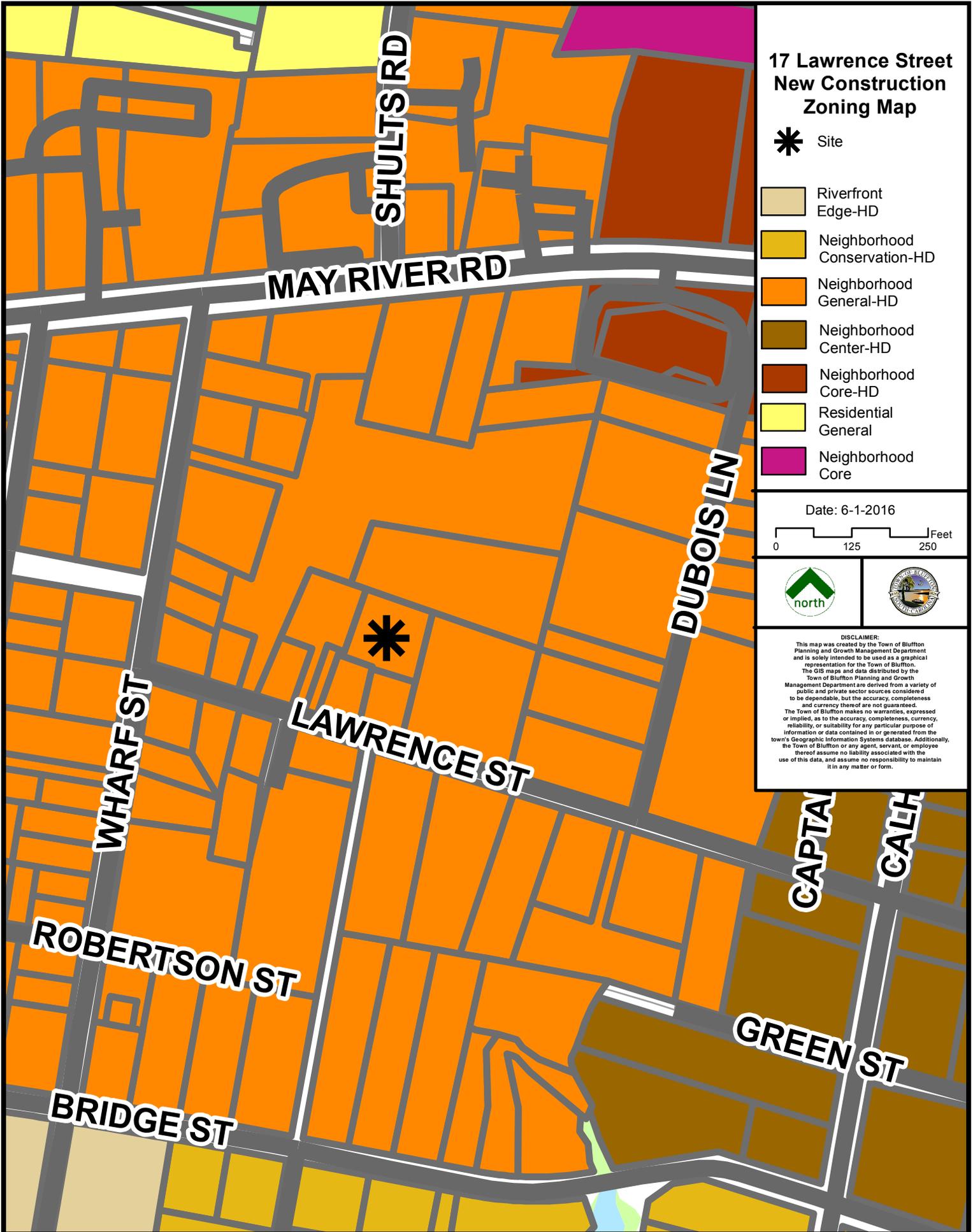
### 17 Lawrence Street Location Map



Date: 6-1-2016



**DISCLAIMER:**  
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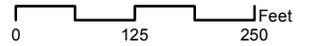


### 17 Lawrence Street New Construction Zoning Map

**\*** Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 6-1-2016



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## PROJECT NARRATIVE •17 Lawrence St

This property is located in a four lot subdivision on Lawrence Street in historic Bluffton. Number 17 is located in the north east quadrant of the subdivision. It is a "second row house". It enjoys a privacy away from the street.

The additions to the house includes the extension of the front porch on the south side of the house to the east side which accesses a private garden. The scope of work also includes the addition of a "carriage house".

The porch will be an extension of the existing porch using the same details, materials, and color as the Original.

The "carriage house" is designed to use the same architectural scale, details, material and color as the existing house.

The two buildings will be accessible by a pervious surfaced pathways.

An existing fence will be re-configured and installed to provide a containment for both the children and the pets of the family.

The intention of both additions is to have the house appear as though it was always there.

The existing landscape will be extended to contribute to the Continuity of the property.

The foundations of both the porch and the carriage house have been designed for the least impact on the roof system of the 40 " Live Oak.

Pervious surfaces and pier footings are used wherever possible to allow the tree to breath.

The additions are intended to increased the enjoyment and value of the property without intrusion to the landscape in the subdivision.



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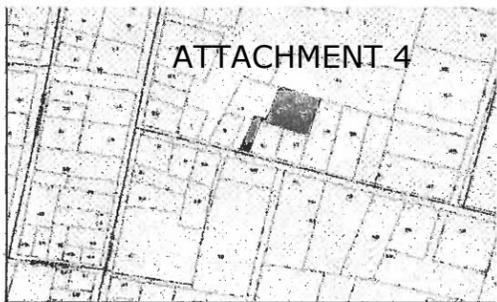
**Additions and Renovations to  
the Residence at  
17 Lawrence Street  
Bluffton, South Carolina**

**Prepared for  
Meghan and Chris Young**

**By Joseph K. Hall, Architect  
JKH Architect LLC**

**20-602 Simmonsville Road  
Bluffton, SC**

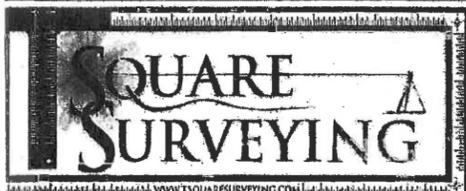
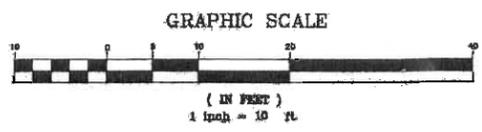
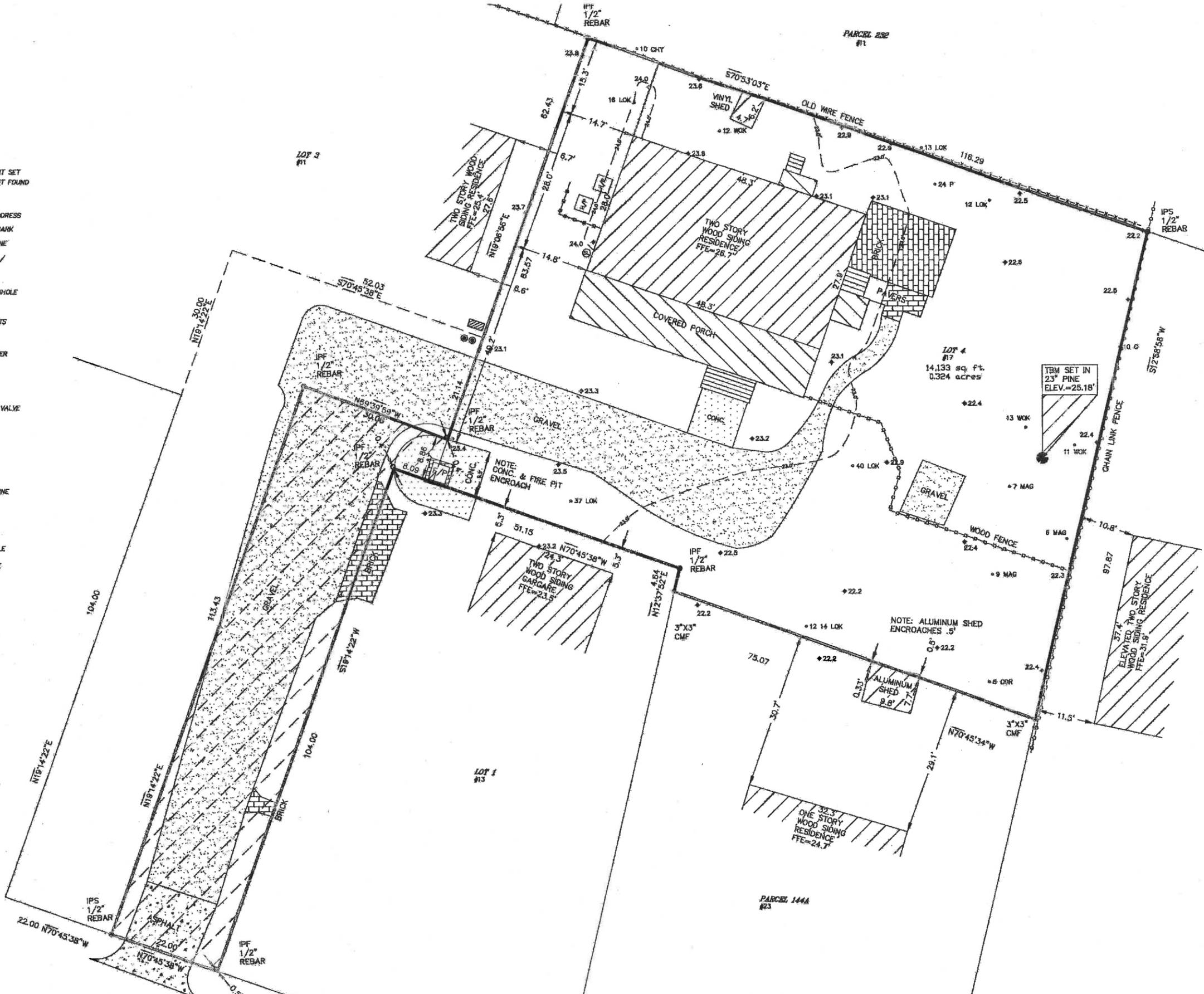
**Contract / Construction / Permit  
April 18, 2016**



LOCATION MAP NOT TO SCALE

- LEGEND**
- CMS - CONCRETE MONUMENT SET
  - ◻ CMF - CONCRETE MONUMENT FOUND
  - IPS - IRON PIN SET
  - ◊ IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - TBM - TEMPORARY BENCH MARK
  - BSL - BUILDING SETBACK LINE
  - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
  - ⊕ - SEWER LATERAL
  - ⊖ - SANITARY SEWER MANHOLE
  - ⊗ - ELECTRIC BOX
  - ⊕ - SPOT ELEVATION SHOTS
  - - CONTOUR LINES
  - ⊞ - XFORMER - TRANSFORMER
  - ⊞ - WATER LATERAL
  - ⊞ - WATER METER
  - ⊞ - IRRIGATION CONTROL VALVE
  - ⊞ - FIRE HYDRANT
  - ⊞ - GRATE INLET
  - ⊞ - POWER POLE
  - ⊞ - O.H.P.L. - OVER HEAD POWER LINE
  - ⊞ - GUY LINE
  - ⊞ - LIGHT POLE
  - ⊞ - STORM DRAIN MANHOLE
  - ⊞ - FIBEROPTICS MANHOLE

- TREE LEGEND**
- WHIOK - WHITE OAK
  - LAOK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLY - HOLLY
  - CDR - CEDAR
  - RDB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY



**T SQUARE SURVEYING**  
 PROFESSIONAL LAND SURVEYORS  
 P.O. Drawer 330  
 139 Burnt Church Road  
 Bluffton, SC, 29910  
 tsquare@bny.com  
 Phone 843-757-2630 Fax 843-757-5738



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF  
**MERGHAN YOUNG & CHRIS YOUNG**  
 AN AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF LOT 4 LAWRENCE STREET, A PORTION OF THE HALL FAMILY TRUST SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.  
 DIST. 610, MAP 39A, PARCEL 271

**NOTES**  
 1. According To FEMA Flood Insurance Rate Map # 450251 0001 A This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A 5% MOVIES?  
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.  
 3. This Survey Was Performed Without The Benefit Of A Wetland Delimitation.  
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.  
 Reference Plats:  
 PLAT BOOK 111 AT PAGE 108

DRAWN BY: W.J.S.  
 APPROVE: 2A of 17.  
 PARTY CHIEF: D.M.J.  
 DATE: FEBRUARY 2, 2016

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- 6 Horizontal Section at Second Floor
7. Roof Plan.
8. Elevations at Porch Addition.
9. Elevations at Garage Addition.
10. Vertical Section at Porch & Garage.
11. Existing Details. To be repeated in Additions.
12. Existing Details.  
To be repeated in Additions.
13. Wall Section. At Porch.
14. Wall Section At Garage.
15. Windows & Doors.
16. Plumbing-Mechanical-Electrical  
At first floor.
17. Plumbing-Mechanical-Electrical  
At second floor.

Square footage tabulation.

