

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	June 1, 2016
<b>PROJECT:</b>	15 Captains Cove – New Construction
<b>APPLICANT:</b>	Thomas Viljac
<b>PROJECT MANAGER:</b>	Erin Schumacher, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Thomas Viljac, requests that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9546.** A Certificate of Appropriateness to allow the construction of a trellis of approximately 890 SF along the northern and western elevation (rear) of the Dispensary and another of approximately 240 SF at the east elevation (front) on the property identified as 15 Captains Cove in the Carson Cottages Development, in the Old Town Bluffton Historic District, and zoned Neighborhood Center-HD.

### **INTRODUCTION:**

The Dispensary building was originally reviewed and approved with conditions by the Historic Preservation Commission (HPC) at the October 3, 2007 meeting and constructed in the years to follow. Since its approval and construction, several small additions and modifications to the building have been made.

The Applicant is now proposing the construction of two open trellis additions, creating a covered porch; one to the east and the other to the west façade of the existing Dispensary building over existing decked areas. The proposed structure is comprised of square wooden columns that support rafters, which have corrugated plastic roof panels attached above.

The materials, with the exception of the corrugated plastic, are in conformance with the requirements of the UDO.

This project was presented to the Historic Preservation Review Committee for conceptual review at the March 14, 2016 meeting and comments were provided to the Applicant (See Attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO, is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the criteria named in the following section.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). These criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced.”

The Applicant proposes to construct two additions to an existing structure within the Old Town Bluffton Historic District, a locally and nationally designated historic district. With the inclusion of the conditions note in item 2 of the following section, the materials will be in keeping with the requirement of the UDO. Staff requests that the HPC determine if the design, scale and architectural form are sympathetic to the architectural character of the adjacent historic structures.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

2. Section 3.18.3.B. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the design of the proposed structure will be in conformance with the other applicable provisions provided in Article 5:

- 1) Section 5.3.3. Tree Conservation. The UDO states that during the site planning for any property, considerations shall be given to the existing tree canopy and every reasonable effort made to maximize the preservation of the existing canopy. As such, provide additional information regarding the impacts that may occur to the existing tree canopy (branches and trees) due to the proposed trellis design and location.
  - 2) Section 5.15.6.H.1.a. Columns, Arches, Piers, Railings, Balustrades. The UDO states that columns and porch posts shall be spaced no farther apart than they are tall. As proposed, the column spacing meets this requirement with the exception of the spacing along the right side elevation. Here the columns vary from 9'-0" tall to 9'-6" tall, but the spacing is approximately 11'-0" apart. This must be revised to be no wider than 9'-6" to meet the requirements of the UDO.
  - 3) Per Section 5.15.6.J. and 5.15.6. Roofs and Gutters and Architectural Standards. The UDO states that the UDO Administrator, the HPC in this instance, shall have the authority to approve substitute materials for those listed as options under the Architectural Standards. Further the UDO states that the standards are to encourage construction, which is straightforward and functional and draws its ornament and variety from the traditional assembly of genuine materials. The Applicant has proposed the use of corrugated plastic as the roofing material. This configuration, a trellis that is not open-air, and material, corrugated plastic, are not in accordance to the UDO section above. Staff requests a determination from the HPC on the appropriateness of the use of corrugated plastic roofing as an allowable substitute for those permitted and the permanent covering of a trellis in general.
3. Section 3.18.3.C. Consistency with the nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that with the conditions to meet the requirements of the UDO noted in item 2 above, the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood.

4. Section 3.18.3.F. Impact on the historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans modified with the conditions noted in item 2 above will provide a design that is sympathetic to the neighboring historic resources. The open nature of the structure should

be maintained and never enclosed to reduce adverse effect on the neighboring historic structures and the public interest.

