

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 6, 2016
PROJECT:	101 Bridge Street – Rehabilitation
APPLICANT:	Gerry Diaz, Town of Bluffton
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Gerry Diaz on behalf of the Town of Bluffton, requests that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9457.** A Certificate of Appropriateness to allow for the preservation and rehabilitation of the structure known as the Garvin (Garvey) House on the property identified as R620 039 00A 0190 0000, in the Oyster Factory Park, and zoned Riverfront Edge-HD.

INTRODUCTION: The existing structure, located at 101 Bridge Street and known as the Garvin (Garvey) house, is located in Oyster Factory Park within the Old Town Bluffton Historic District. The property was designated in the National Register Nomination as a Contributing Structure, and is designated locally as a historic structure within the Old Town of Bluffton Historic District. The remaining structure is approximately 1,140 square feet in area and is believed to have been constructed around 1870 by Cyrus Garvin. It is the only known freedman’s cottage built on the waterfront. It was originally a one and one-half story, three by wide structure on brick piers with weatherboard siding and fronted by a porch supported by 6 square columns. What remains is the main body of the house. Both the front porch and rear lean-to portion have collapsed and are no longer on the site. Significance of this structure is noted in the National Register Nomination and Town of Bluffton’s Historic Resources Survey (2008) includes the association with the African-American history in Bluffton.

The Town of Bluffton, in collaboration with Beaufort County, own and manage Oyster Factory Park. The future plan is to use the Garvin House property for an interpretation center where the history of the family and the African-American/Gullah Geechee culture of Bluffton and the Lowcountry can be shared with visitors. This use is in compliance with the Riverfront Edge-HD Zoning District as set forth in Article 4, Zoning Districts of the Unified Development Ordinance

The proposal includes rehabilitating and preserving the remaining portion of the structure and reconstructing the front porch and rear lean-to which have collapsed and no longer remain on the site. Additional improvements include reconstruction of windows and doors; reconstruction of the main chimney; and upgrading the

insulation, electrical, and foundation system while retaining the character defining features of the structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the March 14, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Finding. The Secretary of the Interior's Standards for Rehabilitation consist of ten standards for rehabilitation supported by additional information provided in the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings. For this application, the Standards for Rehabilitation apply because the building is a Contributing Structure in the Bluffton Historic District. Overall, Town Staff finds that these requirements, with the conditions noted, have been met. In particular standards 1, 2, 3, 4, 5, 6, 8, 9, and 10 apply as stated below:

- Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Finding. The proposal is to reuse and rehabilitate the structure to be used as an interpretation center. The rehabilitation will require minimal changes to the distinctive materials, features, and spaces.

- Standard 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding. The proposed reuse and rehabilitation of the structure will require minimal changes to the remaining distinctive materials, features, and spaces, and in addition will involve the reconstruction and repair to existing architectural features and spatial relationships that have been lost over time.

- Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Finding. The proposed rehabilitation of the structure is for the purpose of retaining the structure to preserve its history and reusing it as an interpretation center. The front porch, west chimney, and rear lean-to will all be reconstructed to bring the building back to the way it appeared for the greater part of the 20th century according to photographic and building forensic evidence thus reestablishing it to a more appropriate form without creating a false sense of development.

- Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding. The collapse of the front porch, west chimney and rear lean-to occurred within the last 30 years of the building's 140+ year history. As such, it is appropriate to reinstate them as this deteriorated state and the changes to the property that it has caused have not acquired significance (typically 50 years) and thus it is appropriate to reconstruct them.

- Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Finding. The intent of the application is to retain all remaining materials, features, finishes and construction techniques. The areas of new construction will be undertaken in a manner consistent with historical construction techniques and will have minimal impact of the remaining historic materials.

- Standard 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a

distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Finding. The Applicant has stated that the intent is to repair and reuse as much existing building fabric as possible and that where replacement occurs, the new features will match the old.

- Standard 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding. No known archeological resources will be disturbed during the proposed activities. Should such items be discovered, Town Staff shall be notified.

- Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment

Finding. The reconstructed portions of the building are based on the historical design and are not proposed as "new" additions or adding new space to the structure. As such, they will only be differentiated by the construction techniques most of which will be concealed behind interior/exterior coverings and therefore not visible to the typical observer.

- Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding. The reconstructed portions of the building are based on the historical design and are not proposed as "new" additions. The intent of the reconstructed portions are to bring the building back to a more complete version of itself as it existed the majority of its existence. The essential form and integrity of the remaining historic materials will be unimpaired by the reconstruction if they were removed in the future.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced."

The Applicant proposes to rehabilitate an existing historic Contributing Structure within the Old Town Bluffton Historic District, to bring it back to an occupiable state. The proposed rehabilitation will provide an opportunity to protect the history of the structure by remediating the currently deteriorated physical condition and make it safe for visitors to experience.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. A few items proposed in the new construction are not in conformance with those standards and require a determination from HPC as indicated in Section 3.b below.
 - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. Rehabilitating this historic structure for reuse with minimal impact to the historic integrity of the materials will provide an opportunity to preserve the legacy of the Garvin (Garvey) House in Bluffton.
3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* The proposal for the preservation/rehabilitation of the Garvin House has been crafted to be in accordance to the Secretary of Interior's Standards and has been approved by the architectural staff at the Department of Archives and History. As such, there are a few items that do not meet the dimensional standards of the UDO as they are to in accordance with a historic configuration or designed to be as minimally invasive as possible. The following items below are not in conformance with the Design Standards set forth in Article 5 and must be reviewed by HPC for appropriateness.

Section 5015.6.E.5. Porches. The proposed height of the porch is just under 24" and does not meet the required 30". The height is based on historic images and documentation noting that a height of less than 30" is appropriate in this case. As this is a deviation from the standard, HPC must determine if it is appropriate in this case.

Section 5.15.6.H.2.d. Columns, Arches, Piers, Railings, Balustrades. The proposed guard rail and hand rails along the front porch and at the rear stoop are 1-1/4" x 1-1/4" square metal railings. The UDO calls for a minimum top rail of 2-3/4". The railings are proposed at this dimension to minimize their visual impact to the historic structure while providing for safety. As this is a deviation from the standard, HPC must review this detail and determine if it is appropriate in this case.

Section 5.15.6.J. Roofs and Gutters. The proposal includes replacing the existing corrugated metal roof with a new corrugated metal roof. This material is not listed as a permitted material and must be reviewed and approved by the HPC as an allowable substitute in this instance.

4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that the retention and rehabilitation of this historic structure into its most complete form from the 20th century is consistent and harmonious with the surrounding neighborhood. The building will retain its prominent position on the site and will have the architectural features reinstated that lend to the character defining features typical to the Lowcountry and Bluffton in particular.

5. Section 3.18.3.E. Consistency with the preservation of the existing building's character and architecture.

Finding. The Applicant seeks to preserve the existing materials, rehabilitate the structure and reconstruct the porch and lean-to. The methods prescribed are in accordance with the Secretary of Interior's Standards and have been reviewed and approved by the architectural historian at the SC Department of Archives and History in accordance with the stabilization grant requirements. As such, the preservation of the building's character and architecture has been held paramount in the application and will be in accordance with best practices in the field of historic preservation.

6. Section 3.18.3.F. Impact on the historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks to rehabilitate the existing structure, reconstruct the elements lost to decay and neglect, and make it safe and secure for visitors. The intent of the proposal is to preserve as much of the existing materials as possible and seamlessly integrate the repairs/reconstructed elements as needed in a manner consistent to the historical photographic and building forensics evidence. As such, the historic, architectural, and aesthetic features will not be altered or removed in a manner that negatively impacts the structure and as such will have no negative impact to the public interest.

7. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the criteria described in the previous sections and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.A. The HPC has the authority to approve substitute materials for those listed as options under the Architectural Standards and allow for deviations from the design standards when deemed appropriate. As such, determinations are required for the following:
 - a. The proposed height of the porch being under the required 30" height.
 - b. The proposed guard rail and hand rails along the front porch being less than the minimum top rail of 2-3/4".
 - c. Allowance of corrugated metal roofing as an allowable substitute to replace the existing corrugated metal roofing.

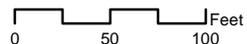
ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Plans
5. HPRC Report
6. Historic Resource Survey Sheet and National Register Listing

101 Bridge Street Location Map

 Site

Date: 4-6-2016



DISCLAIMER:
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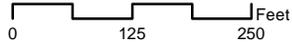


101 Bridge Street Preservation Zoning Map

***** Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 12-16-2014



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Project Narrative

The project will encompass the restoration and renovation of an existing structure known as the Garvin House located at within the Oyster Factory Park at 101 Bridge Street. The post and girt structure at this address was constructed around 1879 and is a centerpiece to the public park.

The scope of work includes, but is not limited to: the structural repair and restoration of an existing structure in the Bluffton Historic District. The construction of a new foundation, structural repair of the existing framing; installation of new framing where missing, deconstruction and reconstruction of an existing historic masonry chimney, reconstruction of the main west gable chimney, provision of new mechanical, electrical; wood flooring repairs and infill; stair hall repairs; decorative woodwork repairs including trim, casing; millwork; the reconstruction of the front porch; the reconstruction of the rear lean-to; fabrication and installation of new windows and doors, and exterior painting.

The preservation/rehabilitation plan calls for completing the work to the Secretary of Interior's Standards and the proposed plans have been approved by the SHPO office with the SC Department of Archives and History and found to be in conformance with those standards. There are a few items that do not meet the dimensional standards of the UDO as they are to be in accordance with a historic configuration or designed to be as minimally invasive as possible. Such items include the height of the porch being reduced to approximately 24" rather than the required 30" and the hand rails/guardrails which are 1-1/4" in diameter rather than the required 2-3/4". The project also calls for the use of corrugated metal roofing to replace the existing corrugated metal roofing. As this material has historic precedent on this structure it is requested that the HPC approve it as an allowable substitute.

GARVIN HOUSE: INTERIOR & EXTERIOR RESTORATION

PROJECT INFORMATION

Address: Oyster Factory Park
Wharf Street
Bluffton, SC 29910
TMS#: R620 039 00A 0190 0000

CONTACTS

Owner

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Bluffton, South Carolina 29910

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DRAWING LIST	
NO.	SHEET NAME
T100	COVER/TITLE SHEET
T101	CODE, ZONING, SYMBOLS AND ABBREVIATIONS
R100	SITE PLAN- EXISTING CONDITIONS
R101	PLANS- EXISTING CONDITIONS
R201	ELEVATIONS- EXISTING CONDITIONS
LS101	LIFE SAFETY PLANS
A100	SITE PLAN- LAYDOWN/ CONSTRUCTION PARAMETERS
A101	FLOOR PLANS- NEW CONSTRUCTION
A201	ELEVATIONS- NEW CONSTRUCTION
A301	SECTIONS DETAILS - NEW CONSTR. PORCH ADDITION
A302	SECTIONS DETAILS- NEW CONSTR. FRONT PORCH
A401	ELEVATIONS ROOM 101
A402	ELEVATIONS ROOM 102
A403	ELEVATIONS ROOM 103
A404	ELEVATIONS ROOM 104
A405	ELEVATIONS ROOM 201
A406	ELEVATIONS ROOM 202
A407	ELEVATIONS ROOM 203
A421	SECTION & PLAN DETAILS- INTERIOR STAIRS
A501	LARGE SCALE DETAILS- ROOF
A502	ELEVATION & PLAN DETAILS- FIREPLACE
A503	SECTION & PLAN DETAILS- EXTERIOR STAIRS
A504	LARGE SCALE DETAILS- WALLS
A601	DOOR SCHEDULE AND TYPES
A602	DOORS- EXISTING CONDITIONS
A603	WINDOW SCHEDULE AND TYPES
A604	WINDOW DETAILS- PORCH ADDITION WINDOWS
A621	FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS
S - 1	FOUNDATION & GIRDER PLANS
S - 2	1ST FLOOR FRAMING/WALL PLANS
S - 3	2ND FLOOR/ROOF FRAMING PLANS
S - 4	ROOF FRAMING/COVER PLANS
S - 5	NORTH SIDE WALL SECTION
S - 6	SOUTH SIDE WALL SECTION
S -A1	AS BUILT CONDITIONS
M0-01	MECHANICAL NOTES, LEGEND, & SCHEDULE
M1-01	FIRST FLOOR MECHANICAL PLAN
M5-01	MECHANICAL DETAILS
E0-01	ELECTRICAL NOTES, LEGENDS, & SCHEDULE
E1-01	FIRST & SECOND FLOOR ELECTRICAL PLANS
E5-01	ELECTRICAL SCHEDULES & DETAILS