First floor:

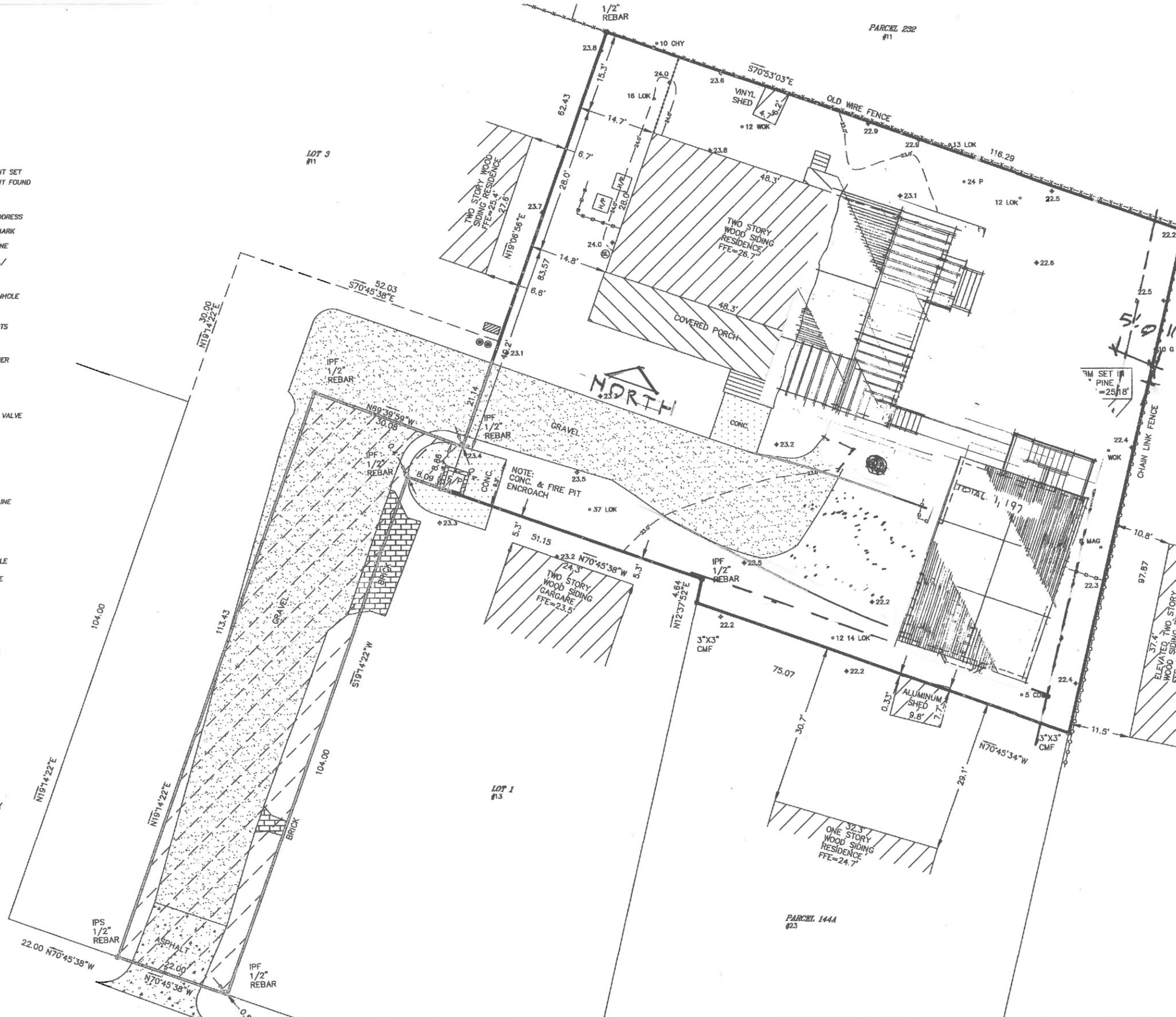
Porch = 46 ft.<sup>2</sup>

Garage = 576 ft.<sup>2</sup>.

Second floor:

Habitable space = 621 ft.<sup>2</sup>

Total Garage Area 1,197 ft.<sup>2</sup>



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REFERENCE PLAT



**T SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS  
P.J. Brewer 330  
139 Burnt Church Road  
Bluffton, S.C. 29910  
tsquare@arrgray.com  
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*W.D.S.*

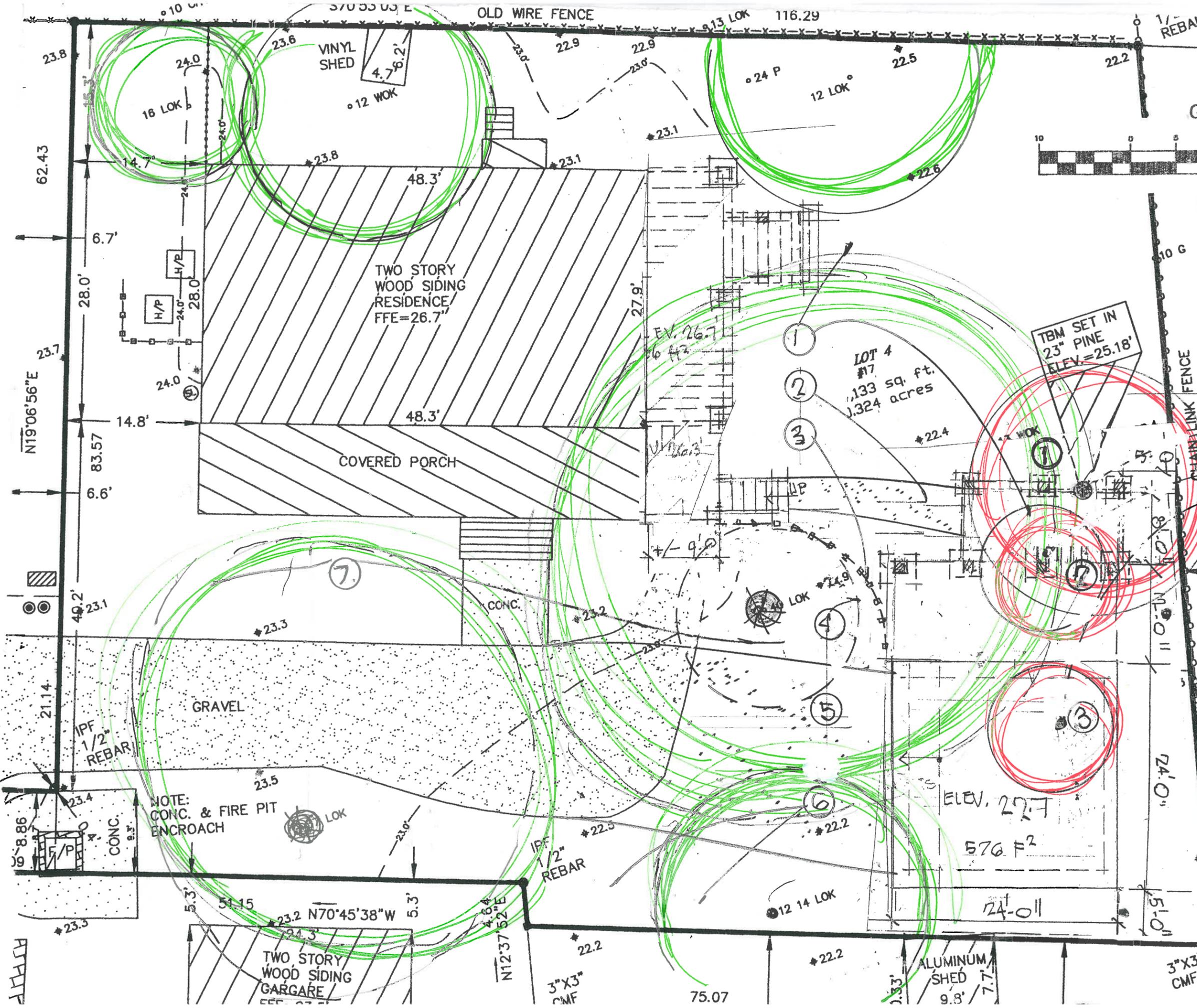


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DIS. 610. MAP 39A. PARCEL 271

**Notes:**  
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Reference Plat(s)  
PLAT BOOK 111 AT PAGE 108

DRAWN BY: W.J.S.  
APPROVED BY:  
PARTY CHIEF:  
2B of 17



GRAPHIC SCALE



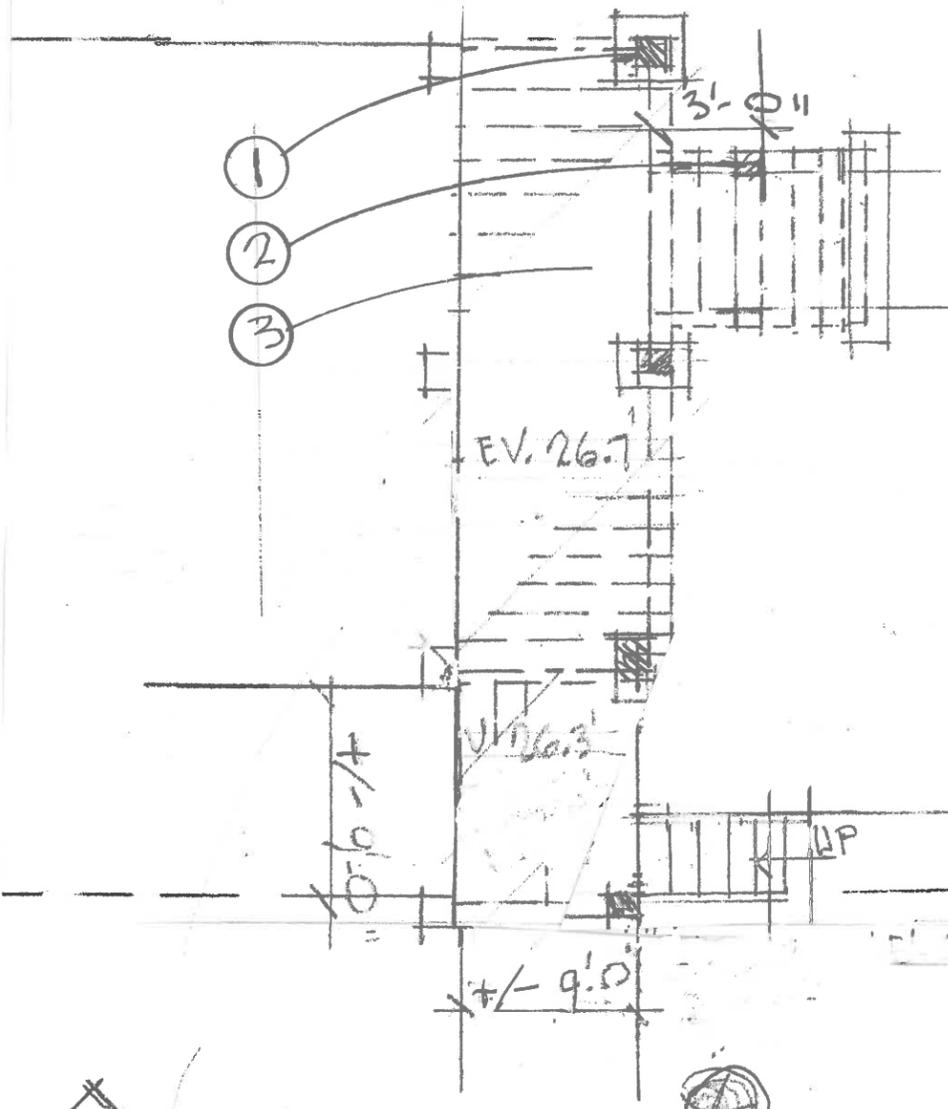
( IN FEET )  
1 inch = 10 ft

TREE REMOVAL

1. 23" Pine.
2. 7" Magnolia
3. 9" Magnolia.