5. Section 3.18.3.E. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The application has been reviewed by Town Staff and has been determined to be incomplete. As this is a commercial project and impacts the imperious nature of the site, a development plan amendment must be submitted to the Town of Bluffton Development Review Committee and any conditions of approval satisfied prior to the issuance of a Certificate of Appropriateness.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the criteria described in the previous sections and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.3.3. of the UDO, provide additional information regarding the impacts that may occur to the existing tree canopy (branches and trees) due to the proposed trellis design and location.
2. Per Section 5.15.6.H. of the UDO, the column spacing must be modified to meet the dimensional requirements.
3. Per Section 5.15.6.J. and 5.15.6. of the UDO, the use of corrugated plastic as an allowable substitute for those materials listed as permitted in the UDO must be approved by the HPC.  
Per Section 5.15.6. of the UDO, the configuration of a roofed trellis must be approved by the HPC as it is not a traditional configuration for a trellis.
4. Per the Applications Manual, the Development Review Committee approval of the Development Plan Amendment must be issued prior to the issuance of the Certificate of Appropriateness.

**ATTACHMENTS:**

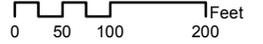
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan and Elevations
5. HPRC Report

# 15 Captains Cove Location Map

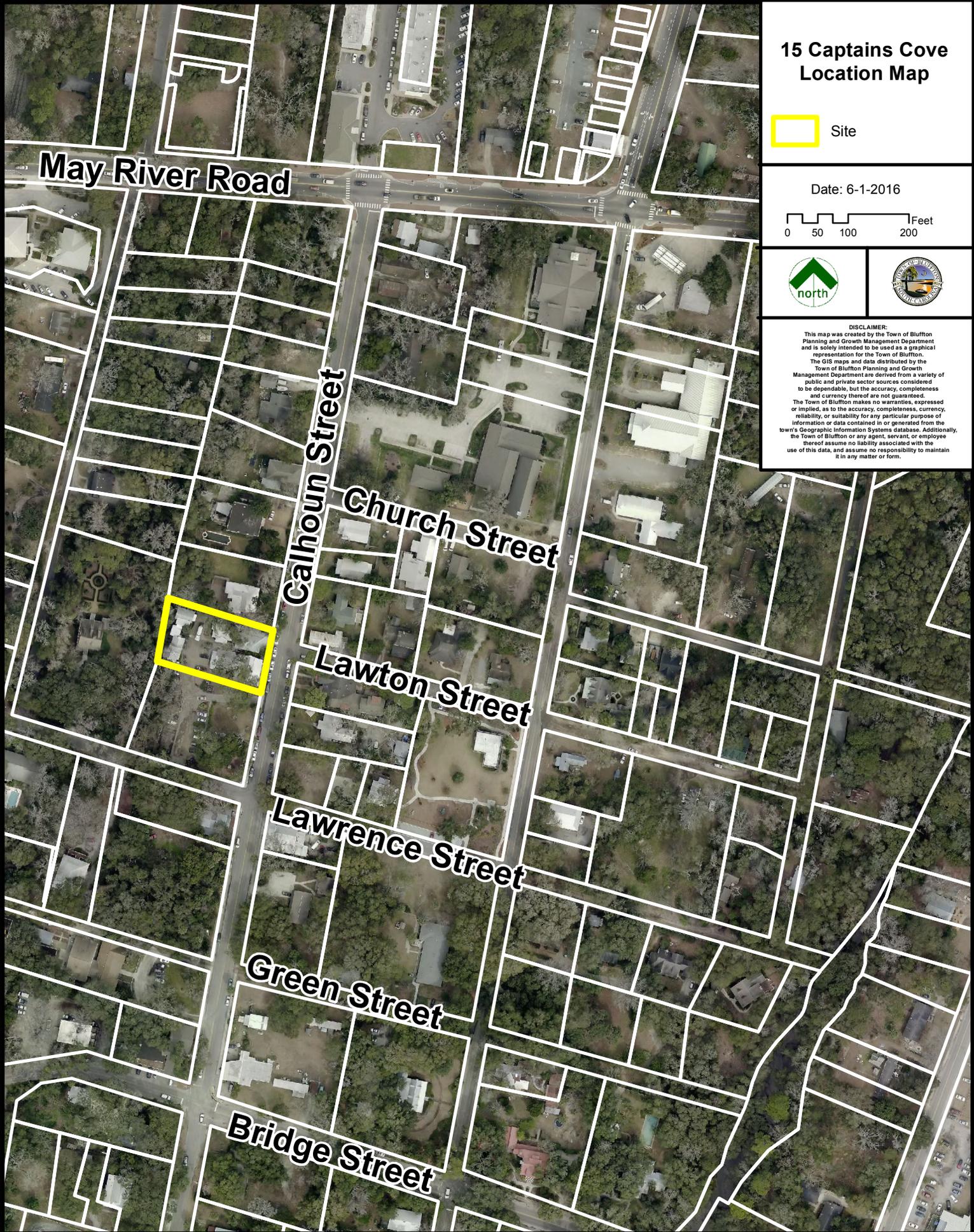


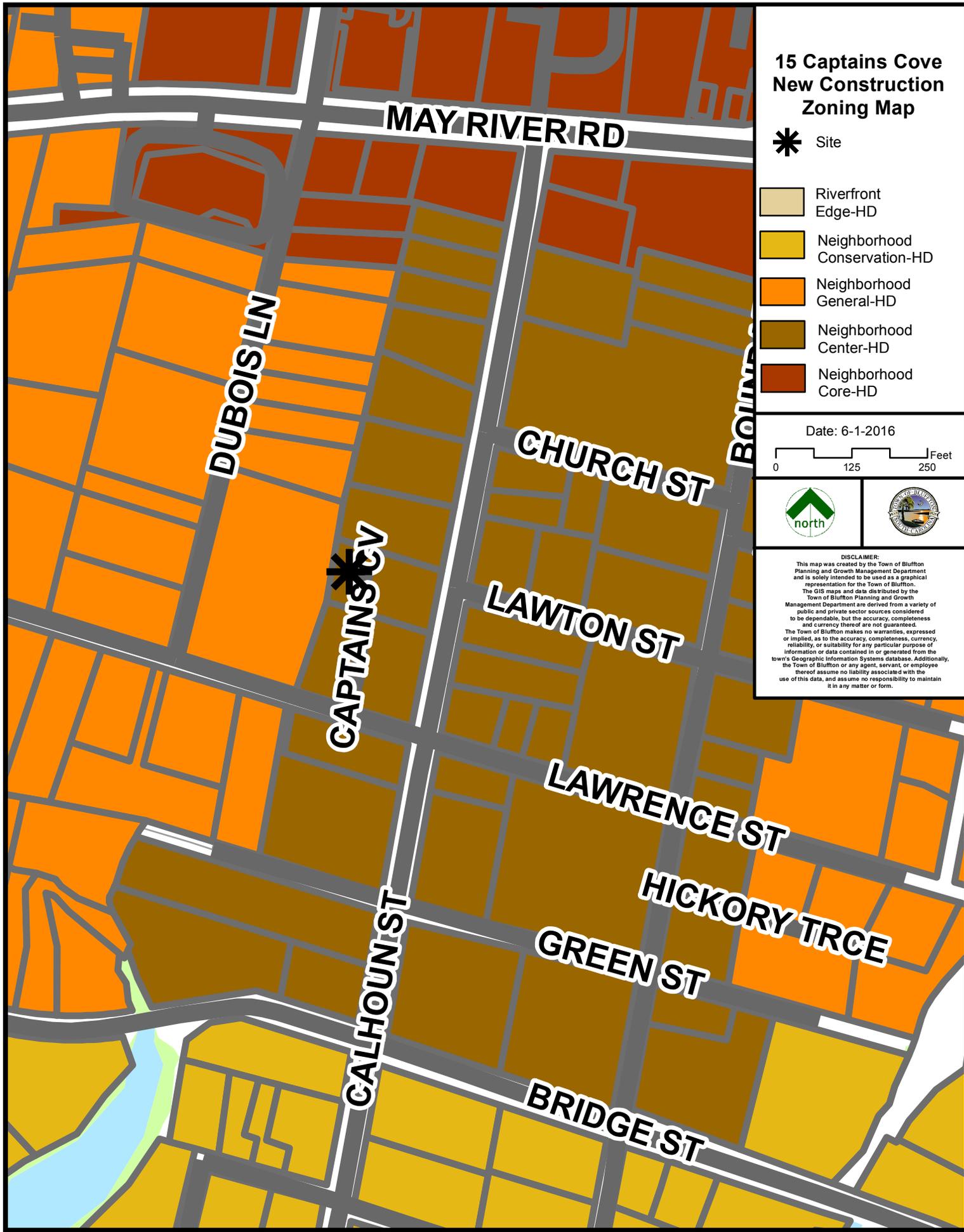
Site

Date: 6-1-2016



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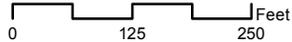