EXISTING NORTH ELEVATION



LOCATOR MAP- WHARF STREET BLUFFTON, SC



MEADORS INC.
2817 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
10.28.15
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

COVER/TITLE SHEET

T100



MEADORS INC.
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: BLP

REVISIONS

NO.	DATE	NOTES

CODE, ZONING, SYMBOLS AND ABBREVIATIONS

T101

GENERAL NOTES

- THE BUILDING IS AN HISTORIC STRUCTURE. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015 FOR EXISTING PHOTOGRAPHS AND BUILDING CONDITIONS.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS AND MEADORS CONSERVATION STRUCTURAL ASSESSMENT AND PRESERVATION PLAN UPDATE DATED 02/26/2015. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTIONARY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE INTENT OF THIS PROJECT IS FOR ALL SURFACES OF THE BUILDING INTERIOR TO BE RESTORED OR INSTALLED NEW TO CREATE A COMPLETE INTERIOR ASSEMBLY, INCLUDING BUT NOT LIMITED TO THE FOLLOWING SURFACES: ALL WALLS, CEILINGS, FLOORS, DOORS, AND WINDOWS.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, ALL SAFETY PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONNECTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES. DO NOT SCALE DRAWINGS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZATION IN WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE IBC 2012, AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- DIMENSIONS ON LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS ON SMALL SCALED DRAWINGS.
- PROVIDE TWO WEEKS WRITTEN NOTICE TO ARCHITECT AND OWNER PRIOR TO BEGINNING WORK IN A SPECIFIC AREA.
- THIS PROJECT FALLS UNDER THE ENVIRONMENTAL PROTECTION AGENCY'S RENOVATION, REPAIR, AND PAINTING PROGRAM. FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT GRADE. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO COMPLETE THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS FOR THE INSTALLATION OF NEW MECHANICAL & ELECTRICAL SYSTEMS, INSTALLING NEW MECHANICAL & ELECTRICAL SYSTEMS, AND REPAIRING ALL AREAS DISTURBED WITH NEW IN-KIND MATERIALS OR APPROVED EQUALS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO ROOM FINISH SCHEDULE AND FINISH LEGEND FOR NEW FINISHES.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OF REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER, INCLUDING THOSE ITEMS CURRENTLY STORED, SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)
- PROVIDE AND MAINTAIN WEATHER BARRIERS AS NECESSARY TO PREVENT THE INTRUSION OF WATER AND WEATHER INTO THE BUILDING.
- PROTECT FLOORS IN AND ADJACENT TO DEMOLITION AND CONSTRUCTION AREAS WITH THERMOPLY OR EQUAL. PROTECTIVE COVERING TO EXTEND A MINIMUM OF 4' BEYOND WORK AREA. ALL JOINTS SHALL BE TAPED CONTINUOUSLY.
- AVOID DAMAGE TO INTERIOR & EXTERIOR FINISHES DURING THE COURSE OF THE WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL FINISHES.
- REMOVE ALL EXISTING ELECTRICAL SYSTEMS.
- ALL PLANTINGS AND PAVING TO REMAIN. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THE RESTORE THE SITE TO THE CONDITION IT WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS
- REMOVE TEMPORARY SHORING COMPLETE FOLLOWING STRUCTURAL REPAIRS.
- DIMENSIONS TO F.O. STUD UNLESS NOTED OTHERWISE.

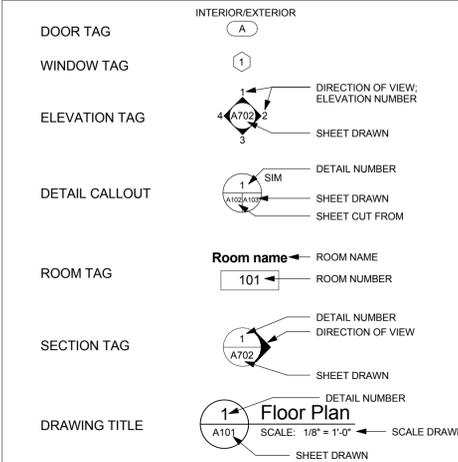
ABBREVIATIONS

& @ AFF ALT APPROX ARCH	AND AT ABOVE FINISHED FLOOR ALTERNATE APPROXIMATE ARCHITECTURAL	INSUL INTR	INSULATION INTERIOR
BLDG B.O.	BUILDING BOTTOM OF	KH	KITCHEN HOUSE
CL CLG COL CONC CONST	CENTERLINE CEILING COLUMN CONCRETE CONSTRUCTION	MATL MAX MECH MFR MIN MISC M.O. MTL	MATERIAL MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING METAL
DET / DTL DIA DIM DN DR DWGS	DETAIL DIAMETER DIMENSION DOWN DOOR DRAWINGS	NIC NTS	NOT IN CONTRACT NOT TO SCALE
EA ELEV EQ EQUIP EXIST EXTR	EACH ELEVATION EQUAL EQUIPMENT EXISTING EXTERIOR	OC	ON CENTER
FV FF FACP FD FDN FE FEC FIG FIN FLR	FIELD VERIFY FINISH FLOOR FIRE ALARM CONTROL PANEL FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER & CABINET FINISH FLOOR	PLUMB PT	PLUMBING PRESSURE-TREATED
GALV GA GYP BD	GALVANIZED GAUGE OR GAGE GYPSUM BOARD	REF REINF REQ'D REV	REFERENCE REINFORCING REQUIRED REVISION
HORIZ HT HVAC	HORIZONTAL HEIGHT HEATING, VENTILATION, & AIR CONDITIONING	SCHED SIM SPECS SQ SQ FT STD STRUCT SYM	SCHEDULE SIMILAR SPECIFICATIONS SQUARE SQUARE FEET STANDARD STRUCTURE / STRUCTURAL SYMMETRICAL
		TEMP T.O. TRTD TYP	TEMPORARY TOP OF TREATED TYPICAL
		VERT VIF	VERTICAL VERIFY IN FIELD
		W/ WO WP WT	WITH WITHOUT WATERPROOFING WEIGHT

REFERENCE PLAN LEGEND

--- MISSING ELEMENT

SYMBOLS LEGEND



NEW CONSTRUCTION PLAN LEGEND

- # NUMBERED NEW CONSTRUCTION NOTE
- NEW WOOD FLOORING, LINWORK PATTERN REPRESENTS DIRECTION OF FLOORING
- NEW WALL
- EXISTING FLOORS & WALLS (CONDITION VARIES- SEE ASSESSMENT AND EXISTING CONDITION PHOTOGRAPHS)
- NEW MASONRY PIERS & CHIMNEYS (NEW & REBUILT)

GENERAL CODE NOTES

APPLICABLE CODES:
- IBC 2012

BASIC CODE REVIEW INFORMATION

1. Site Development
(All site information is required if project affects the site or if site information is necessary for design purposes. All floodplain information is required even if project does not affect site and is not in the flood plain.)

1.1 Total Area of Project Site (in acres): See civil drawings.

A. Total Area of Project Site that will be Disturbed/Developed (in acres): 0.4225
B. Municipality and/or County Where Project is Located: Town of Bluffton, SC
C. Jurisdiction for: (Provide the name of the applicable authority)
1. Site Work: SCHEC OCRM
2. Fire Department: Bluffton Township Fire District
3. Water: Beaufort-Jasper Water & Sewer Authority
4. Sewer: Beaufort-Jasper Water & Sewer Authority
5. Zoning: Town of Bluffton

1.2 Is Project in a Flood Plain? No
A. Flood Map Information:
B. Flood Zone: C Zone

1.3 Is Project in Wetlands Area? No

2. Occupancy (per IBC Chapter 3)
A. Occupancy Classification: B (OCCUPANCY CHANGED)
B. Additional Occupancy Classification(s): N/A

3. Type of Construction (per IBC Chapter 6)
A. Construction Classification: V-B
B. Is the building construction protected or unprotected: Unprotected
C. Is the building construction of combustible or noncombustible materials: Combustible

PER IBC CHAPTER 5	Square Footage Total Design Area	Without Increase (IBC Table 503)	Square Footage as Allowed by IBC Sprinkler Increase (IBC 506.3)	Total Allowable Area (IBC 506.1)
Existing Building	711 gsf			
First Floor	430 gsf			
Second Floor				
Total	1141 gsf	9,000 sf	N/A	9,000 sf

Building Design Occupant Load (per IBC 1004)

Floor	Design Occupancy Type	Occupancy Floor Area	Floor Area in SF/Occupant	Design Occupant Load
1	B	711 rsf	100 gsf	8
2	B	430 rsf	100 gsf	5
Total Building Occupancy Load:				13

TABLE 5-3 BASIC BUILDING CODE INFORMATION

CONSTRUCTION CLASSIFICATION	Type V-B	(IBC 602)
OCCUPANCY GROUP (indicate all) (Note IBC 506.4.1)	Business Group B	(IBC 302)
OCCUPANCY GROUP (indicate most restrictive)	Business Group B	(IBC Table 503)

Does building require Incidental Use Area Separation?	X no <input type="checkbox"/> yes	(IBC 508.2.5)
Does building have Accessory Occupancy (ies)? What percent of story is accessory occupancy?	X no <input type="checkbox"/> yes	(IBC 508.2) _____ SF %
Mixed occupancy	X no <input type="checkbox"/> yes	(IBC 508)
Non separated	<input type="checkbox"/> no X yes	(IBC 508.3)
Separated	X no <input type="checkbox"/> yes	(IBC 508.4) (IBC 506.5)