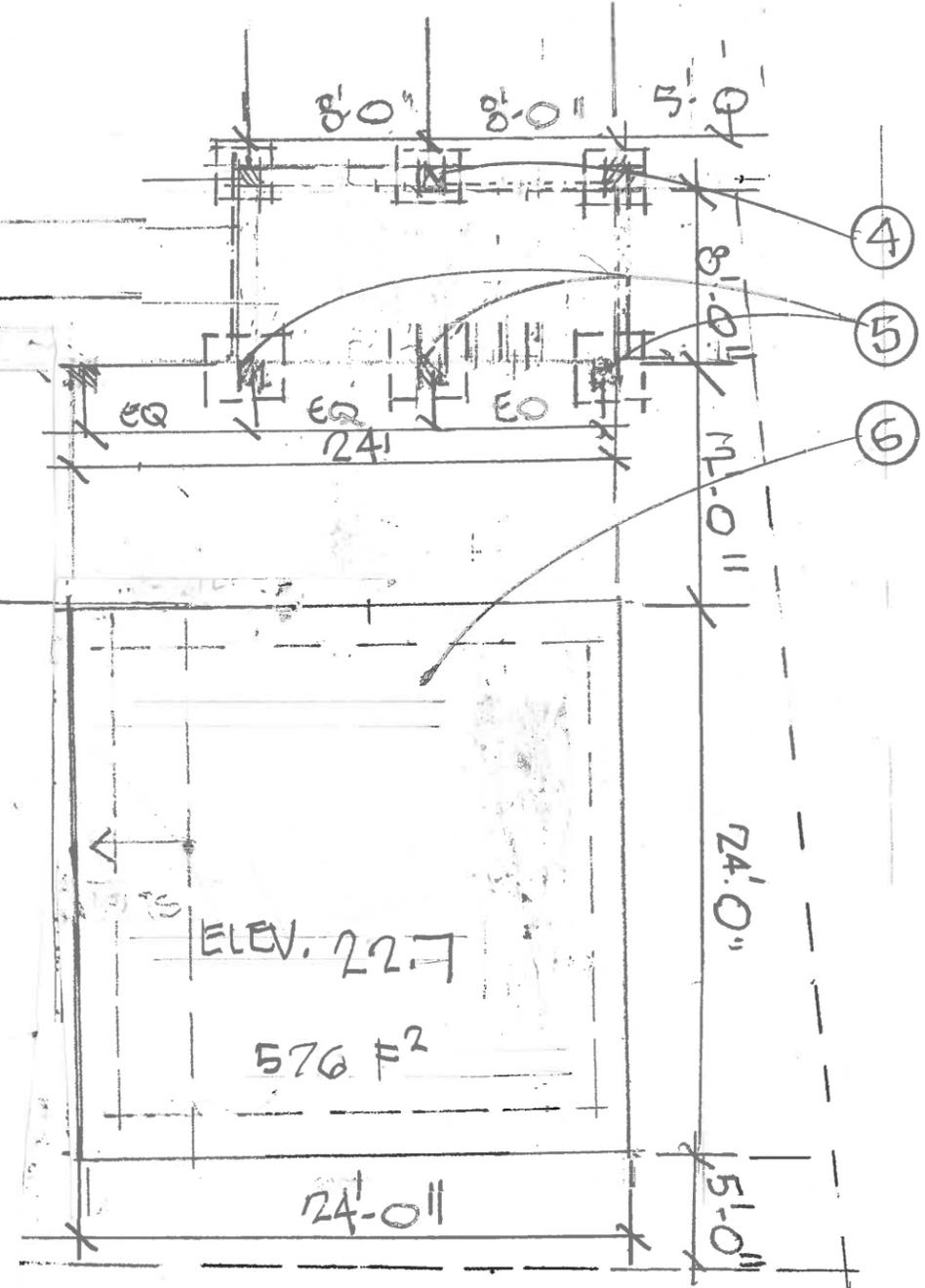
LANDSCAPE

1. Relocate existing concrete paver Terrace.
2. Granite fines walkway with metal edge. Provide ground course to best Practice.
3. Relocate existing fence as shown.
4. Install tree protection prior to the start of construction. Use best Practice.
5. Extend existing granite fines. Extend existing drive to garage slab
6. Re-naturalize the existing area with native. yaupon ground cover.
7. Extend existing foundation planting to the edge of the relocated fencing.

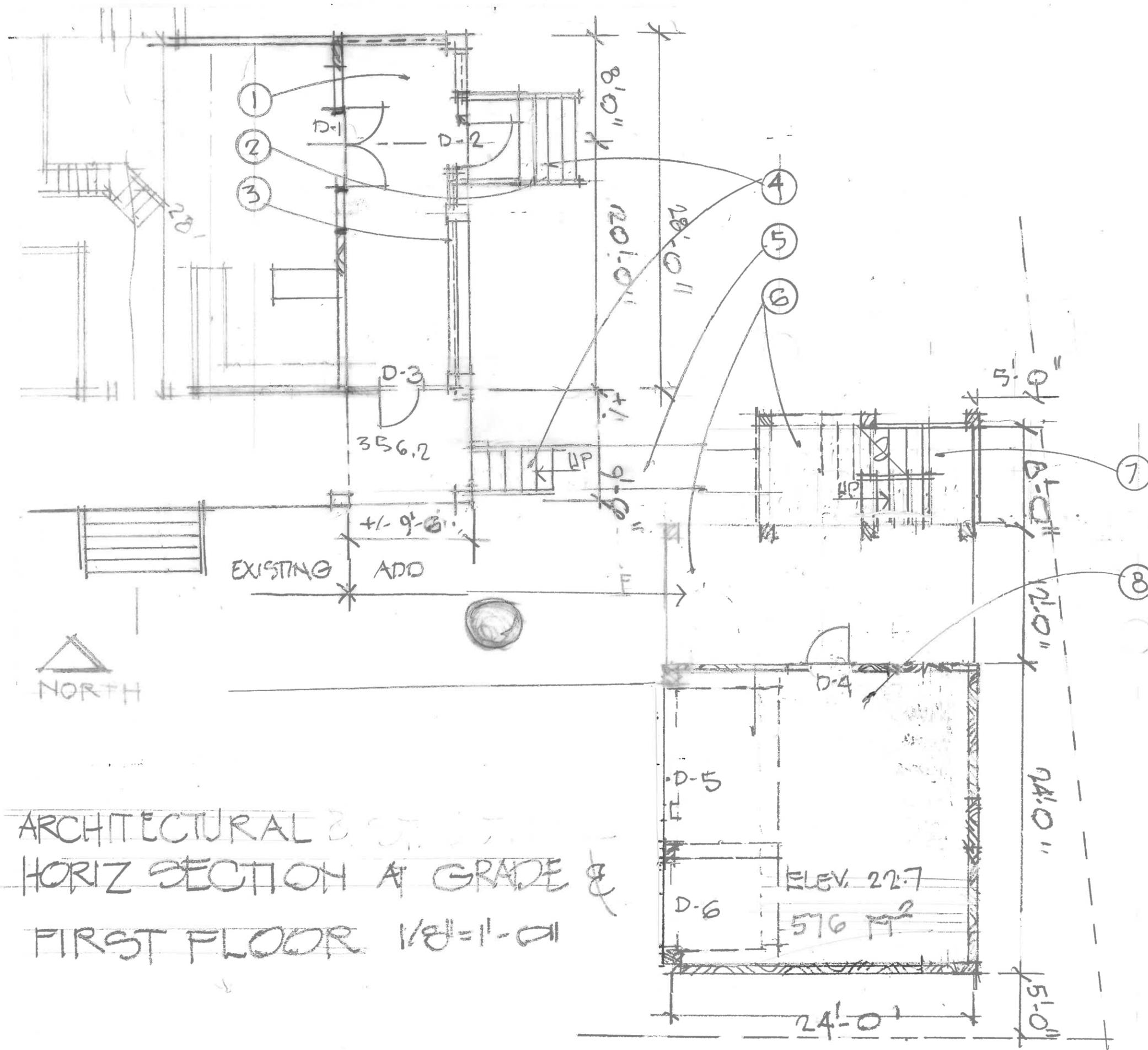


Index to the Numbers

- 1. 8" x 8" CMU piers
- 2. 4" x 4" step supports.
- 3. Porch joists and girder
- 4. 6" x 6" stair Columns.
- 5. 6" x 6" Building Column.
- 6. Steel Troweled Conc. Slab.

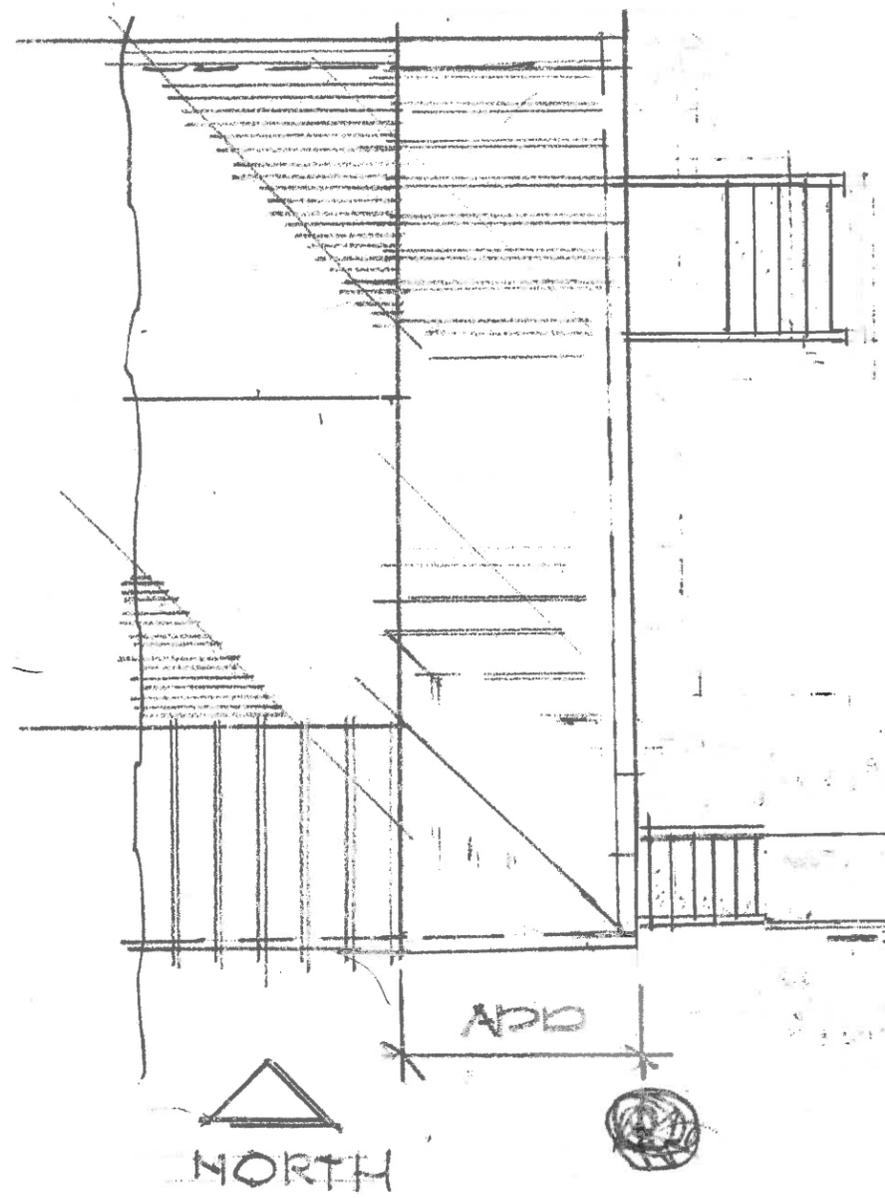


ARCHITECTURAL  
HORIZONTAL SECTION AT  
GRADE 1/8"=1'-0"



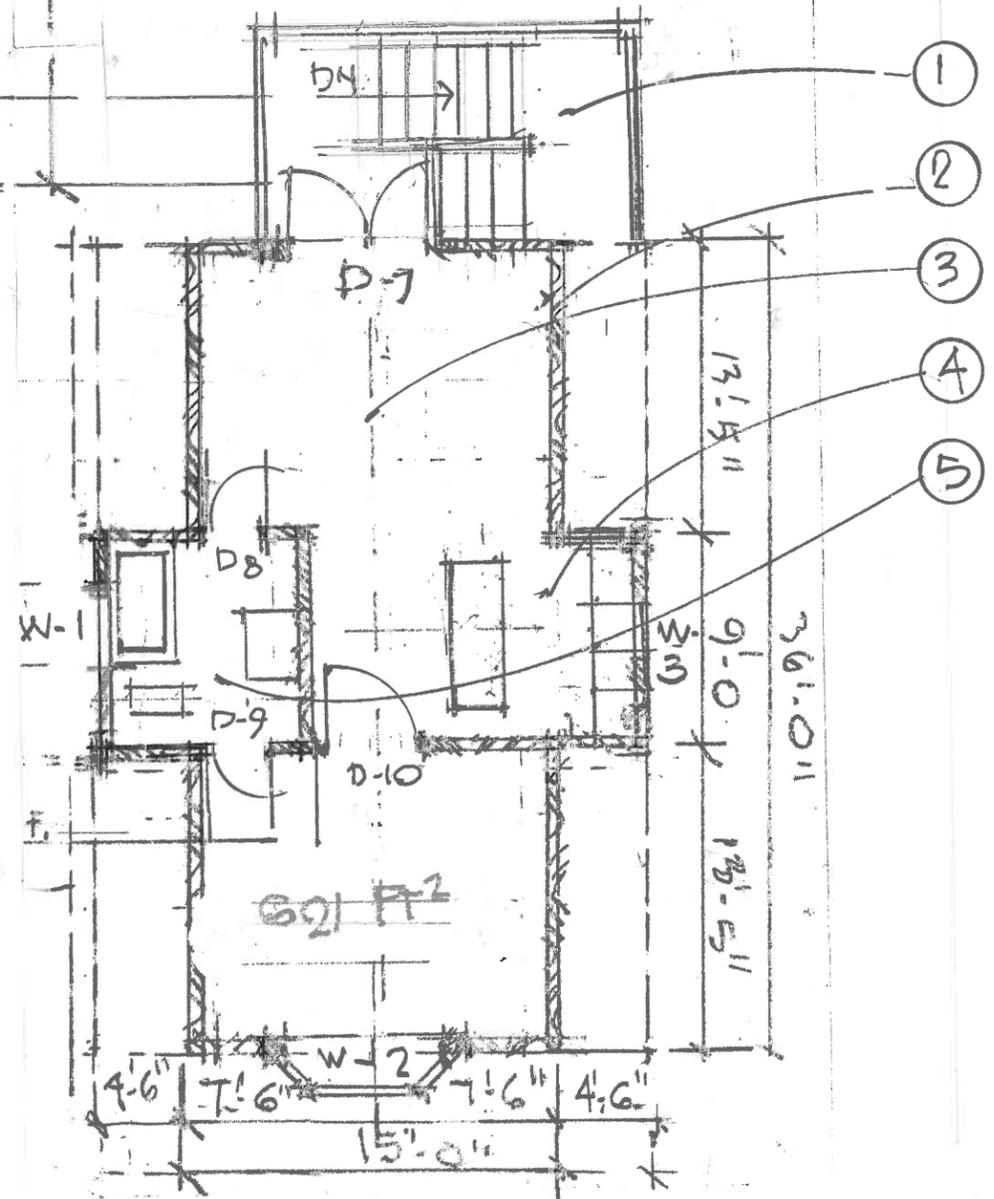
- Index to the Number
1. Porch decking. Match existing. Material, color, dimension
  2. Stairs to grade. Match existing.
  3. Insect screening.
  - 4 stairs to grade. Match exist .
  5. Granite fines with Metal edging.
  6. Pervious concrete pavers. Use existing terrace Material.
  7. Stairs to second floor. Details to match existing stairs .
  8. Steel troweled concrete slab.