### 15 Captains Cove New Construction Zoning Map

✱ Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 6-1-2016



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Applicant Narrative

Trellises over porches

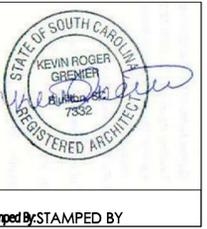
The Dispensary  
At Carson Cottages

Calhoun Street  
Town of Bluffton, SC  
Building 3 & 5



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Checked By: KRK

Date: 02.19.16

Revisions

NO.	REVISION	DATE
1	HPC COMMENTS	04.11.16

Project No. 13137

File Name:

Drawing Title:

SITE PLAN

Sheet No. **AS1.0**

Scale:



plan 1 SITE PLAN  
1/4"=1'-0" ASI.0 VERIFY ALL DIMENSIONS IN THE FIELD

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The Dispensary  
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Calhoun Street  
Town of Bluffton, SC  
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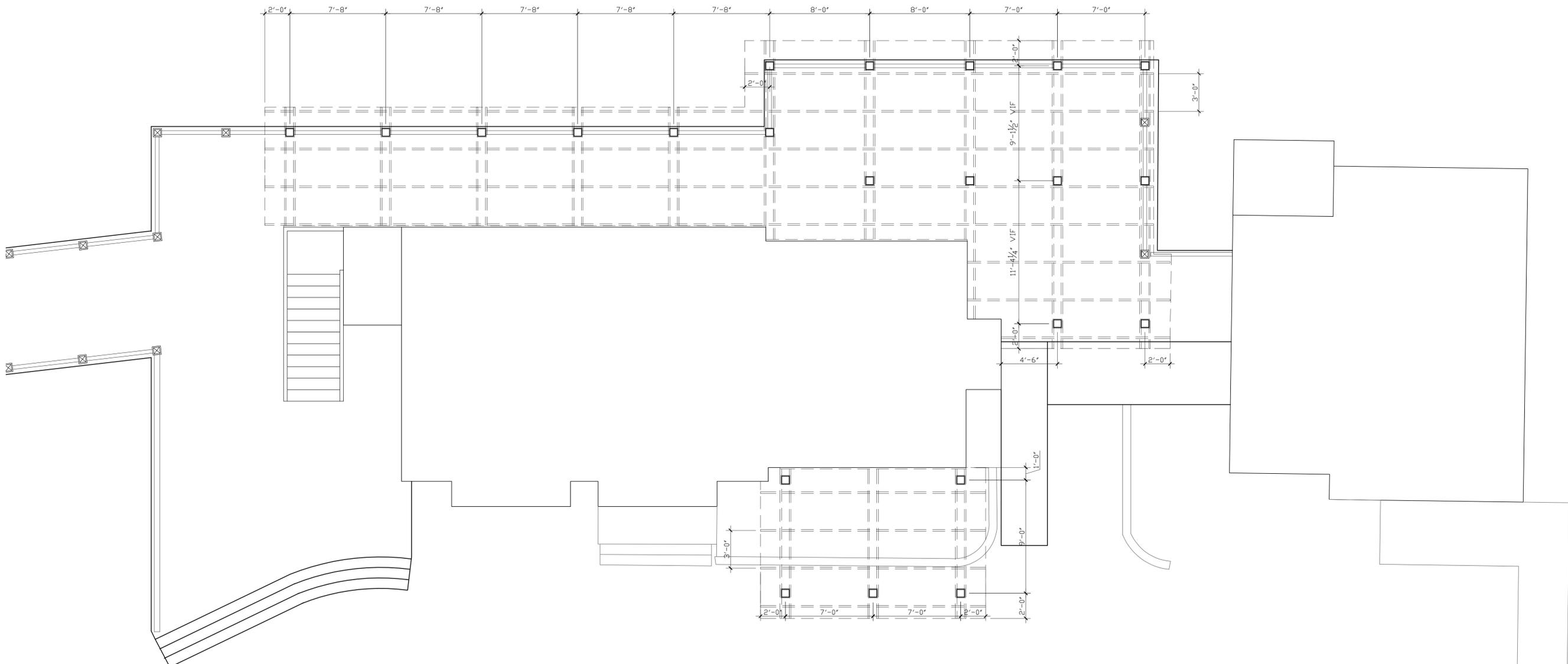
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NO.	DESCRIPTION	DATE
1	HPC COMMENTS	04.11.16