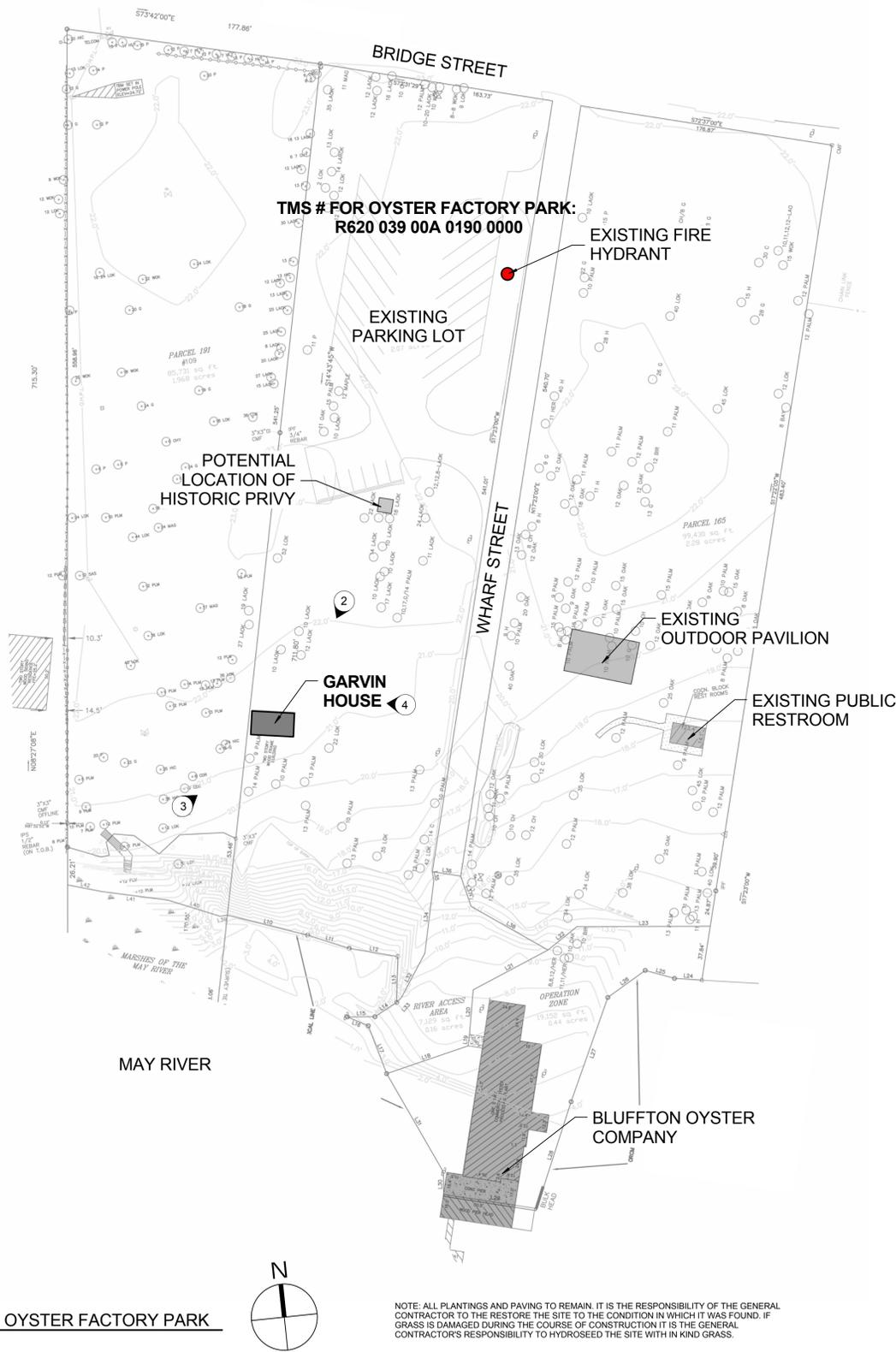
OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES
If the building has any special or notable fire protection or safety feature or hazard the designers should list them here, describe the performance characteristics and refer to locations in construction documents. (e.g. fire extinguishers, smoke- evacuation/control/compartments. Note IBC 414.1.3.)

TABLE 5-6 BUILDING DESIGN OCCUPANT LOAD

Stories & Levels	Function of Space ¹	A Floor Area ²	B Max Area allowed /Occupant ³ (specify NSF or GSF)	C Persons on floor for this Function ⁴	D Design Occupant Load
1 st floor	(1) Business Areas	(2) 711 gsf	(3) 100 gsf	(4) 8	
Subtotal Design Occupant Load for This Story					(5) 8
2 nd floor	(1) Business Areas	(2) 430 gsf	(3) 100 gsf	(4) 5	
Subtotal Design Occupant Load for This Story					(5) 5
Total Building Design Occupant Load					(6) 13

Footnotes:

- Provide the complete name of the Function of space using the left column of Table 1004.1.1 of the IBC.
- Design Area per each occupant of this function on this floor in either Gross or Net square footage
- Allowed Floor Areas in SF per Occupant per right column in Table 1004.1.1 of the IBC
- Divide Column A (2) by Column B (3) for each function and enter the result, rounded up to the nearest whole person (4)
- Subtotal all Column C values for this floor to yield the Design Occupant Load, (5)
- Total Building Design Occupant Load—sum of all Column D value (6)



1 SITE PLAN- OYSTER FACTORY PARK
R100 SCALE: N.T.S.



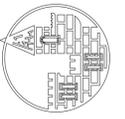
2 SITE PHOTO- LOOKING SOUTH FROM PARKING LOT
R100 SCALE: N.T.S.



3 SITE PHOTO- LOOKING NORTH FROM EDGE OF WATER
R100 SCALE: N.T.S.



4 SITE PHOTO- LOOKING EAST TOWARDS EXISTING CHIMNEY
R100 SCALE: N.T.S.



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**GARVIN HOUSE
OYSTER FACTORY PARK**
Bluffton, SC 29910

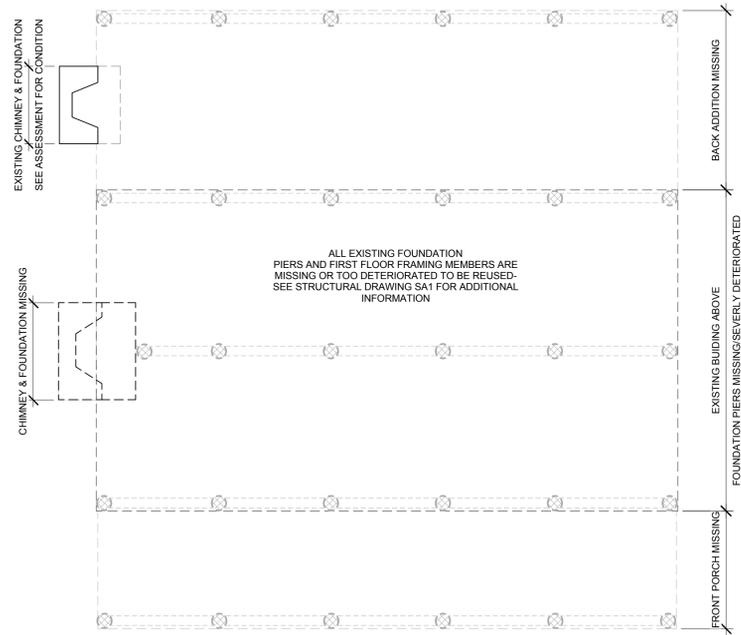
BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: BLP

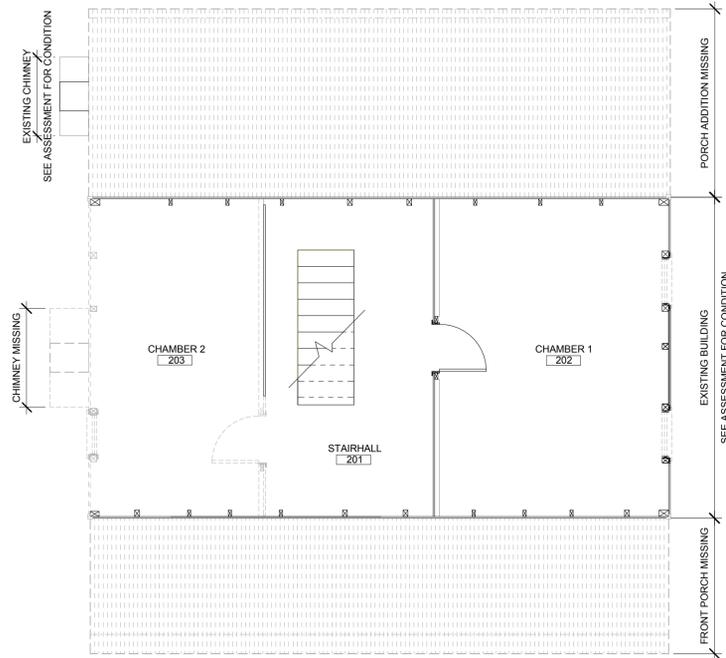
REVISIONS		
NO.	DATE	NOTES

**SITE PLAN-
EXISTING
CONDITIONS**

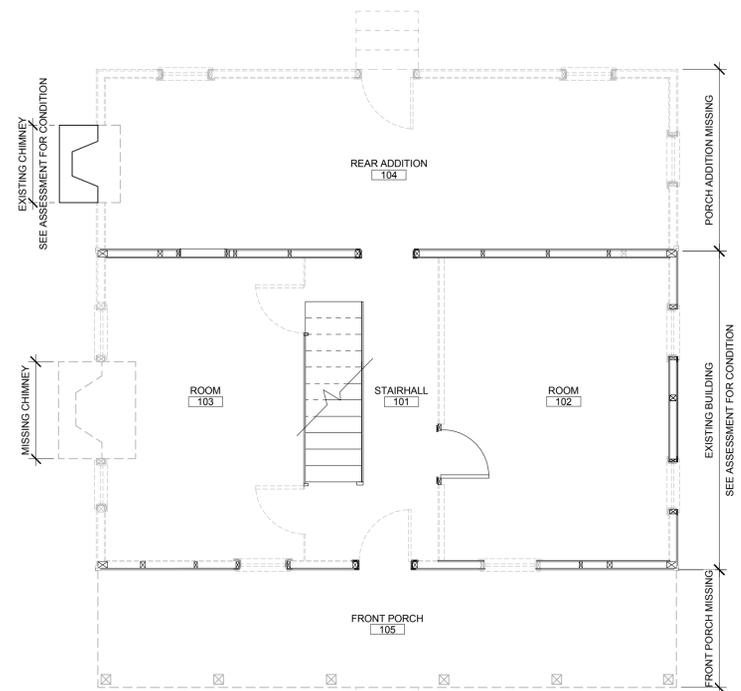
R100



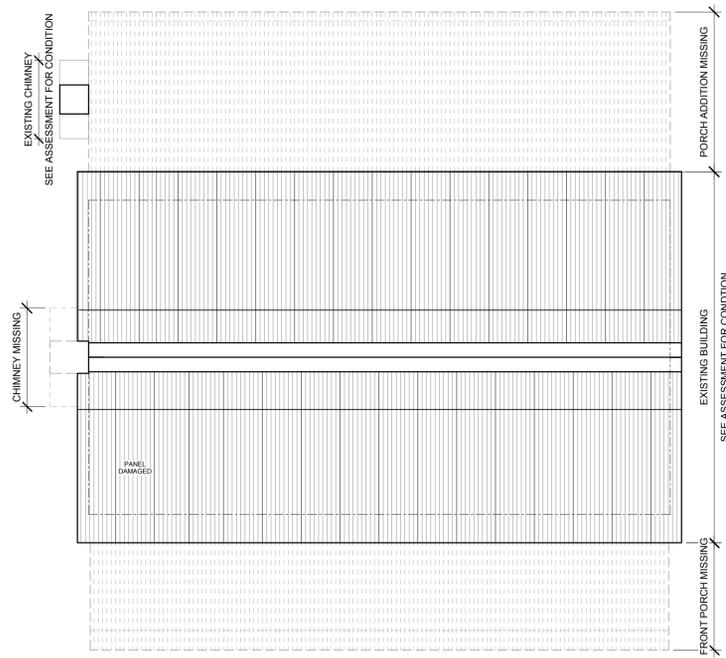
4 FOUNDATION- EXISTING CONDITION
R101 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN- EXISTING CONDITION
R101 SCALE: 1/4" = 1'-0"



3 FIRST FLOOR PLAN- EXISTING CONDITION
R101 SCALE: 1/4" = 1'-0"



1 ROOF PLAN- EXISTING CONDITION
R101 SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES- EXISTING CONDITIONS

1. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT & PRESERVATION PLAN UPDATE REPORT DATED 02/26/2015 AND SA1 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
2. MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL. SEE STORAGE LOG AND REPORT FOR ITEM DESCRIPTIONS.
3. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
4. CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
5. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
6. PORCH ADDITION AND PORCH ARE NO LONGER EXTANT.
7. FOUNDATION PIERS AND FIRST FLOOR FRAMING MEMBERS ARE TOO DETERIORATED TO BE REUSED.