ARCHITECTURAL 2  
 HORIZ SECTION AT GRADE  
 FIRST FLOOR 1/8"=1'-0"

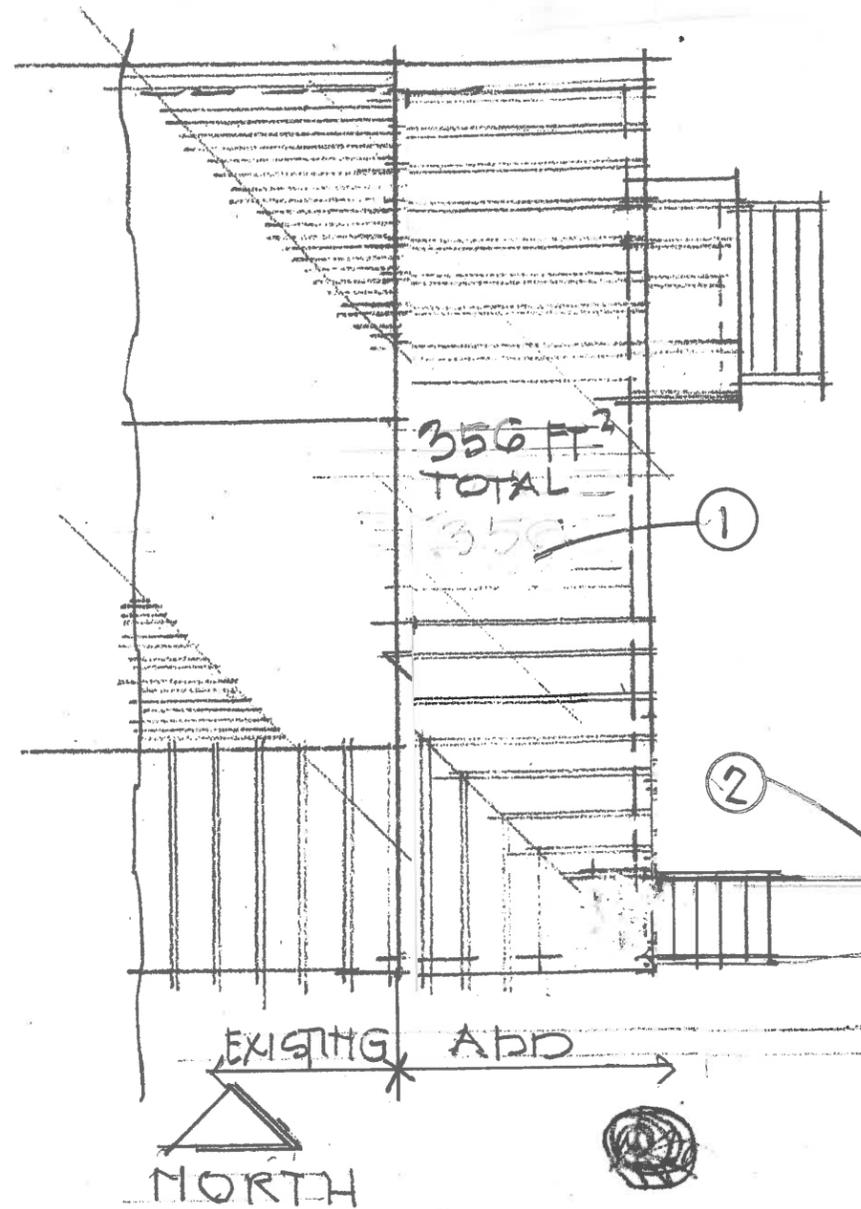


Indexed to the Numbers.

- 1. Stairs to grade.
- 2. sloped ceiling at 7'-0" above finish floor.
- 3. Ridge .
- 4. Tea Kitchen.
- 5. Bathroom.

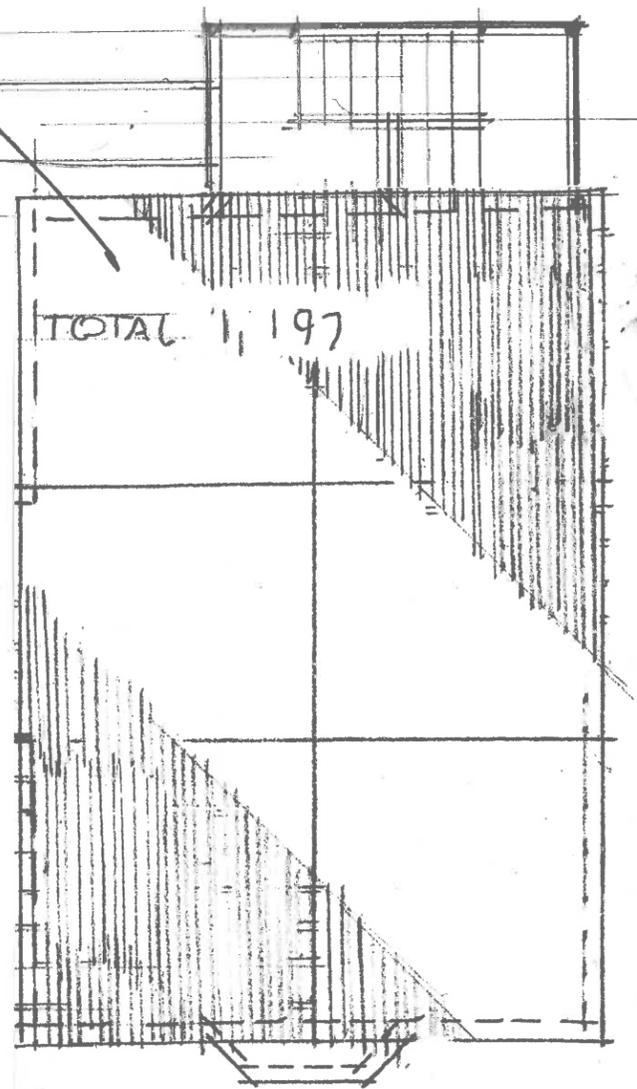


ARCHITECTURAL  
HORIZ. SECTION AT  
SECOND FLOOR  
1/8" = 1'-0"

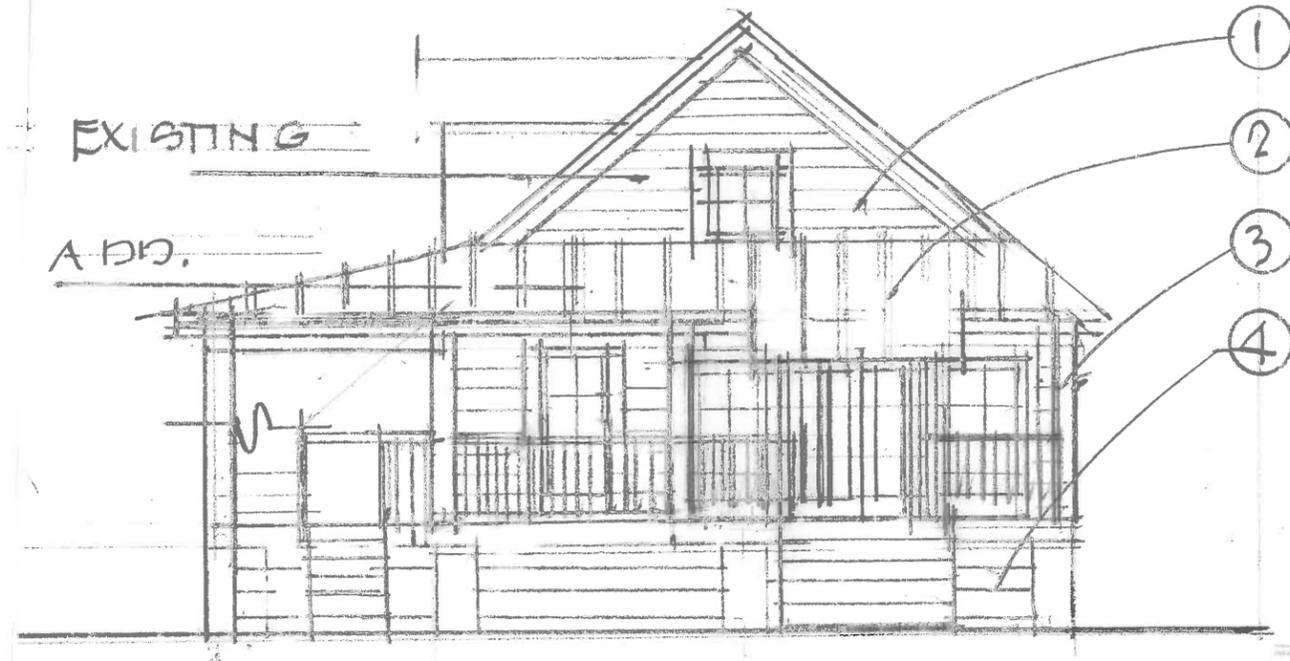


Index to the numbers  
1. 5 V Crimp. Cold rolled steel.  
Paint to match existing.

2. Fiberglass based roof shingles.  
Match roofing material at  
Existing residence.  
In color, texture, size.

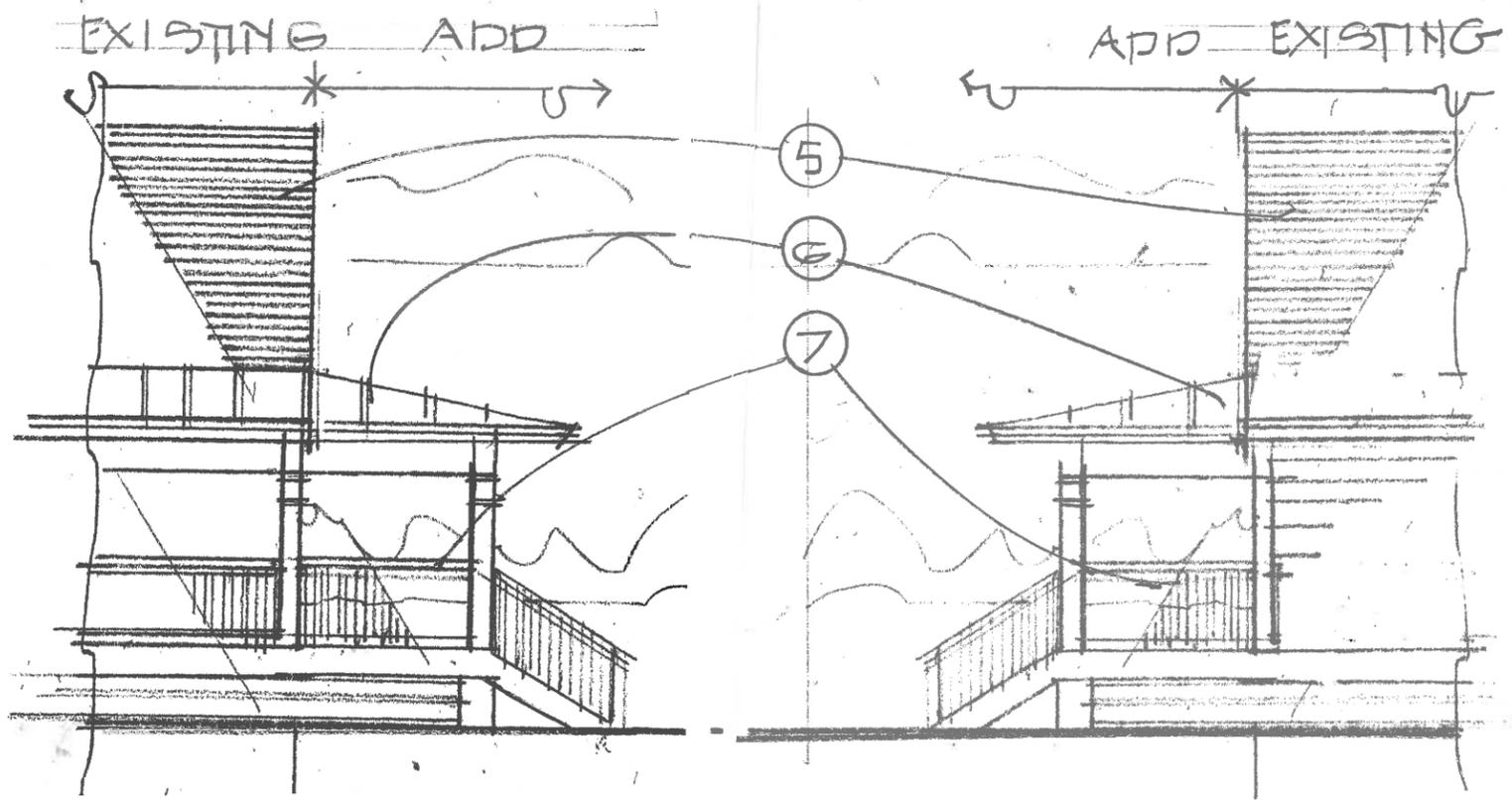


ROOF PLAN  
1/8" = 1'-0"