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Drawing Title:

GROUND FLOOR  
PLAN

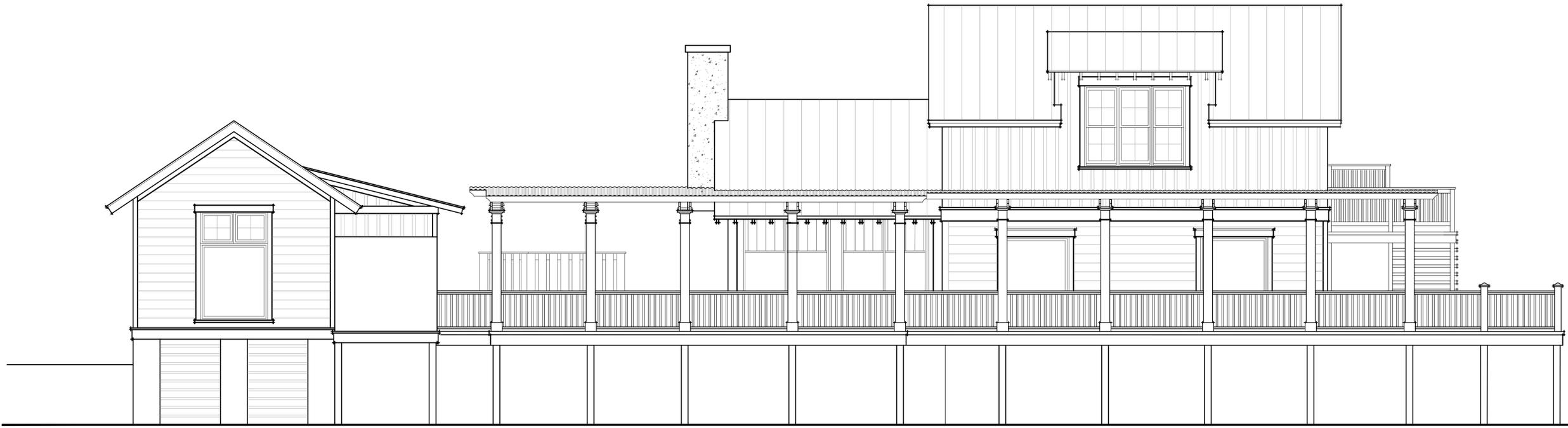
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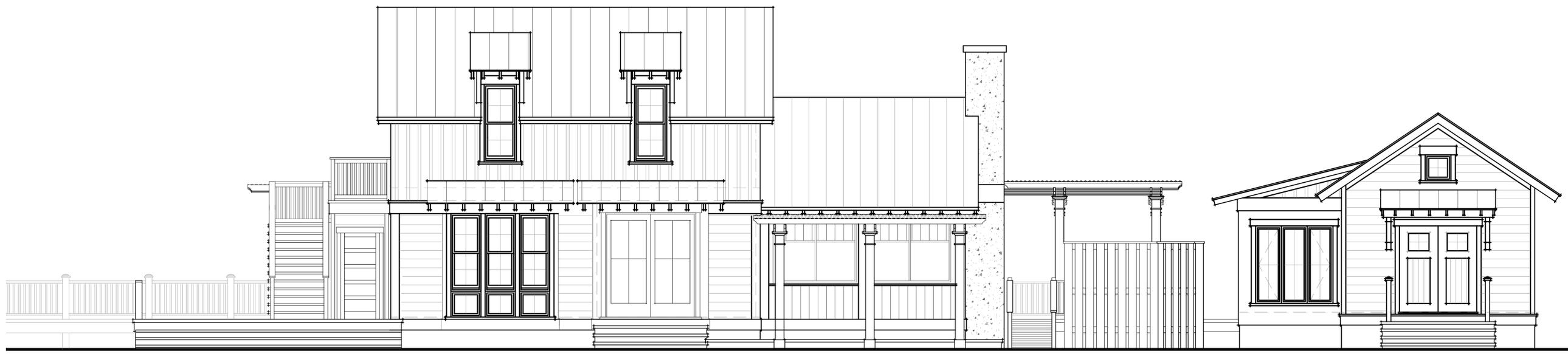
plan 1 GROUND FLOOR PLAN  
1/4"=1'-0" A1.1 VERIFY ALL DIMENSIONS IN THE FIELD