REFERENCE PLAN LEGEND

--- MISSING ELEMENT



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PLANS- EXISTING CONDITIONS

R101



1 EAST ELEVATION- EXISTING CONDITION
SCALE: N.T.S.



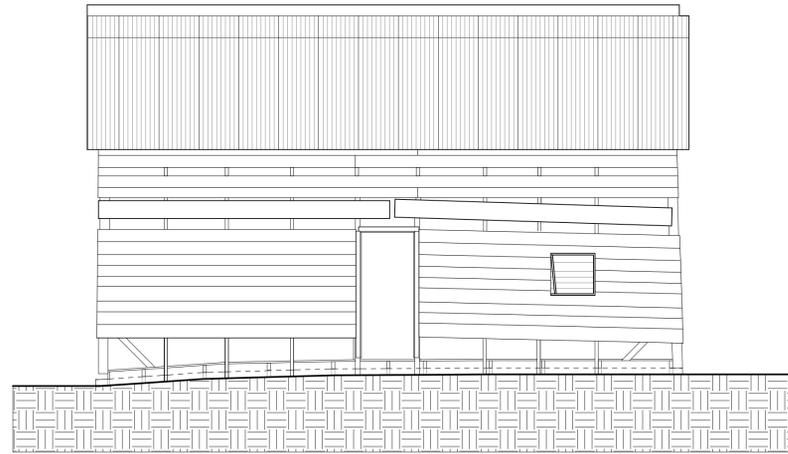
2 NORTH ELEVATION- EXISTING CONDITION
SCALE: N.T.S.



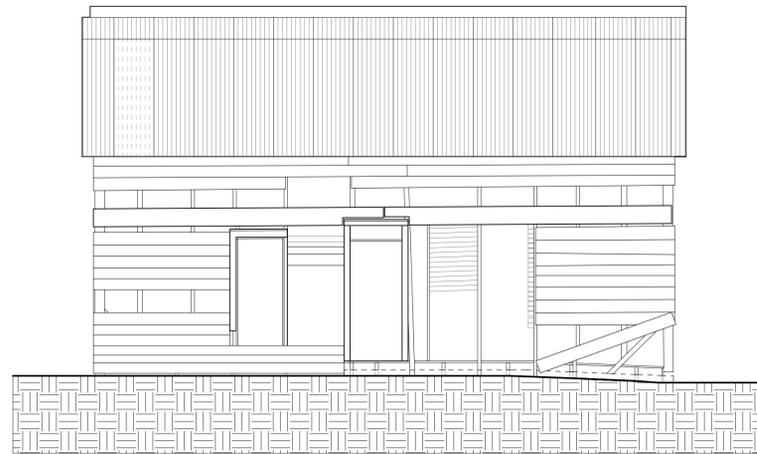
3 SOUTH ELEVATION- EXISTING CONDITION
SCALE: N.T.S.



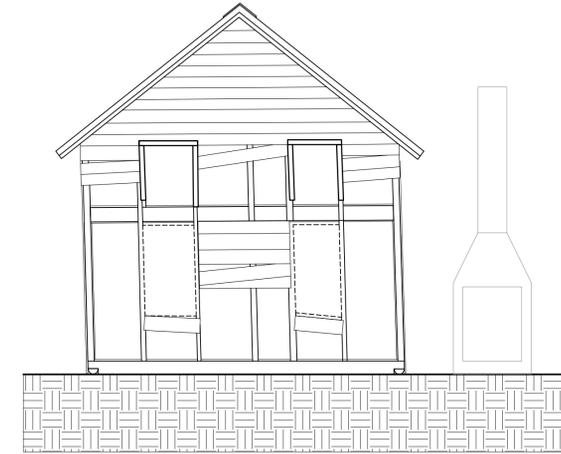
4 WEST ELEVATION- EXISTING CONDITION
SCALE: N.T.S.



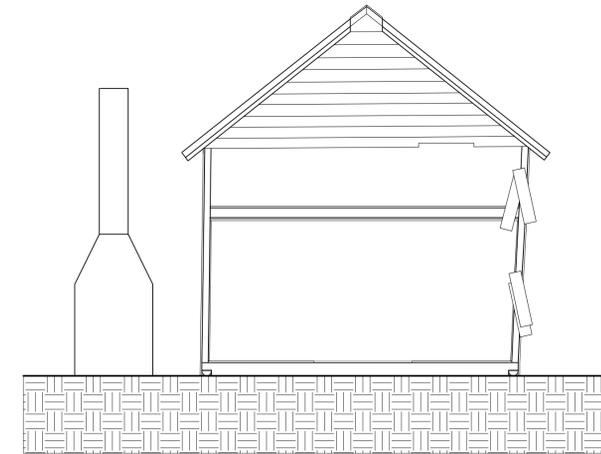
7 NORTH ELEVATION- EXISTING
SCALE: 1/4" = 1'-0"



6 SOUTH ELEVATION- EXISTING
SCALE: 1/4" = 1'-0"



8 EAST ELEVATION- EXISTING
SCALE: 1/4" = 1'-0"



5 WEST ELEVATION- EXISTING
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION NOTES- EXISTING CONDITIONS

1. REFERENCE MEADORS CONSERVATION STRUCTURAL ASSESSMENT & PRESERVATION PLAN UPDATE REPORT DATED 02/26/2015 AND SA1 FOR EXISTING DETAILS AND BUILDING CONDITIONS.
2. MATERIALS SALVAGED FROM THE BUILDING DURING VARIOUS STABILIZATION PHASES HAVE BEEN STORED ON SITE ADJACENT TO THE EXISTING CHIMNEY AND AT BLUFFTON TOWN HALL.
3. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS.
4. CONTRACTOR TO SCHEDULE MEETING WITH ARCHITECT AND OWNER PRIOR TO STARTING CONSTRUCTION TO REVIEW MATERIAL CONDITIONS AND DEFINE MATERIAL REPLACEMENT RUBRIC.
5. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
6. PORCH ADDITION AND PORCH ARE NO LONGER EXTANT.
7. FOUNDATION PIERS AND FIRST FLOOR FRAMING MEMBERS ARE TOO DETERIORATED TO BE REUSED.



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Bluffton, SC 29910

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DRAWN BY: Author

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NO.	DATE	NOTES

ELEVATIONS- EXISTING CONDITIONS

R201



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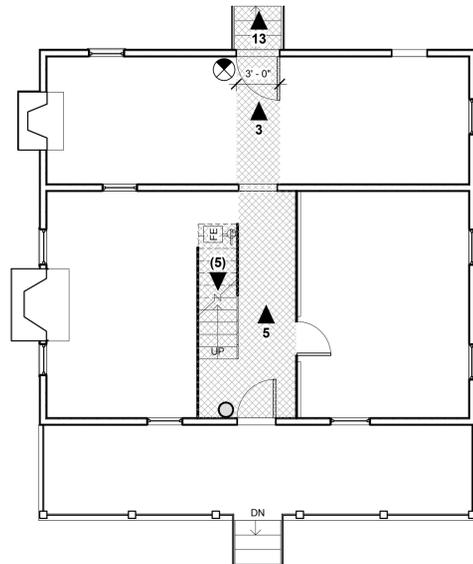
REVISIONS

NO.	DATE	NOTES

LIFE SAFETY PLANS

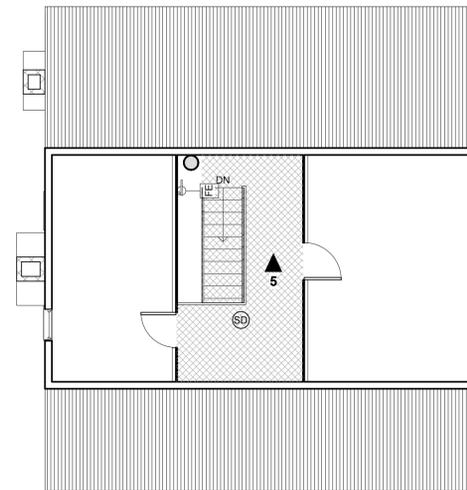
LS101

LIFE SAFETY PLAN LEGEND	
3 ▲	EGRESS COUNT & DIRECTION
(3) ▼	(EGRESS COUNT) INHERITED FROM FLOOR(S) ABOVE
▨	PATH OF EGRESS
⊗	COMBO EXIT/ EMERGENCY LIGHT FIXTURE
○	EMERGENCY LIGHT FIXTURE
FE	FIRE EXTINGUISHER- WALL MOUNTED
SD	SMOKE DETECTOR



1 LIFE SAFETY - FIRST FLOOR
LS101 SCALE: 3/16" = 1'-0"

FIRST FLOOR
GROSS SQUARE FOOTAGE: 711 SF
OCCUPANCY LOAD: 8 OCCUPANTS

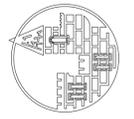


2 LIFE SAFETY - SECOND FLOOR
LS101 SCALE: 3/16" = 1'-0"

SECOND FLOOR
GROSS SQUARE FOOTAGE: 430 SF
OCCUPANCY LOAD: 5 OCCUPANTS

LIFE SAFETY GENERAL NOTES

- OCCUPANT LOAD FOR THIS PROJECT IS DETERMINED USING THE CALCULATION OF 100 GSF PER OCCUPANT, ACCORDING TO IBC TABLE 1004.1.1 FOR BUSINESS USE.
- THIS BUILDING QUALIFIES AS AN HISTORIC BUILDING UNDER IBC 2012.
- HISTORIC DOORS AND WINDOWS HAVE BEEN LEFT IN THEIR EXISTING CONFIGURATIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIFE SAFETY EQUIPMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL ELEMENTS OF THE NEW LIFE SAFETY PLAN IN ACCORDANCE WITH IFC 2012 INCLUDING BUT NOT LIMITED TO: EGRESS FIXTURES, SMOKE DETECTORS, AND FIRE EXTINGUISHERS.
- VERIFY LOCATIONS OF ALL LIFE SAFETY EQUIPMENT WITH THE ARCHITECT PRIOR TO INSTALLATION.



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SITE PLAN-
LAYDOWN/
CONSTRUCTION
PARAMETERS

A100

TEMPORARY CONSTRUCTION DRIVE IS TO BE USED FOR DELIVERIES ONLY. TRUCKS ARE NOT ALLOWED ON THE CONSTRUCTION DRIVE. VEHICLES ARE LIMITED TO THE PARKING LOT. MATERIAL DELIVERIES SHOULD BE MADE WITH MOFFITT OR SIMILAR LIFT.

2- 8 FT GATES REQUIRED (NEW ACCESS GATES TO BE INSTALLED SO THAT VEHICLES AVOID CANOPY OF EXISTING TREES).