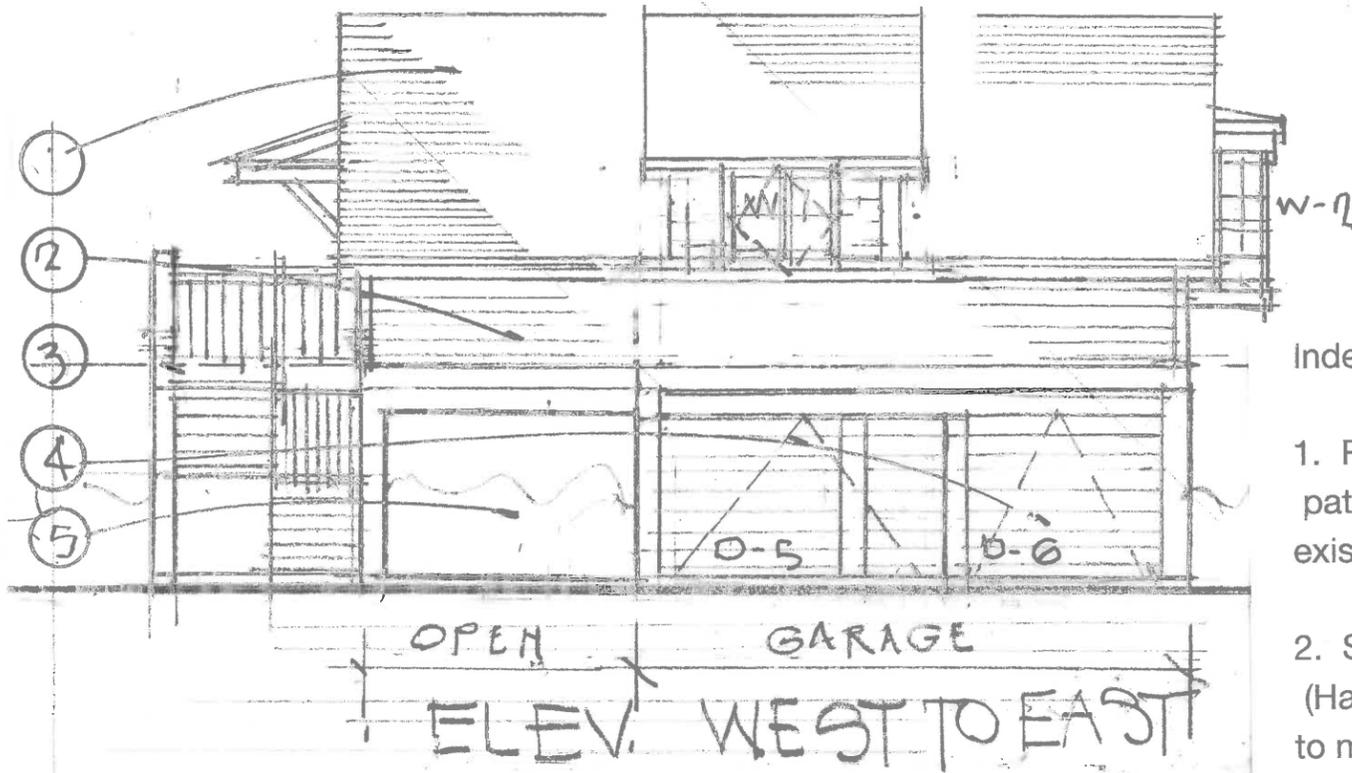
- 1. Existing vinyl siding.
- 2. Added Metal roof. 5 V crimp Cold rolled steel. Match Existing.
- 3. Added porch. Match existing.
- 4. Cribbing. Wood. 1"x 6" Match existing.
- 5. Existing roof.
- 6. Added Metal roof.
- 7. Added porch. Match Existing.

ELEV. FROM EAST TO WEST



ELEV. FROM SOUTH

ELEV. FROM NORTH



Index to the Numbers.

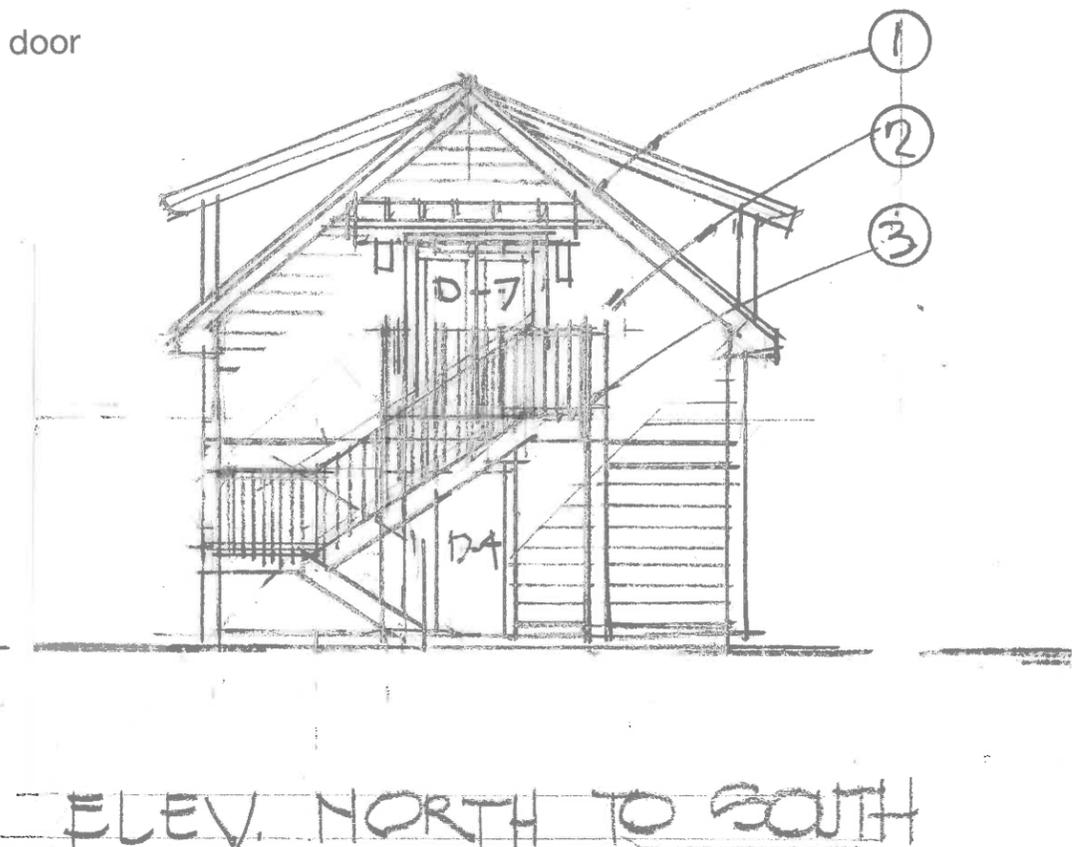
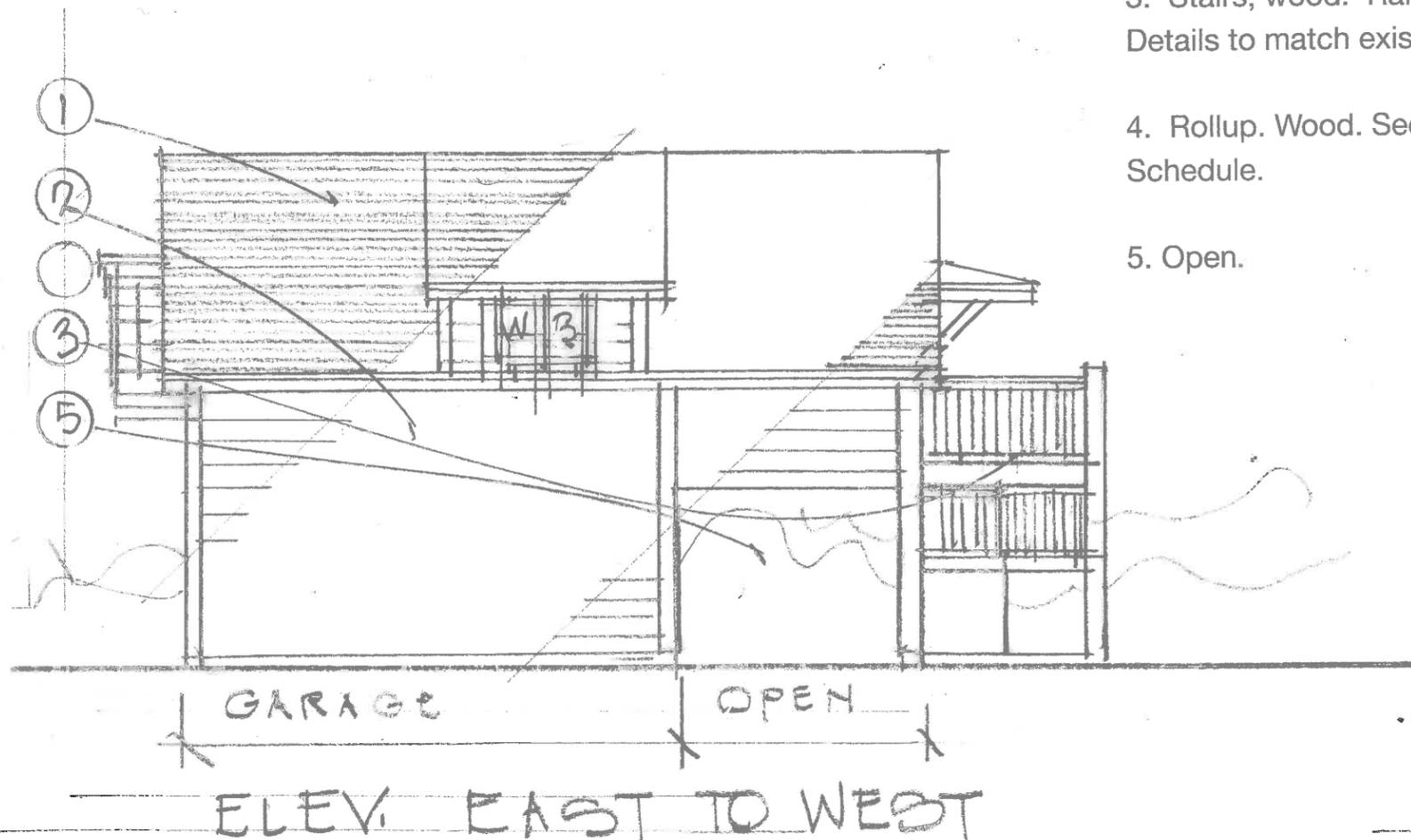
1. Roofing. Fiberglass. Color, pattern and wait to match existing house.