The Dispensary  
At Carson Cottages

Calhoun Street  
Town of Bluffton, SC  
Building 3 & 5



elevation 2 REAR SIDE ELEVATION  
1/4"=1'-0" A2.0 VERIFY ALL DIMENSIONS IN THE FIELD

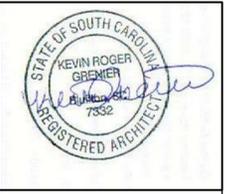


elevation 1 FRONT SIDE ELEVATION  
1/4"=1'-0" A2.0 VERIFY ALL DIMENSIONS IN THE FIELD



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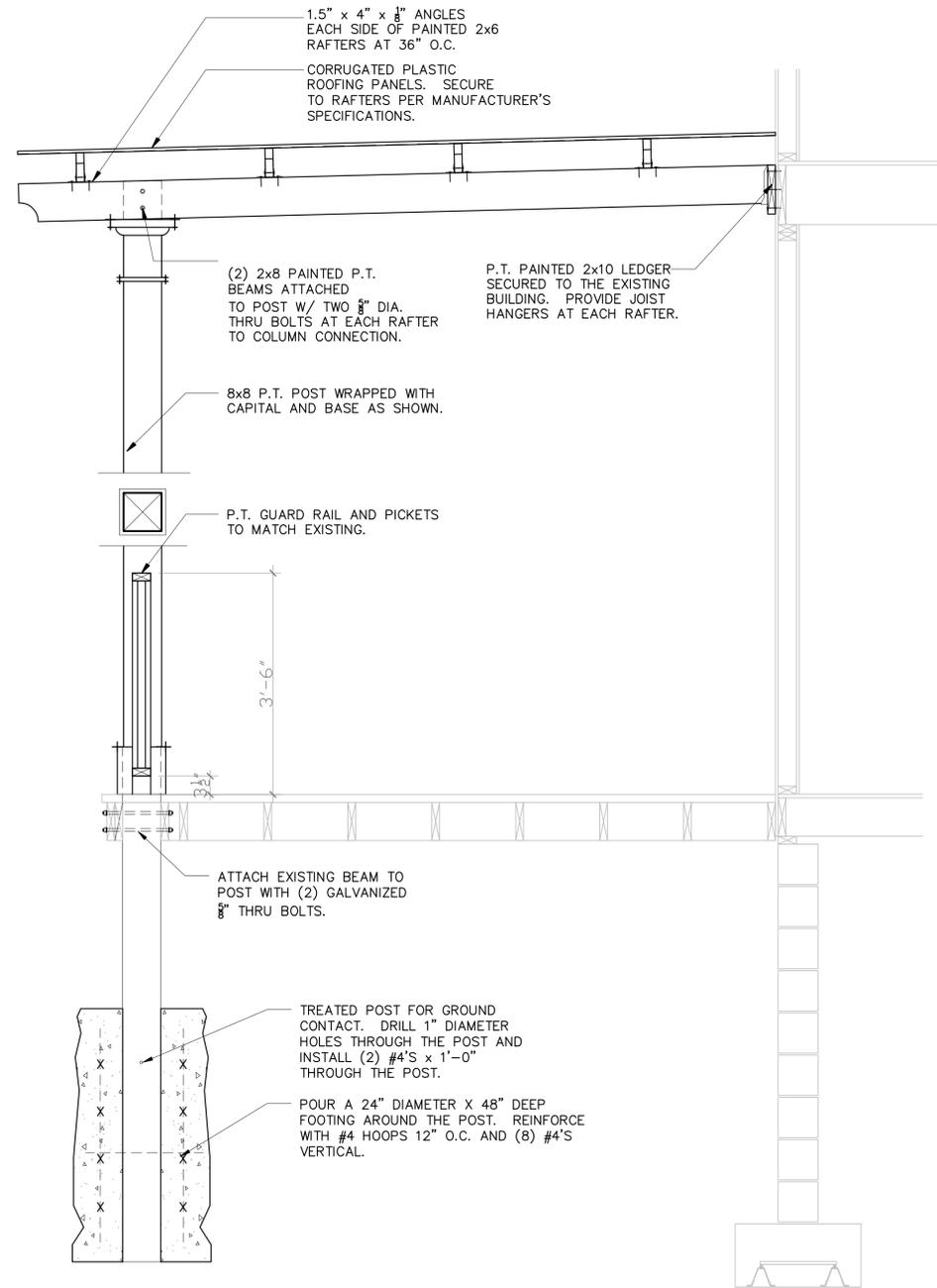
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**EXTERIOR ELEVATIONS**