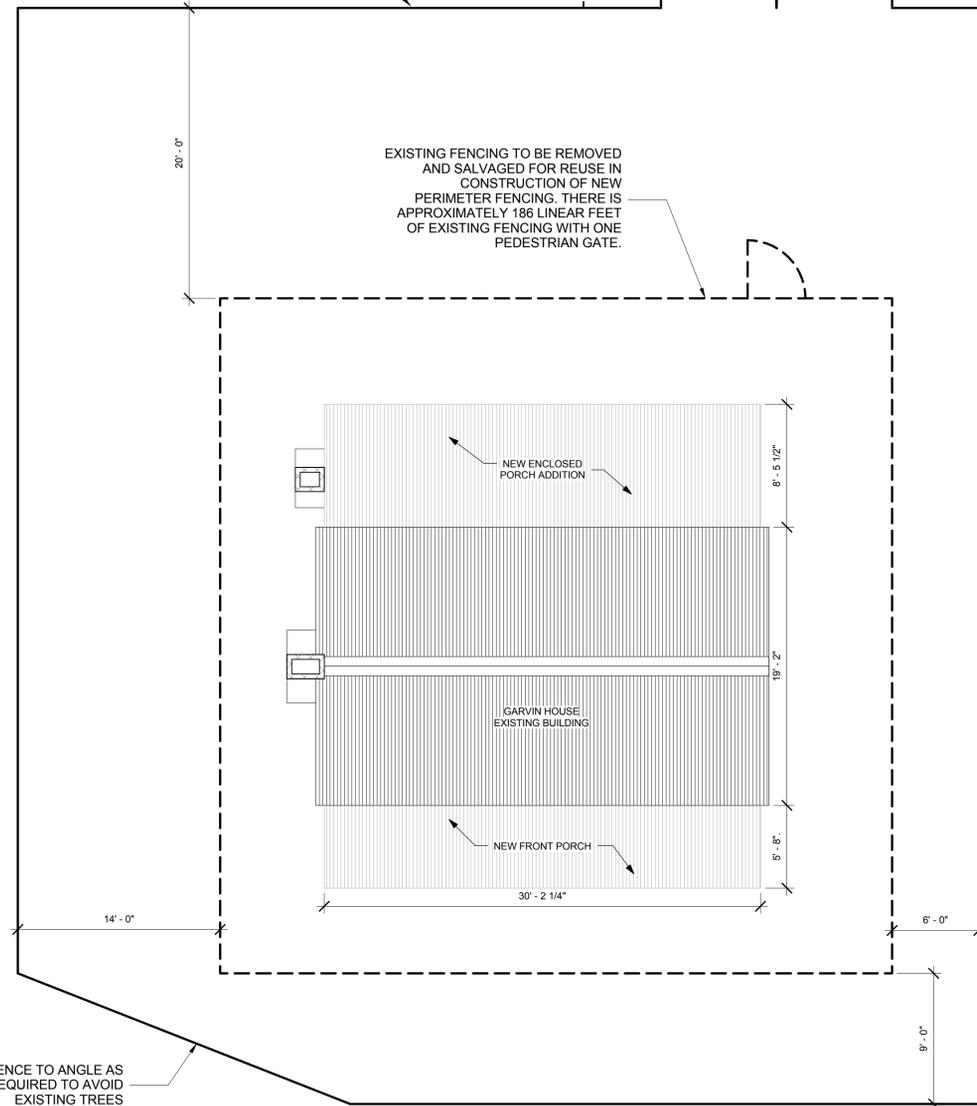
SALVAGED FENCING TO BE REINSTALLED, NEW FENCING AND ACCESS GATES TO BE INSTALLED AS REQUIRED TO ENCLOSE CONSTRUCTION PERIMETER AS DRAWN. NEW FENCING TO MATCH EXISTING FENCING.

ALL CONSTRUCTION MATERIALS AND STAGING TO BE WITHIN THE NEW PERIMETER FENCING. NEW FENCE IS APPROXIMATELY 280 LINEAR FEET.

TEMPORARY CONSTRUCTION DRIVE (EXITS AT PARKING LOT)

REINSTALL SALVAGED PEDESTRIAN GATE AT THIS LOCATION

EXISTING FENCING TO BE REMOVED AND SALVAGED FOR REUSE IN CONSTRUCTION OF NEW PERIMETER FENCING. THERE IS APPROXIMATELY 186 LINEAR FEET OF EXISTING FENCING WITH ONE PEDESTRIAN GATE.



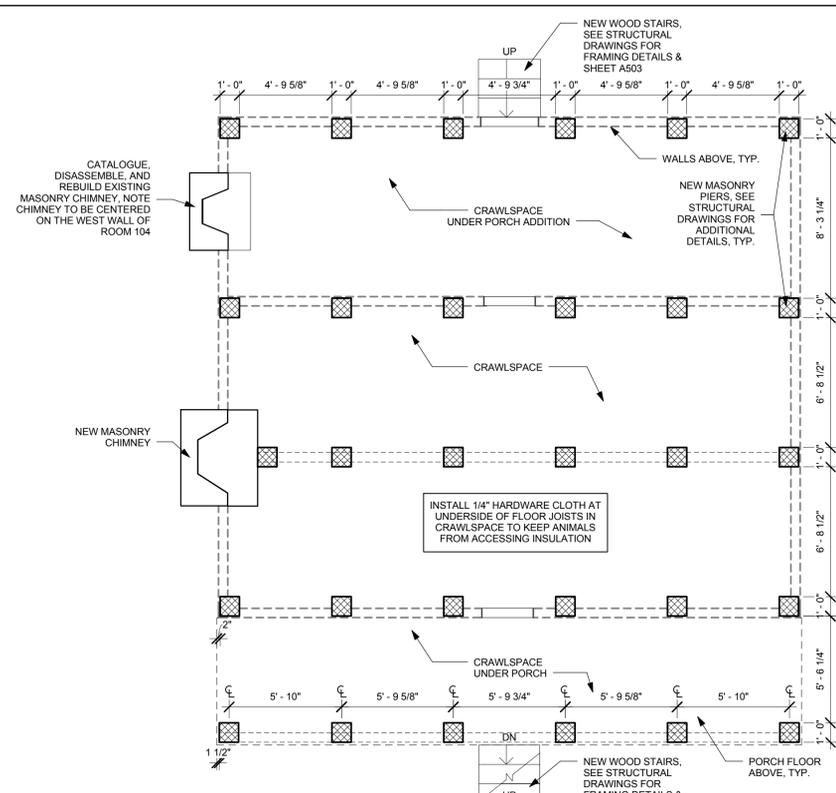
GENERAL NOTES:

- CONSTRUCTION TO HAVE MINIMAL IMPACT ON EXISTING SITE LANDSCAPING
- ALL PLANTINGS AND PAVING TO REMAIN, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESTORE THE SITE TO THE CONDITION IT WAS FOUND. IF GRASS IS DAMAGED DURING THE COURSE OF CONSTRUCTION IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO HYDROSEED THE SITE WITH IN KIND GRASS.
- PORTABLE TOILET TO BE INSTALLED WITHIN CONSTRUCTION FENCE.
- PERIMETER CONSTRUCTION FENCE TO BE COVERED WITH HEAVY DUTY BLACK DEBRIS FIRE RETARDANT SAFETY MESH TO OBSCURE CONSTRUCTION WORK. MESH TO MEET LOCAL LAWS AND REQUIREMENTS OF OSHA.
- CONSTRUCTION DUMPSTER TO BE INSTALLED IN EXISTING OYSTER FACTORY PARK PARKING LOT. LOCATION TO BE CONFIRMED BY ARCHITECT AND OWNER PRIOR TO DELIVERY ON SITE.
- OWNER TO DESIGNATE AREA FOR CONSTRUCTION PARKING IN EXISTING OYSTER FACTORY PARK PARKING LOT. CONTRACTORS ARE NOT ALLOWED TO PARK CARS INSIDE THE CONSTRUCTION FENCE.
- ALL TREES LOCATED WITHIN 50 FEET OF THE CONSTRUCTION DRIVEWAY TO HAVE TREE PROTECTION. FOR PROTECTED TREES 23" OR LESS PROTECTED BARRICADES SHALL BE PLACED A MINIMUM DISTANCE OF TEN FEET (10) FROM THE BASE OF EACH PROTECTED TREE, AND FOR PROTECTED TREES GREATER THAN 23" BARRICADES SHALL PROVIDE A DIAMETER OF PROTECTION AROUND THE TREE EQUAL IN FEET TO THE DIAMETER BREST HEIGHT OF THE TREE (I.E. A 24" DIAMETER TREE WOULD REQUIRE A 24 FOOT DIAMETER PROTECTIVE BARRICADE). ALL BARRICADES TO BE CONSTRUCTED WITH METAL POSTS AND 4 FT. PLASTIC NETTING.

1 SITE PLAN- LAYDOWN AREA/CONSTRUCTION PARAMETERS

A100 SCALE: 3/16" = 1'-0"

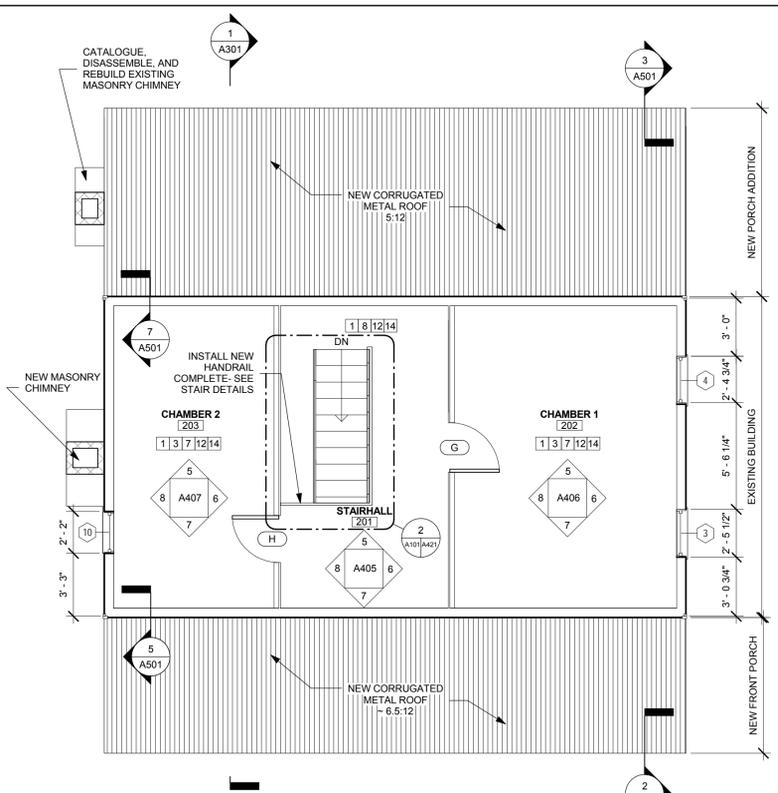




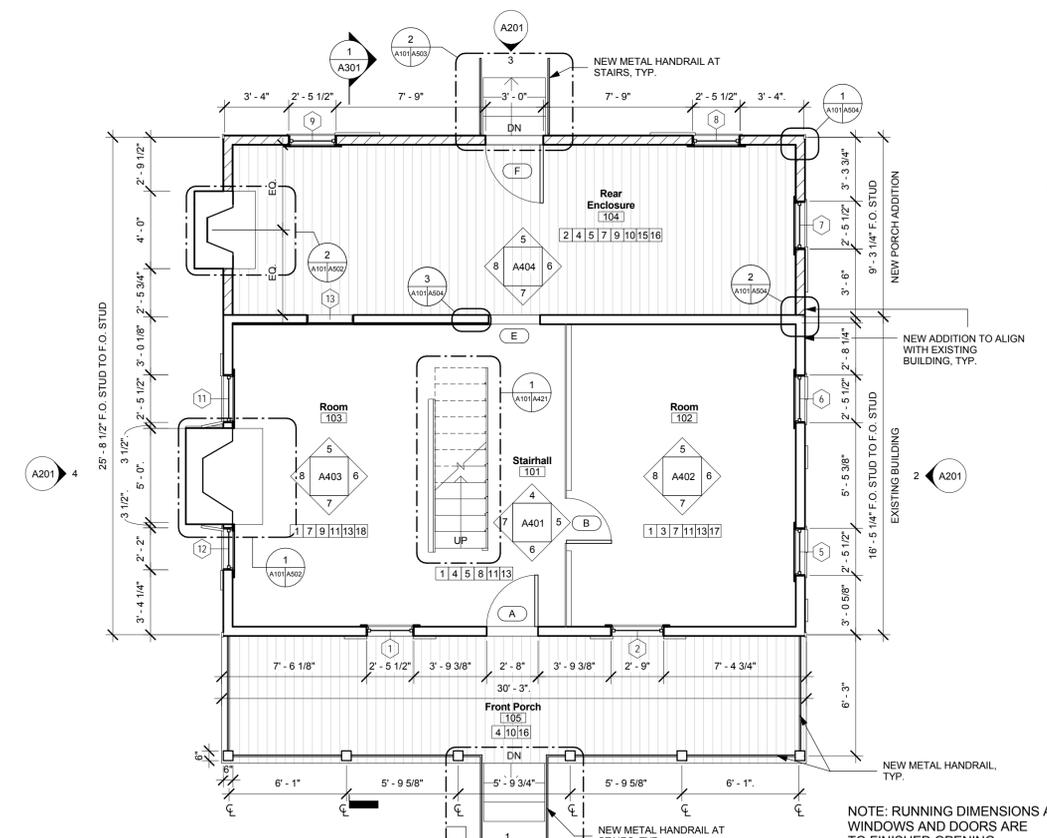
1 FOUNDATION
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:

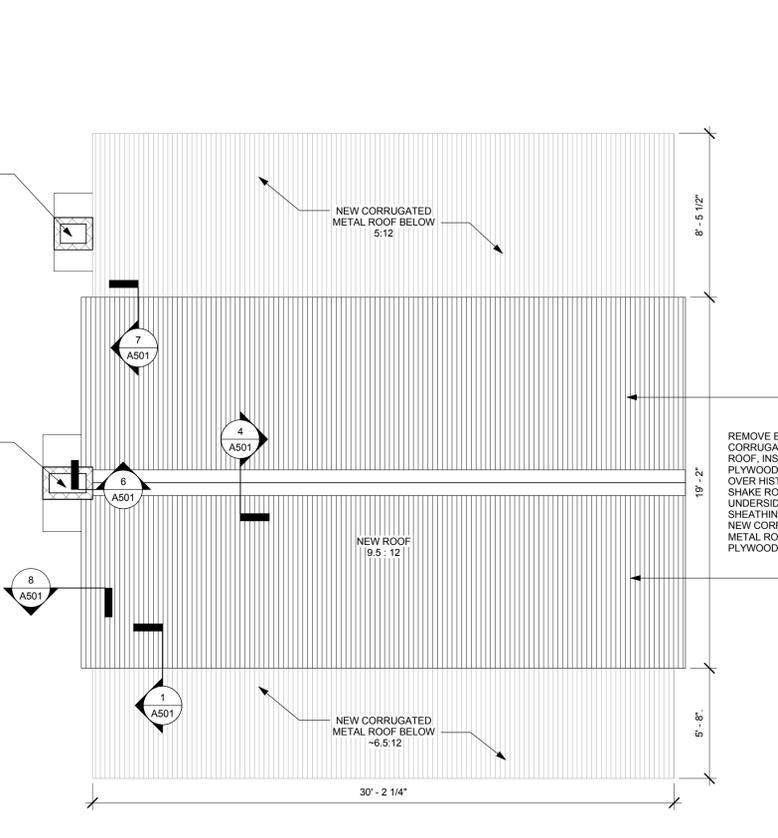
- COORDINATE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- SEE STRUCTURAL DRAWINGS FOR PIER DETAILS & FIRST FLOOR FRAMING PLAN.
- SEE ADDITIONAL NOTES ON INTERIOR ELEVATION SHEETS FOR EACH ROOM.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS REQUIRED.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES. ALL ARTIFACTS ARE THE PROPERTY OF THE OWNER. ALL OBJECTS SHOULD BE PHOTOGRAPHED PRIOR TO RELOCATION. NOTIFY OWNER OF ANY SIGNIFICANT ARCHAEOLOGICAL MATERIAL PRIOR TO REMOVAL.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.
- PROVIDE TERMITE TREATMENT PER SPECIFICATIONS.



3 SECOND FLOOR F.F.
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR F.F.
SCALE: 1/4" = 1'-0"



4 ROOF PLAN
SCALE: 1/4" = 1'-0"

NUMBERED NEW CONSTRUCTION NOTES- REFERENCE GENERAL NOTES ON T101

- WALLS:**
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. RESTORE & REINSTALL EXISTING WALL BOARDS, TRIM, AND FLOORSTOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
 - INSTALL NEW WALLS COMPLETE INCLUDING BUT NOT LIMITED TO WALL FINISH AND TRIM.
- DOORS:**
- RESTORE ALL ELEMENTS OF THE DOOR COMPLETE, INCLUDING BUT NOT LIMITED TO: DOOR, JAMB, TRIM, TRANSOM (WHERE PRESENT). REPLACE ALL MISSING ELEMENTS. REHANG DOOR AS REQUIRED TO ENSURE EXISTING DOORS ARE FULLY OPERATIONAL.
 - INSTALL NEW DOOR. MATCH EXISTING BOARD AND BATTEN DOORS. RESTORE ALL ELEMENTS OF THE DOOR COMPLETE, INCLUDING BUT NOT LIMITED TO: DOOR, JAMB, TRIM, TRANSOM (WHERE PRESENT). REPLACE ALL MISSING ELEMENTS.
- WINDOWS:**
- RESTORE MISSING WINDOWS, JAMB, TRIM & SHUTTERS COMPLETE (SEE WINDOW SCHEDULE ON SHEET A803).
- STAIRS:**
- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL (SEE DETAILS ON SHEET A421). REMOVE PLYWOOD COVER COMPLETE.
- CHIMNEY/FIREBOXES:**
- RESTORE CHIMNEY, FIREBOX, HEARTH COMPLETE (SEE DETAILS ON SHEET A502).
- FLOORS:**
- INSTALL NEW TONGUE AND GROOVE SHEATHING, UNDERLAYMENT, AND WOOD FLOOR (FRONT PORCH DOES NOT REQUIRE SHEATHING).
 - CATALOGUE FLOORING. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND IN-FILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 - FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. THE END OF THE BOARDS, AT THE EAST & WEST GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS. SCOPE OF REPAIRS TO BE REVIEWED BY ARCHITECT PRIOR TO IMPLEMENTATION.
- CEILINGS:**
- CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND IN-FILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
 - CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- INSULATION:**
- INSTALL INSULATION IN WALLS, FLOORS, & CEILINGS OF FIRST FLOOR
- NEW CONSTRUCTION:**
- CONSTRUCT NEW PORCH ADDITION, FRONT PORCH, AND STAIRS COMPLETE.
- CONSERVATION VIEWERS:**
- INSTALL VIEWER IN CEILING
 - INSTALL VIEWER IN WALL

NEW CONSTRUCTION PLAN LEGEND

#	NUMBERED NEW CONSTRUCTION NOTE
[Pattern]	NEW WOOD FLOORING, LINWORK PATTERN REPRESENTS DIRECTION OF FLOORING
[Pattern]	NEW WALL
[Pattern]	EXISTING FLOORS & WALLS (CONDITION VARIES- SEE ASSESSMENT AND EXISTING CONDITION PHOTOGRAPHS)
[Pattern]	NEW MASONRY PIERS & CHIMNEYS (NEW & REBUILT)



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

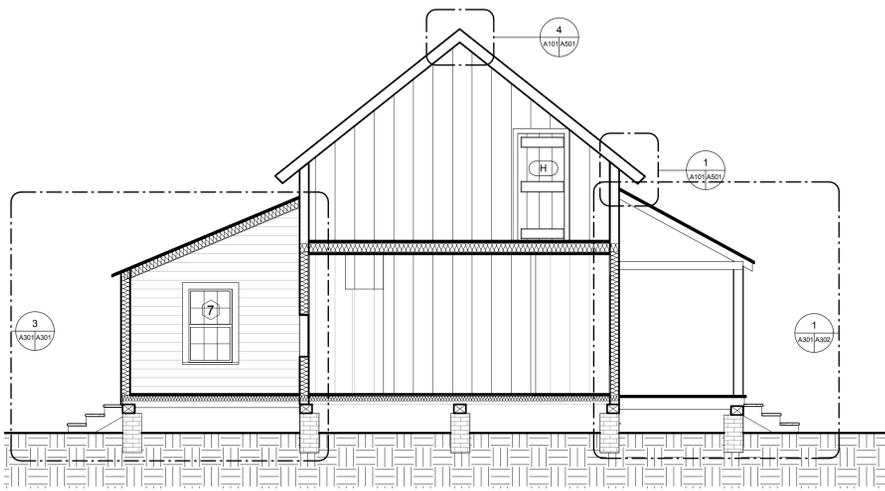
PROJ. NO. OYSTER
DATE: FACTORY PARK
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NO.	DATE	NOTES

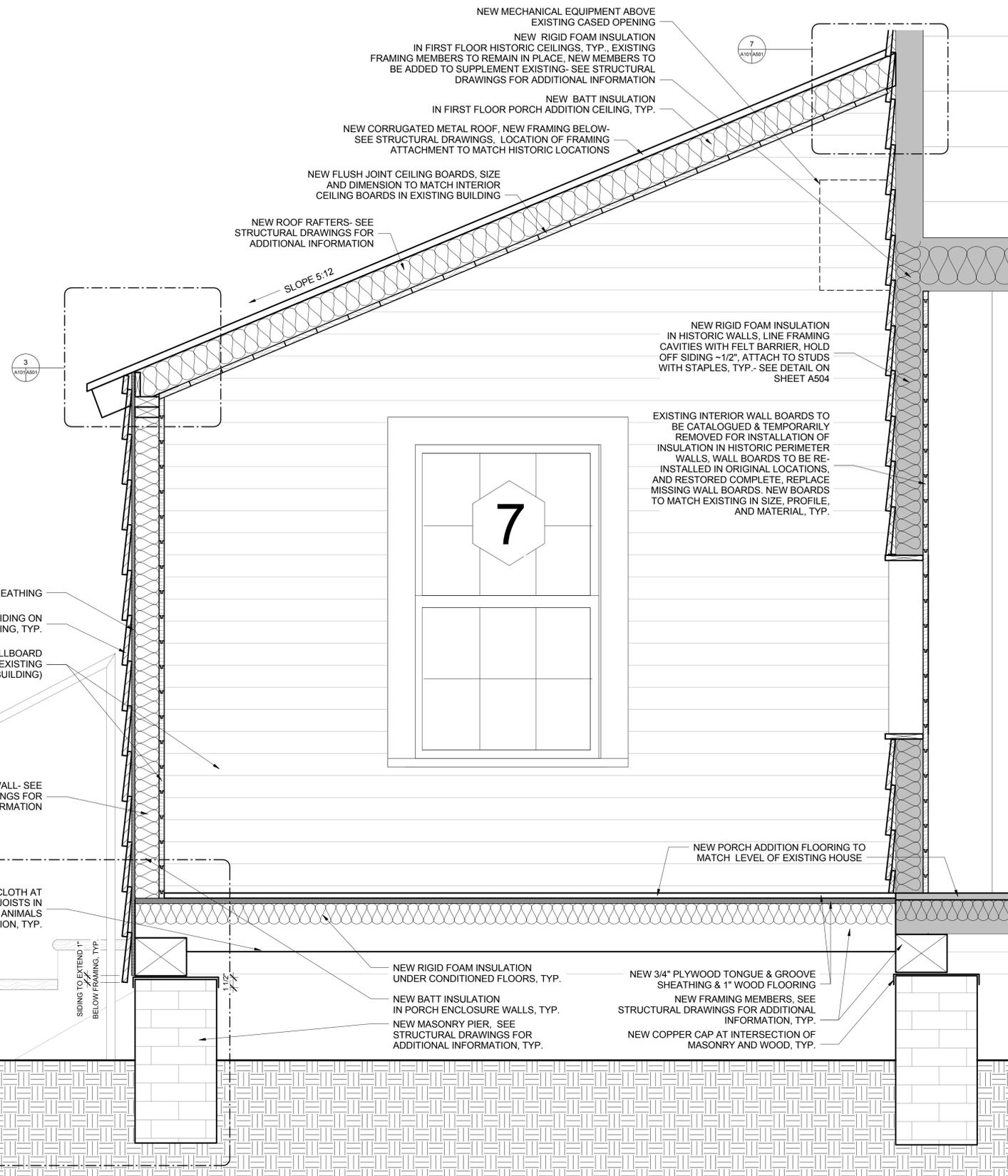
FLOOR PLANS- NEW CONSTRUCTION

A101

PRINTED ON: 10/20/2015 3:40:06 PM FILE LOCATION: Z:\AutoCAD\BIBI_Grove Preservation\Plan\0301_Wing\RebuildGarvin House Schematic Drawings\ENR\BIBI_DOCUMENTS\A101.dwg