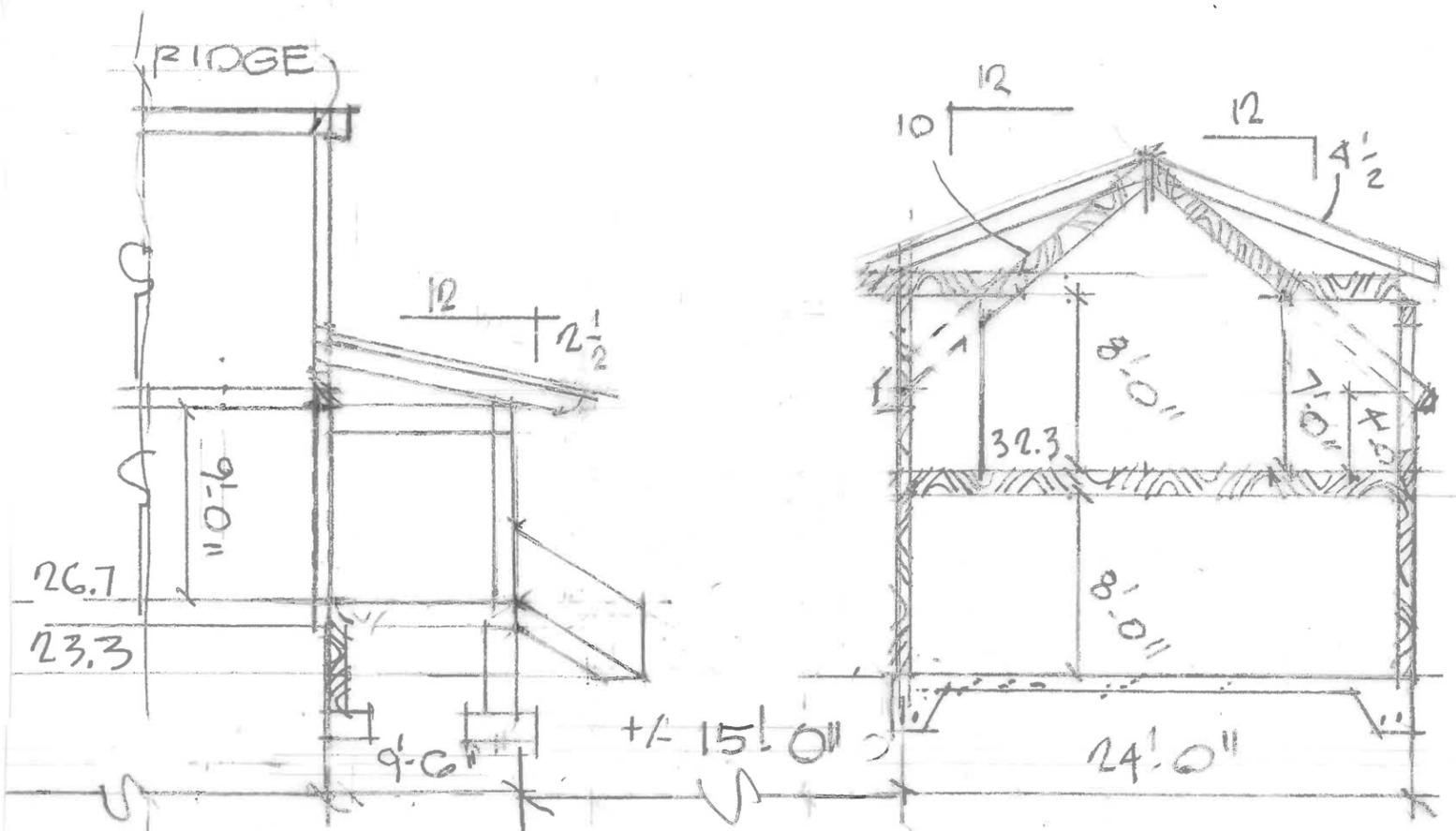
2. Siding. Fibrous cement (Hardie Siding). 6". Color to match existing house.

3. Stairs, wood. Railings, wood. Details to match existing.

4. Rollup. Wood. See door Schedule.

5. Open.

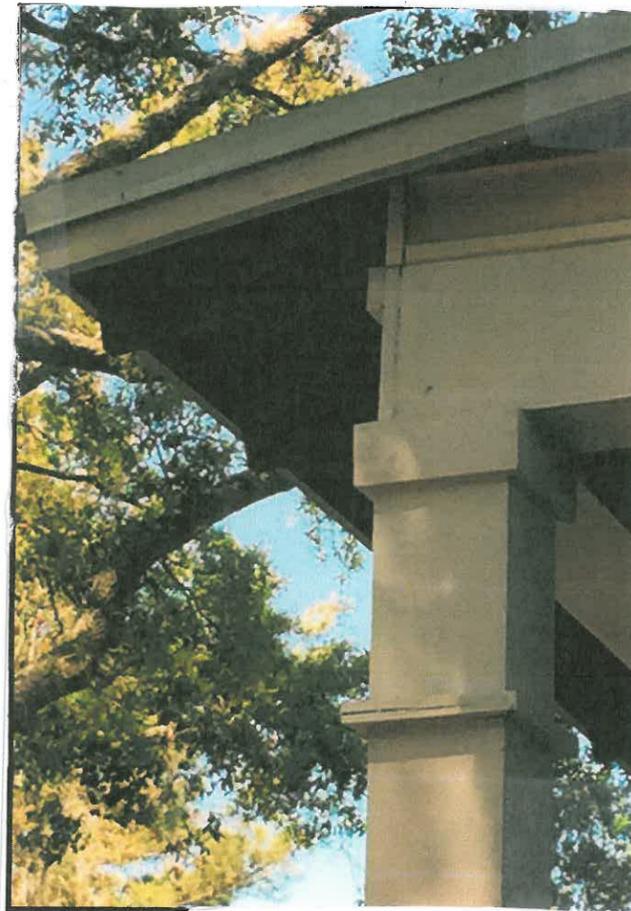




EXISTING | ADD | GARAGE  
VERTICAL SECTION.

FROM THE SOUTH 1/8" = 1'-0"

1. Eave detail at existing house. showing beam and column connection. All trim and details will be replicated on the porch addition.



3. East elevation of the existing house. All details for window trim. Eave and Cornice detail will be used for the additions of both the porch and the garage.



2. Roof framing at porch showing roof rafters, 1"x4" purlins 12 inches on center. Exposed roofing material. 5V crimp cold rolled steel.



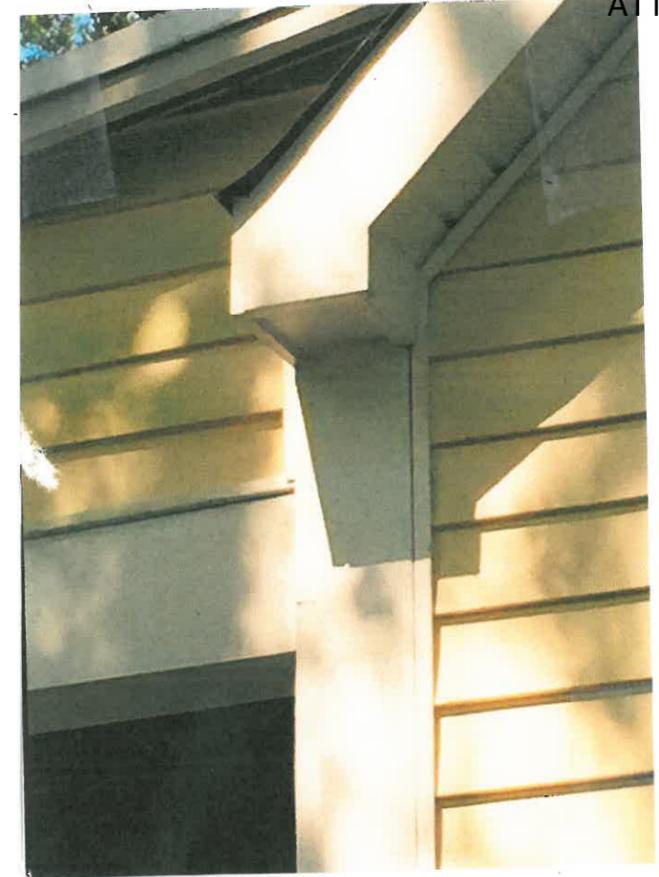
4. West elevation of the existing house. All details for window trim, eave details and cornice will be used for the addition of both the porch in the garage.



5. South elevation at Porch railing and column detail. All details as shown will be used for the porch addition.



7. All cornice and eaves for both the porch and garage will use this existing detail.



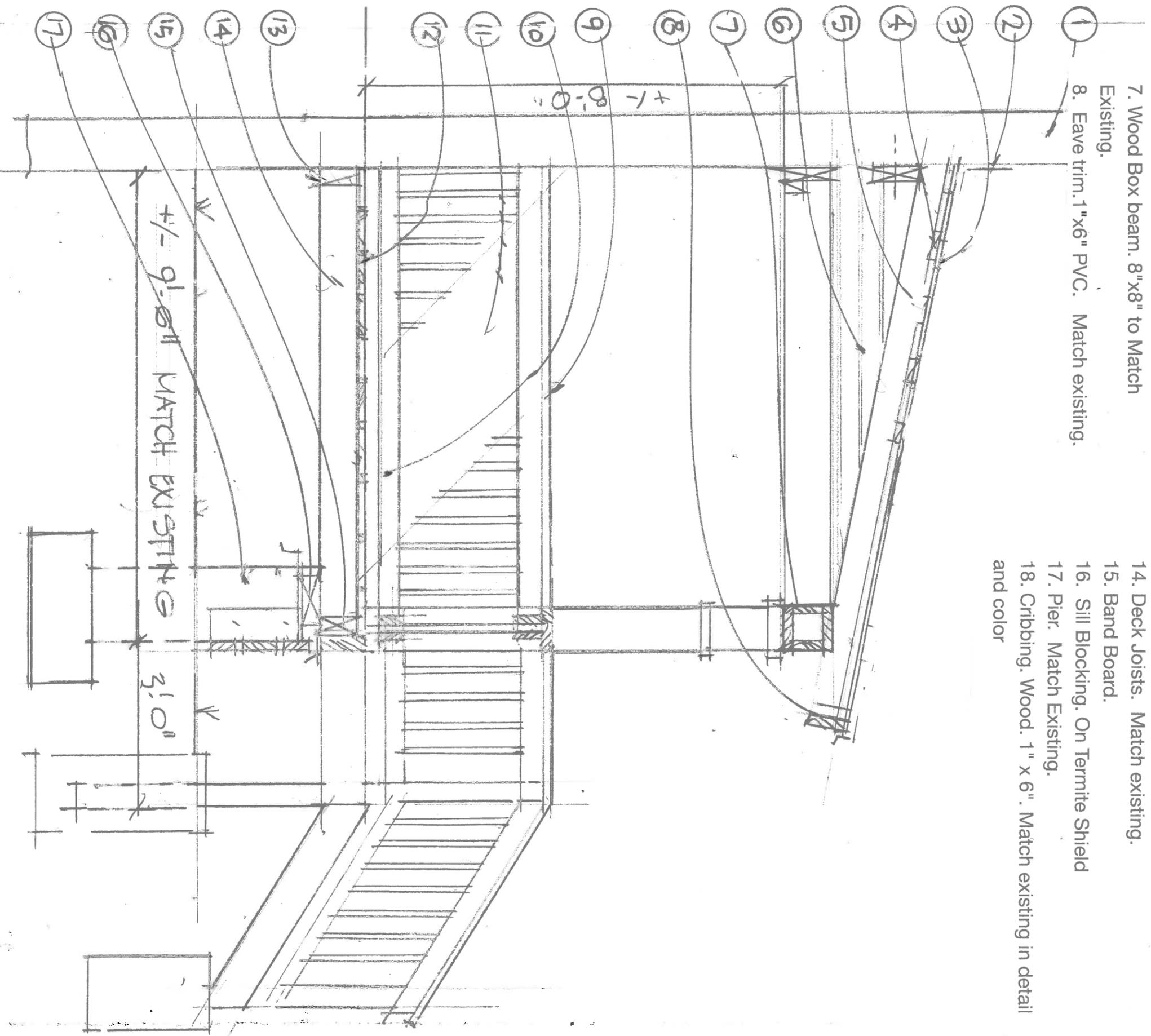
6. Stair rail detail at front entrance. All Step to grade will use this details.