Sheet No. **A2.0**  
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The Dispensary  
At Carson Cottages

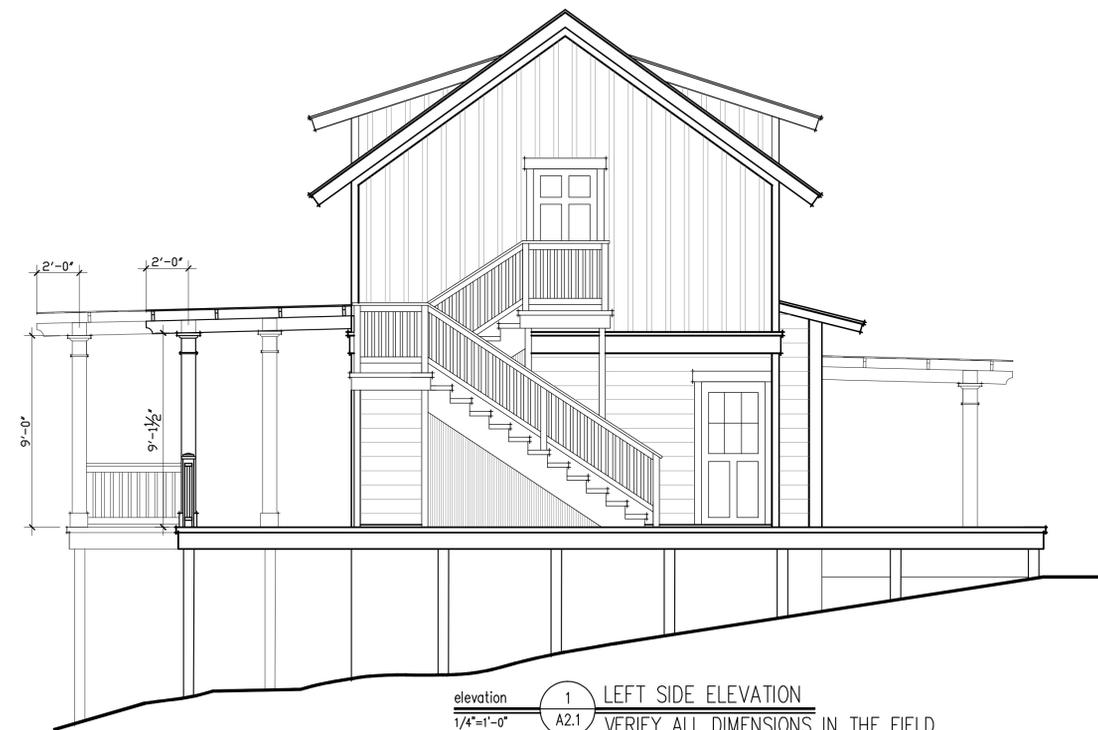
Calhoun Street  
Town of Bluffton, SC  
Building 3 & 5