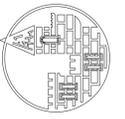


1 BUILDING SECTION- E/W
A301 SCALE: 1/4" = 1'-0"



3 SECTION DETAIL- NEW PORCH ADDITION
A301 SCALE: 1 1/2" = 1'-0"

PRINTED ON: 10/20/2015 14:17 PM FILE LOCATION: Z:\AutoCAD\Bids_Gen\Preparation\Parade\081_Wing\Wing\ReGarvin House Schematic Drawings\FINAL\BID DOCUMENTS\A301.dwg



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OYSTER FACTORY PARK
Bluffton, SC 29910

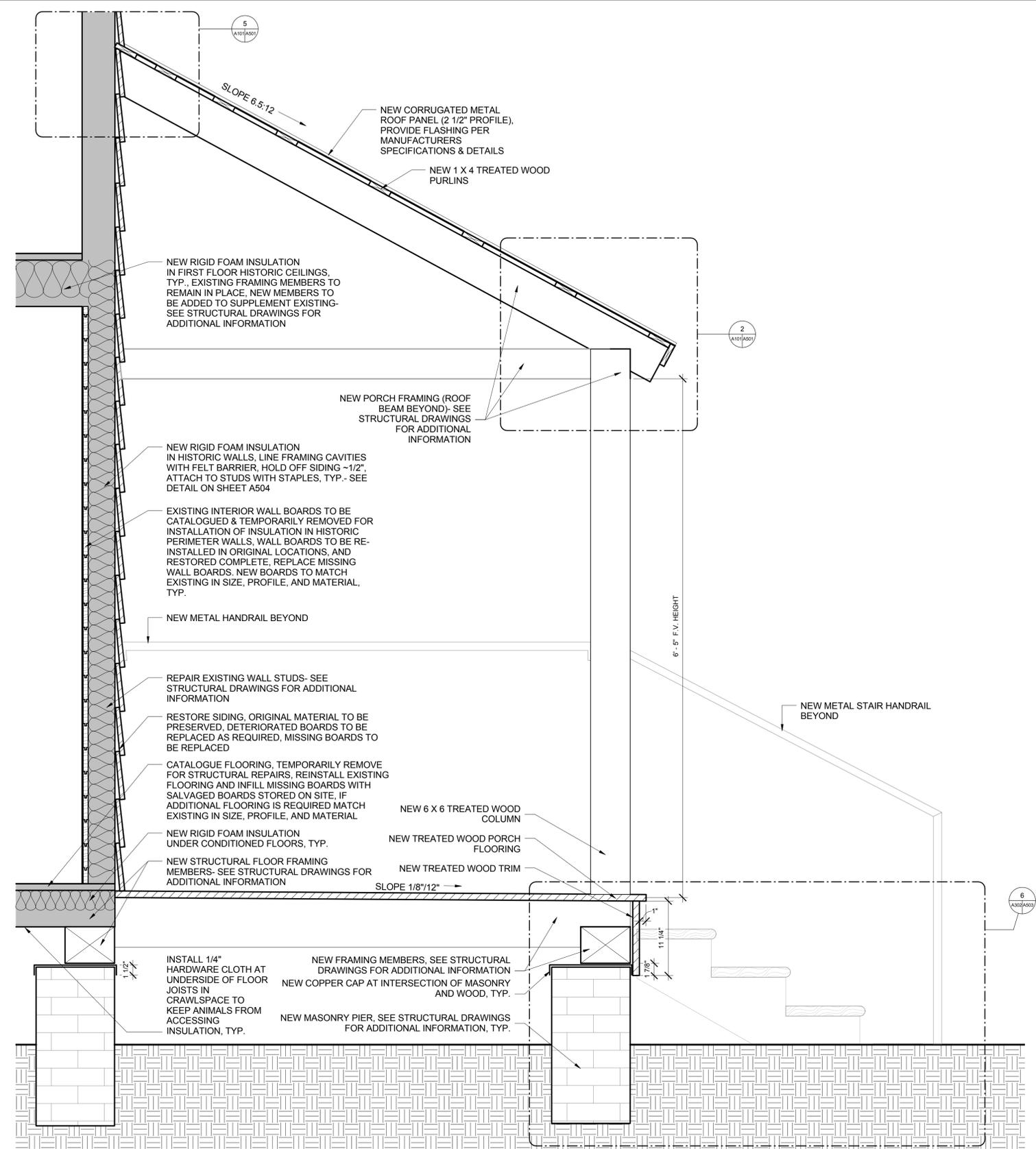
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PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

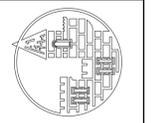
SECTIONS
DETAILS - NEW
CONSTR. PORCH
ADDITION

A301

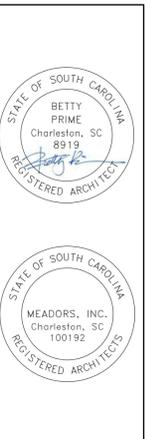


1 SECTION DETAIL- NEW FRONT PORCH
 A302 SCALE: 1 1/2" = 1'-0"

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 Charleston, SC 29419
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NO.	DATE	NOTES

SECTIONS
 DETAILS- NEW
 CONSTR. FRONT
 PORCH
A302

EXISTING CONDITIONS



- REMOVE BOARD
 - REPLACE MISSING HANDRAIL
 - SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
 - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 101.

1 ROOM 101- NORTH WALL
A401 SCALE: N.T.S.



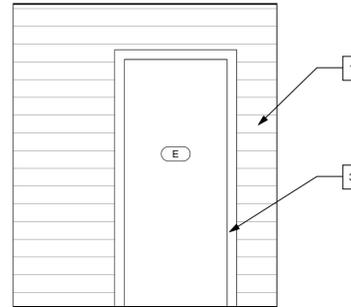
- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
 - TEMPORARILY STORE TRUNK DURING RESTORATION
 - REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
 - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
 - REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- NOTE:
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 102.

2 ROOM 101- NORTH & WEST WALL AFTER 2014 STABILIZATION
A401 SCALE: N.T.S.

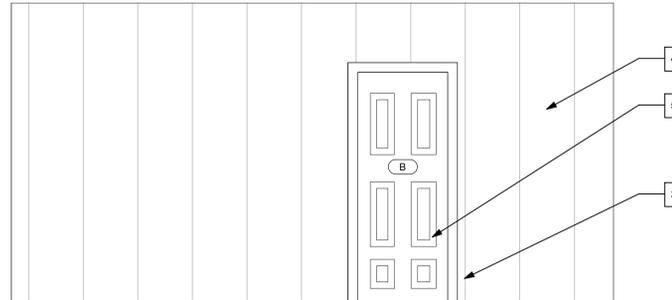


- SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED
 - PANEL WALL HAS BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG
 - ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG
 - CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL
- NOTE:
CURRENT CONFIGURATION OF STAIR HALL. PHOTO TAKEN FROM INSIDE ROOM 102.

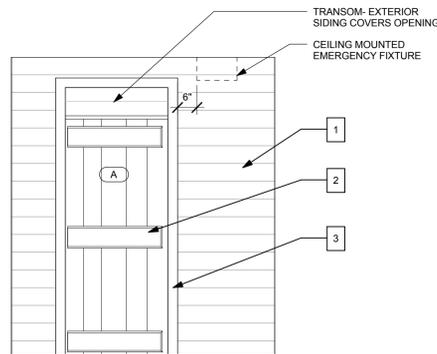
3 ROOM 101- EAST WALL BEFORE 2014 STABILIZATION
A401 SCALE: N.T.S.



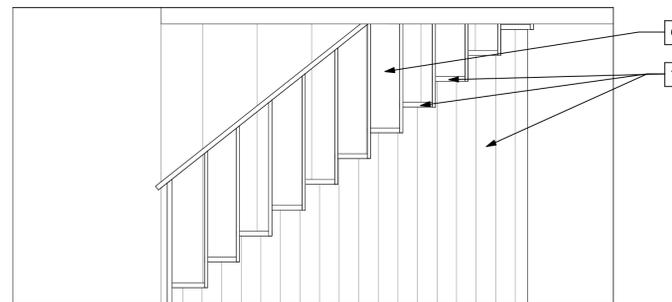
4 INTERIOR ELEVATION- ROOM 101 NORTH WALL
A401 SCALE: 1/2" = 1'-0"



5 INTERIOR ELEVATION- ROOM 101 EAST WALL
A401 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 101 SOUTH WALL
A401 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 101 WEST WALL
A401 SCALE: 1/2" = 1'-0"

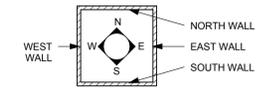
SHEET SPECIFIC NOTES

- 1 REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, AND FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
- 2 INSTALL NEW DOOR, MATCH EXISTING BOARD AND BATTEN DOORS.
- 3 RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT).
- 4 RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS SEEN IN PHOTOGRAPH 3 HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS & FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, & MATERIAL.
- 5 RESTORE & REHANG EXISTING DOOR.
- 6 STABILIZE AND RESTORE PANEL WALL & FLOORSTOPS- ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS & FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- 7 SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS. REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
7. WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
8. FLOORS
CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
9. CEILINGS
CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEMS CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID- TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



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OYSTER FACTORY PARK
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PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
ROOM 101

A401

EXISTING CONDITIONS



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE:
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

1 ROOM 102- NORTH WALL
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

NOTE:
CURRENT CONFIGURATION OF EAST WALL PHOTO TAKEN FROM INSIDE ROOM 102.

2 ROOM 102- EAST WALL
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- RESTORE & REHANG DOOR
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE:
CURRENT CONFIGURATION OF SOUTH WALL PHOTO TAKEN FROM INSIDE ROOM 102.

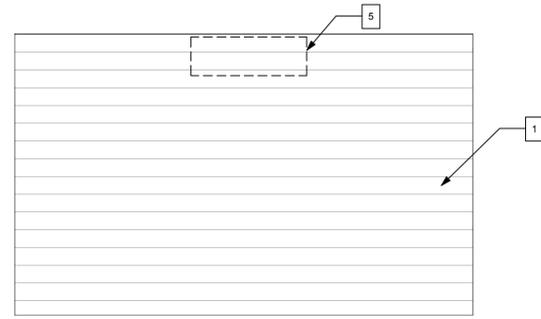
3 ROOM 102- SOUTH WALL
SCALE: N.T.S.



- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES
- RESTORE & RE-HANG DOOR
- TEMPORARILY STORE TRUNK DURING RESTORATION
- REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
- CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

NOTE:
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 102.

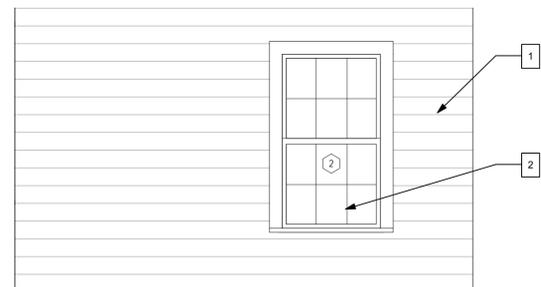
4 ROOM 102- WEST WALL
SCALE: N.T.S.



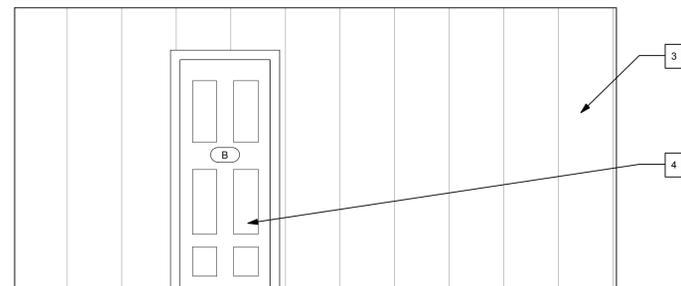
5 INTERIOR ELEVATION- ROOM 102 NORTH WALL
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 102 EAST WALL
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 102 SOUTH WALL
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 102 WEST WALL
SCALE: 1/2" = 1'-0"

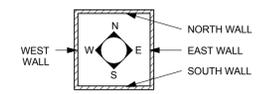
SHEET SPECIFIC NOTES

1. REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, AND FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED. REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
 2. RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE.
 3. RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- PANELS HAVE BEEN SALVAGED AND TEMPORARILY STORED ON SITE FOR REINSTALLATION- SEE SALVAGE LOG. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 4. RESTORE & REHANG EXISTING DOOR.
- NOTE: TRANSPARENT CONSERVATION VIEWER TO BE INSTALLED IN CEILING OF ROOM 102- ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS.
5. NEW MECHANICAL EQUIPMENT.