8. Existing details for cribbing, band board, sill and siding will use the same material, detail and color

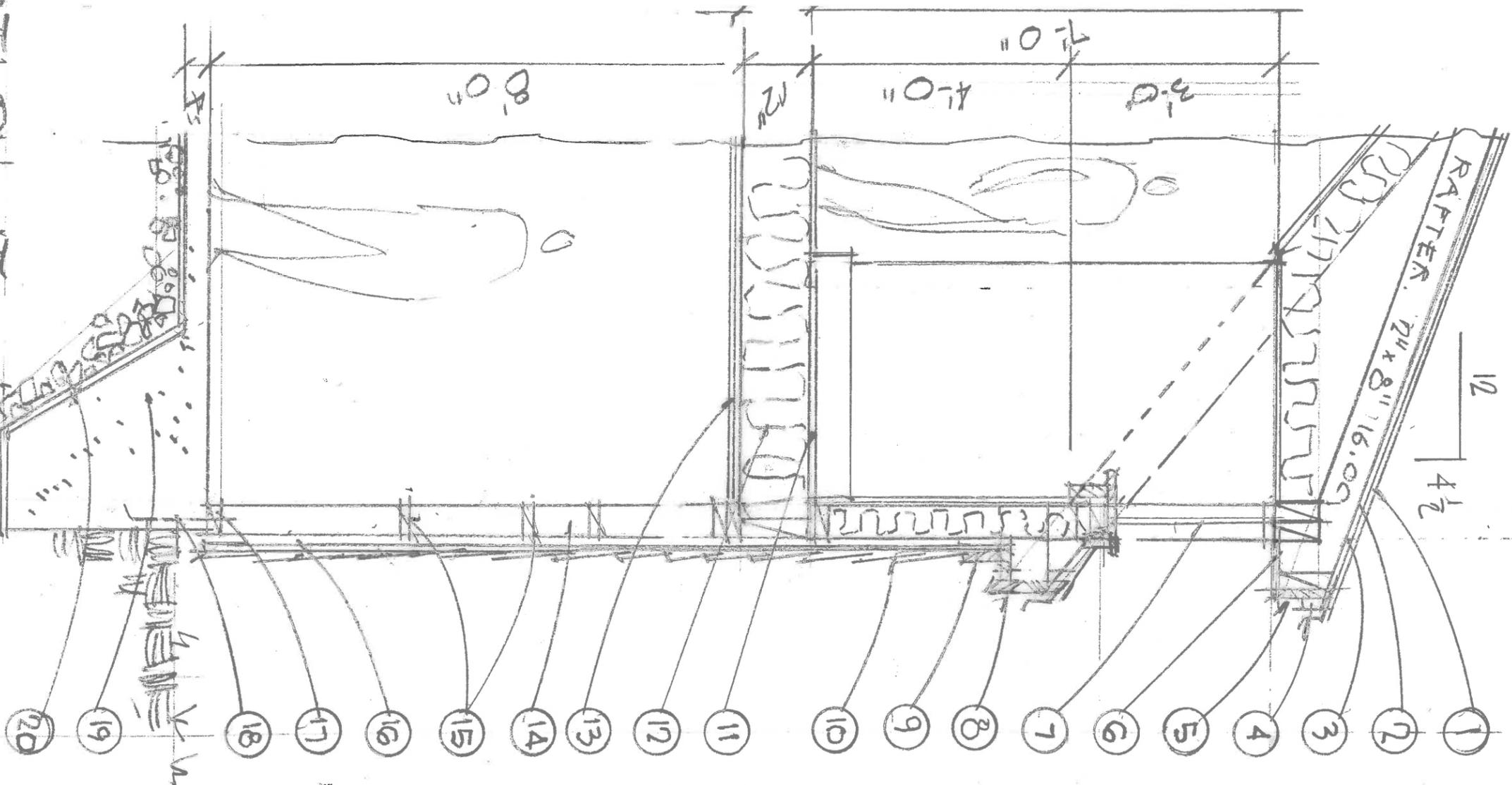


- 1. Existing wall at the east.
- 2. Flashing, continuous.
- 3. 5V crimp cold rolled Steel Match existing
- 4. Purlins. 1"x4" - 12" spacing
- 5. Roof Rafter. 2" x 8" wood- to match existing.
- 6. Horizontal siding. 6 inch Hardie Board. Color to match existing.
- 7. Wood Box beam. 8"x8" to Match Existing.
- 8. Eave trim. 1"x6" PVC. Match existing.
- 9. Top Cap. Wood. 2"x4" Match Existing.
- 10. Top and bottom rail. Wood. 2"x4"
- 11. Pickets. 2" x 2". Four-inch spacey. Code compliant.
- 12. Porch Deck. Wood. 5/4" x 6". Match existing in Detail and color.
- 13. Support for deck joist. Use Best practice. See Structural Dcmts
- 14. Deck Joists. Match existing.
- 15. Band Board.
- 16. Sill Blocking. On Termite Shield
- 17. Pier. Match Existing.
- 18. Cribbing. Wood. 1" x 6". Match existing in detail and color

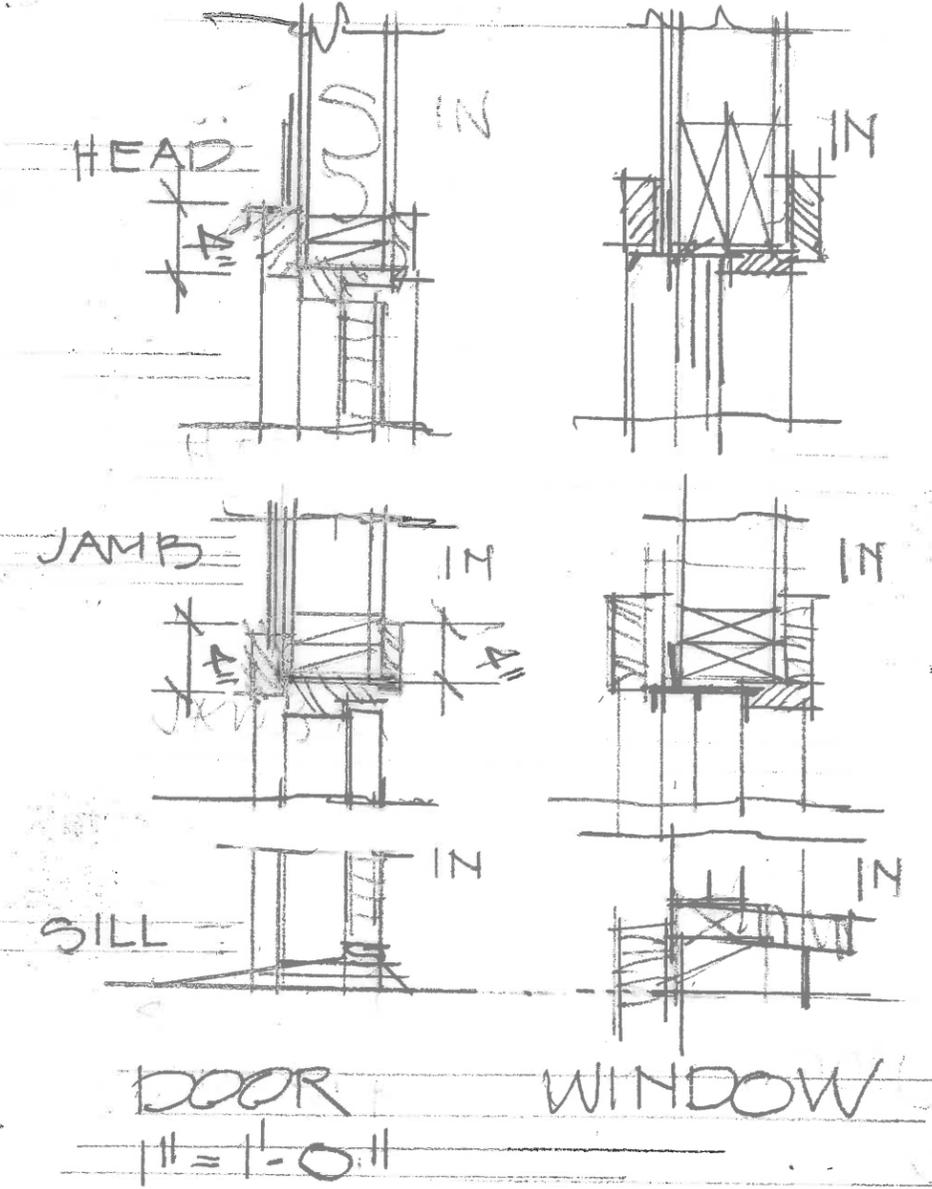
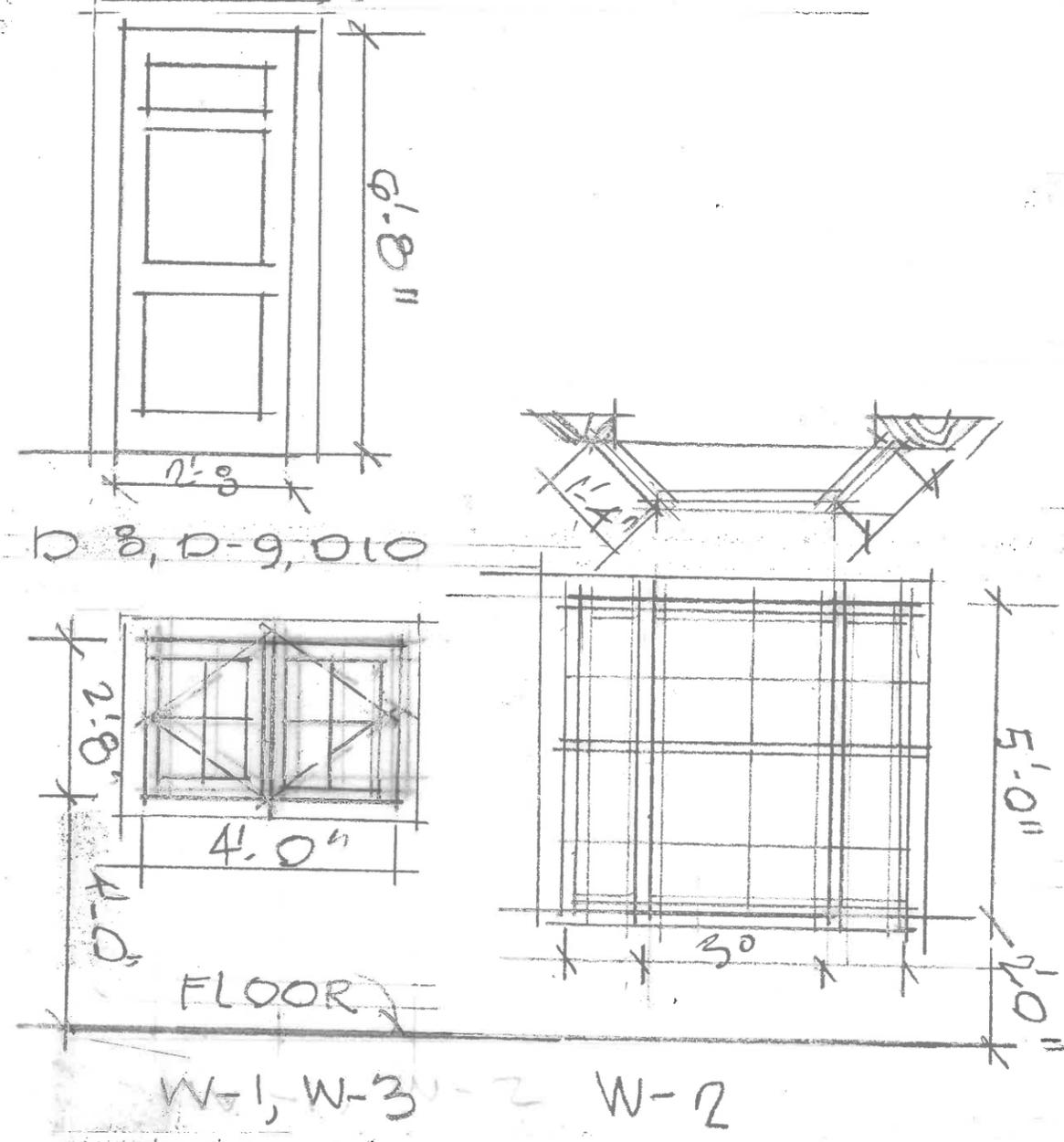
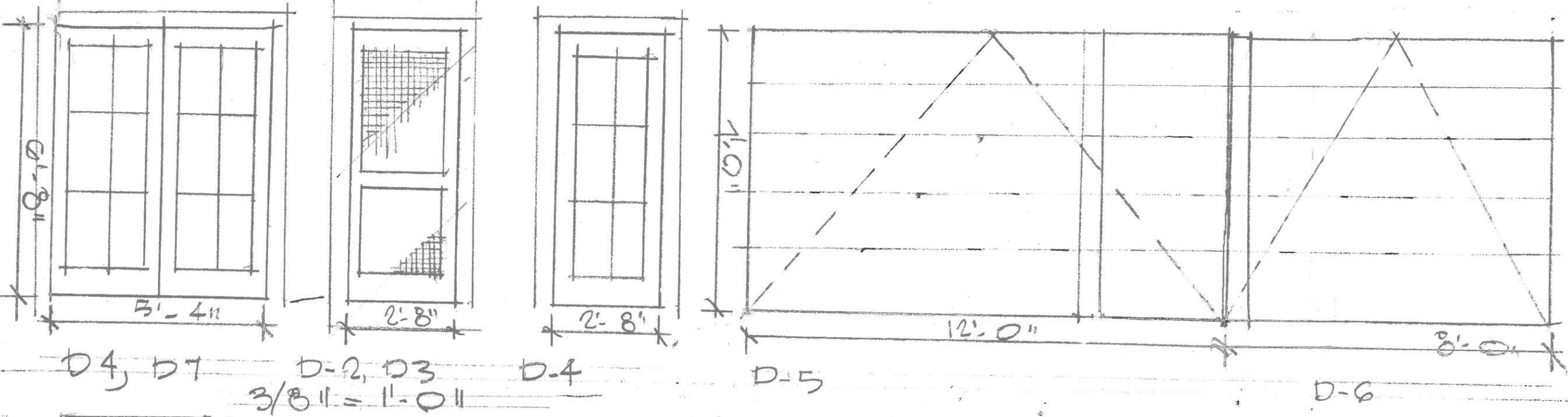


WALL SECTION AT PORCH  
 FROM SOUTH TO NORTH  
 1/2" = 1'-0"

1. Roof shingles. Fiberglass. Match existing color, texture, weight.
2. Roof underlayment.
3. Sheeting. OSB. 5/8".
4. Metal flashing. Continuous.
5. Trim board. PVC. 1" x 6".
6. Soffit. PVC. 1" x 8".
7. Casement. Vinyl. See Window schedule.
8. Trim board. PVC. 1"x6".
9. Trim board. 1"x6".
10. Fibrous cement siding (Hardie Siding). 6 inch exposure. Color to match existing house.
11. Floor sheathing. T&G. 3/4" Finish floor. TBD.
12. Insulation. Fiberglass batt. with vapor barrier
13. Gypsum board. Fire rated. 2 lawyers. 1/2" ea.
14. Wood stud. SYP. 2" x 6". 16 inch O.C.
15. Horizontal bracing. 2" x 6". Spacing TBD.
16. Sheeting. OSB. 5/8". House wrap.
17. Sill plate. Wood. 2" x 6". With anchor bolts. See structural Documents.
18. Anchor bolt.
19. Grade Beam. Concrete.
20. Gravel underlayment with vapor barrier.