section **3** DETAIL  
3/4"=1'-0" A2.1 VERIFY ALL DIMENSIONS IN THE FIELD



elevation **2** RIGHT SIDE ELEVATION  
1/4"=1'-0" A2.1 VERIFY ALL DIMENSIONS IN THE FIELD

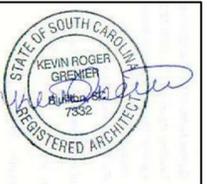


elevation **1** LEFT SIDE ELEVATION  
1/4"=1'-0" A2.1 VERIFY ALL DIMENSIONS IN THE FIELD



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Revisions

1	HPC COMMENTS	04.11.16

Project No. 13137

File Name:

Drawing Title:

EXTERIOR  
ELEVATIONS

Sheet No. **A2.1**

Scale:



**PLAN REVIEW COMMENTS FOR COFA-03-16-009546**

Town of Bluffton  
 Department of Growth Management  
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
 Telephone 843-706-4522  
 OLD TOWN

**Plan Type:** Historic District **Apply Date:** 03/04/2016  
**Plan Status:** Active **Plan Address:** 15 Captains Cv  
 BLUFFTON, SC 29910  
**Case Manager:** Erin Schumacher **Plan PIN #:** R610 039 00A 0126 0000  
**Plan Description:** A request by Thomas Viljac, for the review of a Certificate of Appropriateness to allow the construction of a trellis of approximately 835 SF along the western elevation of the Dispensary and another 240 SF at the north elevation on the property identified as 15 Captains Cove in the Carson Cottages Development and zoned Neighborhood Center-HD.  
**STATUS:** The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the March 14th meeting.

**Staff Review (HD)**

**Submission #: 1** Recieved: 03/04/2016 Completed: 03/10/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	03/10/2016	Erin Schumacher	Approved with Conditions

**Comments:**

1. Provide additional architectural details to explain the note "8x8 post wrapped with capital and base" on detail 3/A2.1 (Applications Manual)
2. Provide an architectural detail of the railing and baluster configuration, noting the spacing between the balusters. (Applications Manual)
3. The proposed column spacing does not meet the requirement of "no further apart that they are tall" and must be revised to meet the requirements of the UDO. (UDO Section 5.15.6.H.1.a.)
4. A development plan amendment is required to be submitted to DRC for review as this project involves creating +1000 SF of additional impervious coverage on the site. (Applications Manual)

HPRC Review	03/10/2016	Erin Schumacher	Approved with Conditions
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**Comments:**

1. Provide additional information regarding impacts that may occur to the existing tree canopy (branches or trees) due to the proposed trellis construction. (Applications Manual)
2. The trellis seems to be projecting well over the edge of the deck (+2'-0"). The size of this overhang should be reduced to be more in proportion to the design of the structure. (UDO Section 5.15.6.P. 1.)
3. Clear corrugated plastic for the trellis is not an approved material and must be reviewed by the HPC to determine if it is an appropriate substitute in this instance. (UDO Section 5.15.6.J.2. and 5.15.6.A.)
4. The plastic corrugated panels are not typical for a trellis. A more traditional design for a trellis's is usually open air and allow the breeze to flow through it. (UDO Section 5.15.6.1.)
5. Provide a project narrative describing the reasons for requesting this trellis/covered deck application. (Applications Manual)
6. For the final application, provide a roof plan on the site plan so it is clear what areas are existing roofs and where the trellis is proposed. (Applications Manual)

Stormwater Review	03/10/2016	William Baugher	Approved with Conditions
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**Comments:**

1. Provide plan that shows where and how the western trellis impacts the conveyance ditch.

Beaufort Jasper Water and Sewer Review	03/10/2016	Dick Deuel	Approved
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**Comments:**

1. No comment.

Engineering Department Review -  
HD

03/08/2016

Karen Jarrett

Approved

**Comments:**

1. No comments.

Addressing Review

03/04/2016

Theresa Thorsen

Approved

**Comments:**

1. No comments.

**Plan Review Case Notes:**