WALL SECTION AT  
GARAGE FROM SOUTH TO NORTH  
1/2" = 1'-0"

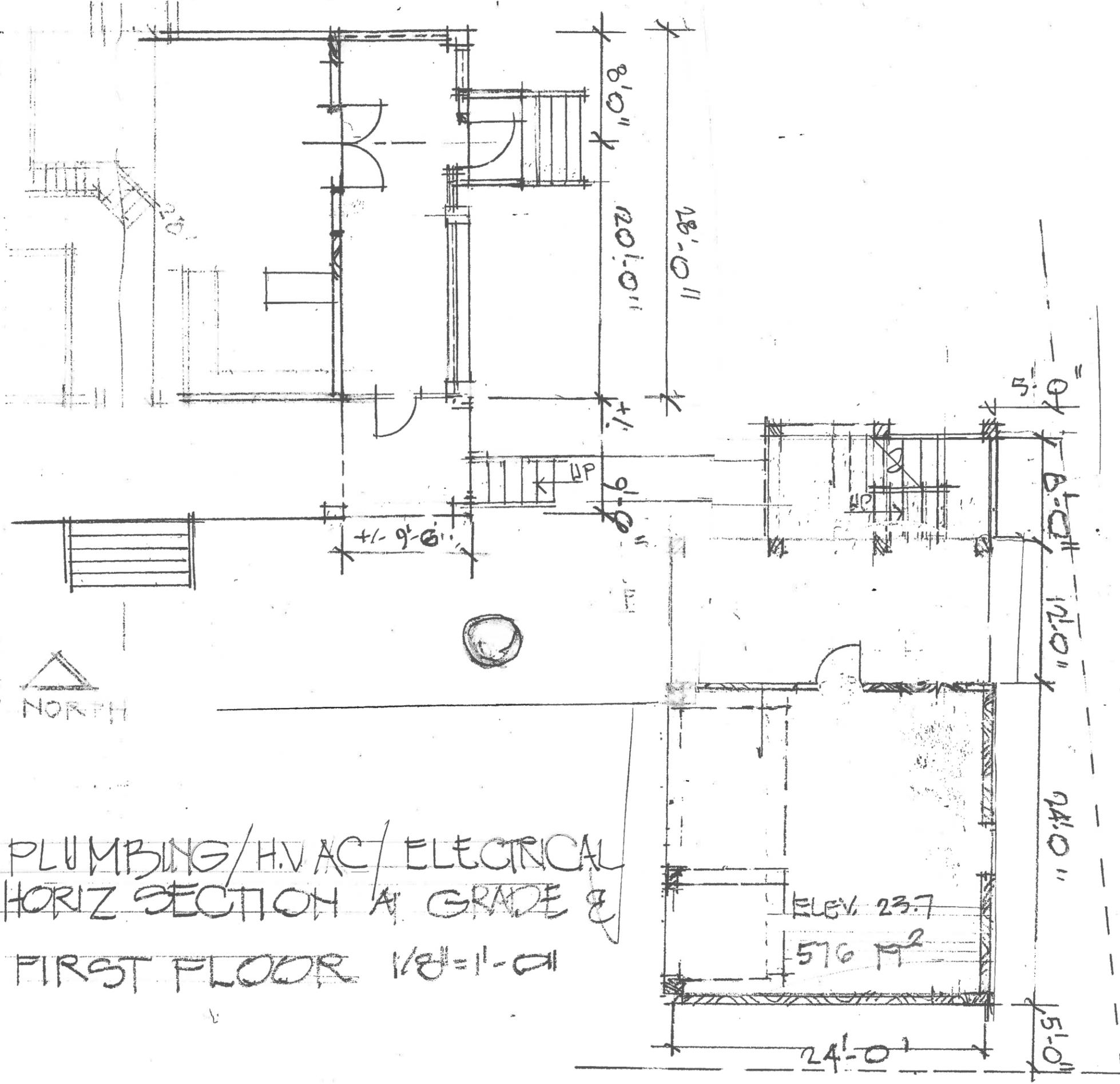


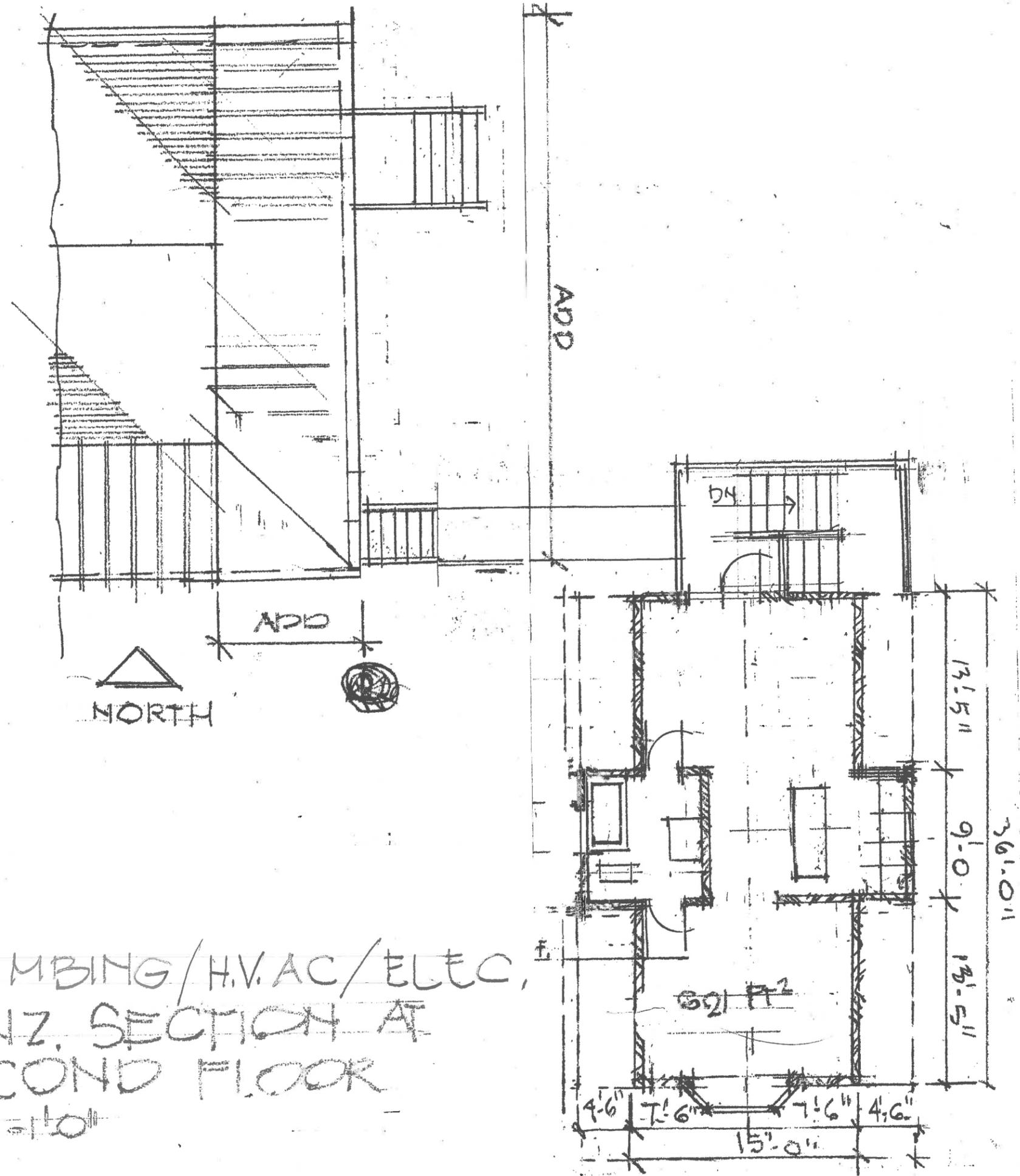
DOORS.

- Mark. Function. Material. Size WxH xT
- D-1. French. Wood. 2- 2'8" x6'8"x1 3/4".
  - D-2. Screened. Wood 2'8" by 6'8"X1 3/4".
  - D-3. Screened. Wood. 2'8" x6'8"x1 3/4".
  - D-4. Hinged Wood. 2'8"x 6'8"x 1 3/4".
  - D-5. Rollup Wood. 12'0" by 7'0".
  - D-6. Rollup. Wood. 8'0" by 7'0".
  - D-7. French. Wood. 2'8"x 6'8"x 1 3/4".
  - D-8. 3 panel Wood. 2'8"x 6'8"x 1 3/8".
  - D-9. 3 panel Wood. 2'8"X 6'8"x 1 3/8".
  - D-10. 3 panel Wood. 2'8"x 6'8"x 2 3/8".

WINDOWS

- W-1. Casement. Vinyl 2-2'0" by 2'8"
- W-2. Casement. Vinyl. 2-2' 0" x 2' 8".





PLUMBING/H.V.A.C/ELEC,  
HORIZ. SECTION AT  
SECOND FLOOR  
1/8" = 1'-0"



**PLAN REVIEW COMMENTS FOR COFA-03-16-009567**

Town of Bluffton  
 Department of Growth Management  
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
 Telephone 843-706-4522  
 OLD TOWN

**Plan Type:** Historic District **Apply Date:** 03/22/2016  
**Plan Status:** Active **Plan Address:** 17 Lawrence St  
 BLUFFTON, SC 29910  
**Case Manager:** Erin Schumacher **Plan PIN #:** R610 039 00A 0271 0000  
**Plan Description:** The Applicant, Joseph Hall, is requesting on behalf of the owners, Mr. and Mrs. Young, a Certificate of Appropriateness for the construction of a new carriage house structure located at 17 Lawrence Street. **STATUS:** The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the April 4th meeting.

**Staff Review (HD)**

**Submission #: 1**      Received: 03/22/2016      Completed: 04/01/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Stormwater Review	03/31/2016	William Baugher	Approved with Conditions

**Comments:**

- Single Family Development, not part of a larger common plan of development:
1. Silt Fencing buried a minimum of 6 inches below disturbed grade, where applicable,
  2. In areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing meeting the requirements of SCDOT must be used.
  3. Temporary gravel driveways a minimum of 15 feet by 10 feet, where applicable,
  4. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site

Beaufort Jasper Water and Sewer Review	04/01/2016	Dick Deuel	Approved
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**Comments:**

1. No comment.

Engineering Department Review - HD	04/01/2016	Kendra Lelie	Approved
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**Comments:**

1. No comment.

Growth Management Dept Review (HD)	04/01/2016	Erin Schumacher	Approved
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**Comments:**

1. The footprint for the proposed Carriage House is approximately 670 SF with an overall proposed square footage of approximately 1,556 SF. The UDO states that the maximum footprint permitted for a Carriage House is 800 SF and maximum overall square footage is 1,200 SF. As such, the overall square footage must be reduced to meet the requirements of the UDO. (UDO Section 5.15.8.F.)
2. As the project moves toward Final submittal, the typical window, railing, corner board trim, a section through the eave, and a landscape plan with tree removal and mitigation are needed as not enough information was provided in the submittal to review for conformance with the UDO. (Applications Manual)
3. As trees are required to be removed to allow for the building placement on this lot, a tree removal plan with the canopy coverage calculation and any required mitigation must be submitted for review. (UDO Section 5.3.7.D.1.)
4. During site planning for any property, consideration shall be given to the existing tree canopy and every reasonable effort made to maximize the preservation of the existing canopy. As the proposed development is in close proximity to the 40" Live Oak and an arborist report must be provided stating the possible impacts of the development and if there are methods to mediate damage. (UDO Section 5.3.3.C.)

HPRC Review

04/01/2016

Erin Schumacher

Approved

**Comments:**

1. The project analysis noted the use of fiberglass/various doors. The UDO permits wood or metal and the application must be revised to utilize an approved material. (UDO 5.15.6.I.2.b.)
2. A scalable site plan is required to show the distance of the building placement from the property lines. The setback for a Carriage House in this district is 5' from the side and 5' from the rear. (UDO 5.15.5.C. and Applications Manual)
3. The 40" live oak will need to have tree protection installed, during the construction process. (UDO 5.3.3.D.)
4. There is a conflict between the garage floor pans and the front (south) elevation. The floor plan shows two garage doors, yet the dashed lines indicated a single door and the garage doors are not indicated on the front (south) elevation. Provide updated drawings to clarify. (Applications Manual)
5. On both the front and rear elevations (south and north), at the new upper porch roof, is shown as being flat. Consider revising this for better functionality and for proper roof configuration. (5.15.6.J.1.a.)
6. For the final application, it would be helpful to have new materials called out on the plans, so we know what is being approved. We do not know what exists, currently, and what the applicant will be matching. (Applications Manual)

Addressing Review

03/22/2016

Theresa Thorsen

Approved

**Comments:**

1. No comment.

**Plan Review Case Notes:**