GENERAL INTERIOR ELEVATION NOTES

1. FIELD VERIFY ALL DIMENSIONS.
2. COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
3. ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
4. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES. FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
5. REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
6. REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
7. WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
8. FLOORS
CATALOGUE FLOORING. TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS. REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
9. CEILINGS
CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION. REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
10. CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
11. EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
12. THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO-LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
13. REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
10.28.15
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
ROOM 102

A402

EXISTING CONDITIONS



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE EXISTING 2 X 4 TABLE COMPLETE

NOTE: CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

1 ROOM 103- NORTH WALL
SCALE: N.T.S.



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED.

REMOVE EXISTING 2 X 4 TABLE COMPLETE

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

NOTE: CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

2 ROOM 103- EAST WALL
SCALE: N.T.S.



REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE MISSING WINDOW, JAMB, & TRIM COMPLETE

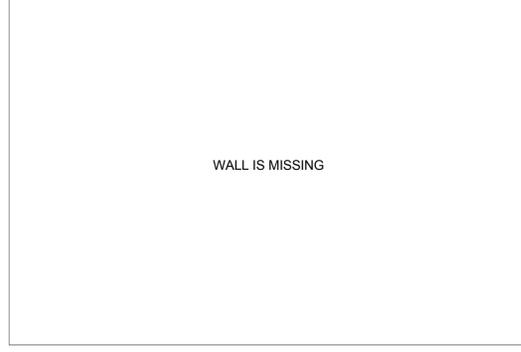
REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE WALL BOARDS. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

ITEMS HAVE BEEN SALVAGED AND STORED ON SITE- SEE SALVAGE LOG

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

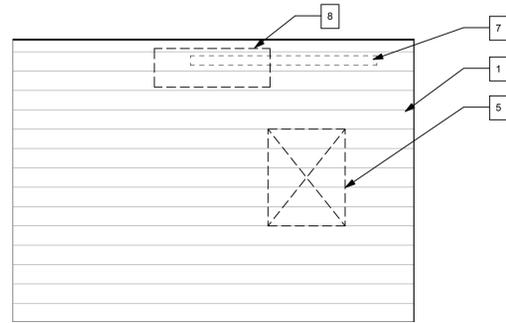
NOTE: CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 103.

3 ROOM 103- SOUTH WALL
SCALE: N.T.S.

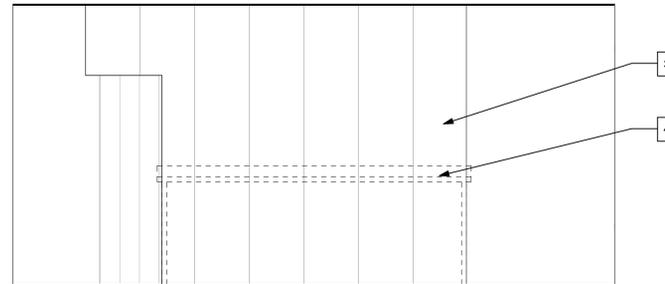


NOTE: WALL AND ALL ARCHITECTURAL ELEMENTS ARE MISSING FROM THIS ELEVATION. RESTORE COMPLETE.

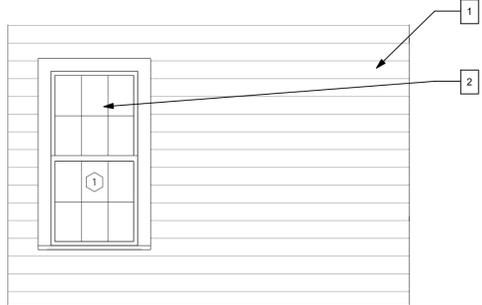
4 ROOM 103- WEST WALL
SCALE: N.T.S.



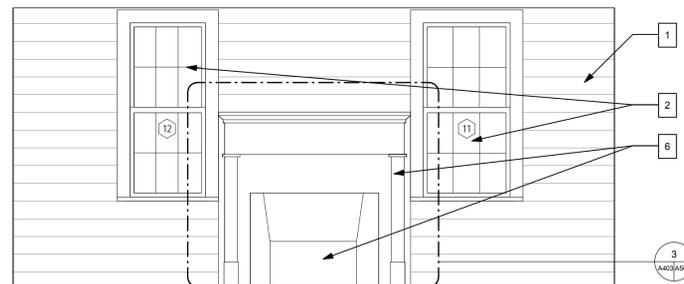
5 INTERIOR ELEVATION- ROOM 103 NORTH WALL
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 103 EAST WALL
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 103 SOUTH WALL
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 103 WEST WALL
SCALE: 1/2" = 1'-0"

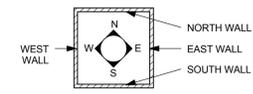
SHEET SPECIFIC NOTES

- REMOVE AND CATALOGUE ALL WALL BOARDS TO INSTALL INSULATION. REINSTALL & RESTORE EXISTING WALL BOARDS, TRIM, & FLOOR STOPS COMPLETE. REFASTEN EXISTING ELEMENTS AS REQUIRED, REPLACE ALL MISSING WALL ELEMENTS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, & MATERIAL. SEE STORAGE LOG FOR SALVAGED MATERIALS IN STORAGE. STORED MATERIALS SHOULD BE USED WHERE POSSIBLE.
- RESTORE MISSING WINDOW, JAMB & TRIM COMPLETE.
- RESTORE PANEL WALL, TRIM, AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. SIDEWALLS ADJACENT TO MISSING DOORS ARE NOT TO BE INFILLED
- REMOVE EXISTING 2 X 4 TABLE COMPLETE.
- INSTALL HINGED CONSERVATION WINDOW, ARCHITECT TO APPROVE LOCATION PRIOR TO INSTALLATION- SEE DETAILS.
- RESTORE MANTEL COMPLETE (CURRENTLY STORED), NEW CHIMNEY AND FIREBOX COMPLETE. CONFIRM DIMENSIONS OF MANTEL DURING FRAMING TO ENSURE THERE IS ADEQUATE CLEARANCE BETWEEN WINDOW TRIM FOR MANTEL. INSTALL NEW MASONRY HEARTH.
- REMOVE WALL HOOKS, SALVAGE.
- NEW MECHANICAL EQUIPMENT.

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND ME EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS, STORED ON SITE, SHOULD BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS
CATALOGUE FLOORING, TEMPORARILY REMOVE FLOORING FOR STRUCTURAL REPAIRS, REINSTALL EXISTING FLOORING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL FLOORING IS REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- CEILINGS
CATALOGUE CEILING BOARDS ON FIRST FLOOR. TEMPORARILY REMOVE FOR STRUCTURAL REPAIRS AND INSTALLATION OF INSULATION, REINSTALL EXISTING CEILING AND INFILL MISSING BOARDS WITH SALVAGED BOARDS STORED ON SITE. IF ADDITIONAL CEILING BOARDS ARE REQUIRED MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. NEW STRUCTURAL MEMBERS TO BE INSTALLED AT SECOND FLOOR. FLOORING JOISTS WILL REQUIRE THE CEILING TO BE RE-INSTALLED ~1 3/4" LOWER THAN THE CURRENT LOCATION.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEMS CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: Author

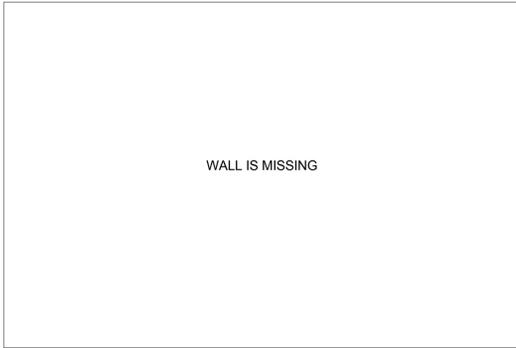
REVISIONS

NO.	DATE	NOTES

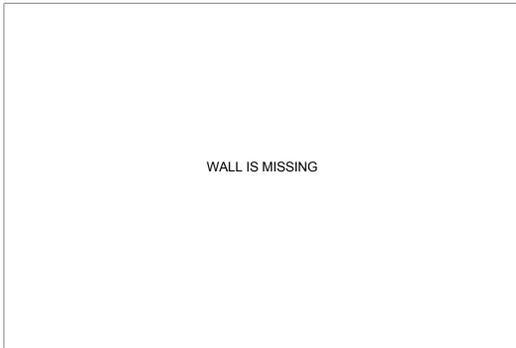
ELEVATIONS
ROOM 103

A403

EXISTING CONDITIONS



1 ROOM 104- NORTH WALL
A404 SCALE: N.T.S.



2 ROOM 104- EAST WALL
A404 SCALE: N.T.S.



REMOVE EXISTING CORRUGATED METAL ROOF. INSTALL NEW PLYWOOD SHEATHING OVER HISTORIC WOOD SHAKE ROOF. INSTALL NEW CORRUGATED METAL ROOF OVER PLYWOOD. UNDERSIDE OF PLYWOOD TO BE PAINTED.

RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE FRAMED OPENING COMPLETE.

RESTORE DOOR JAMB, TRIM, AND TRANSOM (WHERE PRESENT) COMPLETE.

NOTE:
CURRENT CONFIGURATION OF SOUTH WALL. CURRENTLY AN EXTERIOR WALL.

3 ROOM 104- SOUTH WALL
A404 SCALE: N.T.S.

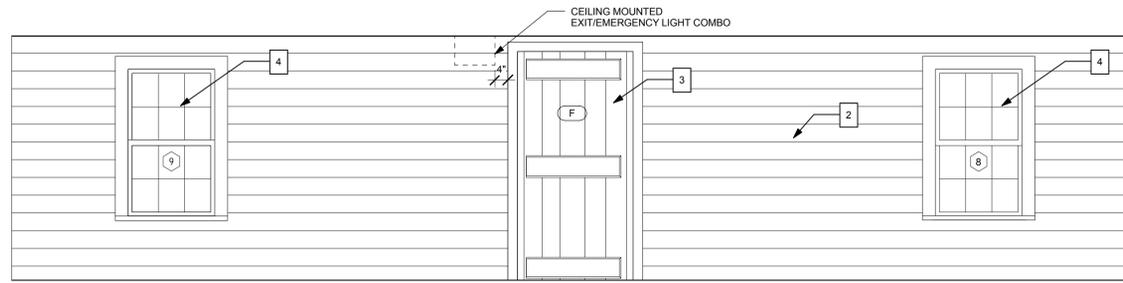


REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

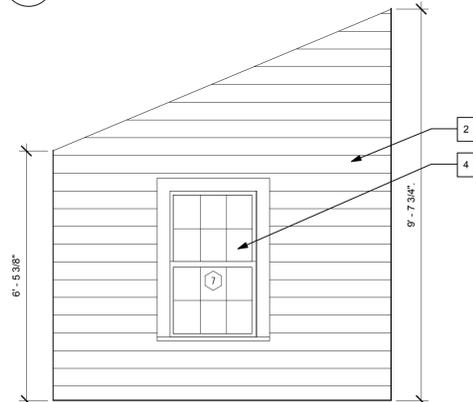
CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY

NOTE:
CURRENT CONFIGURATION OF WEST WALL. ONLY CHIMNEY REMAINS.

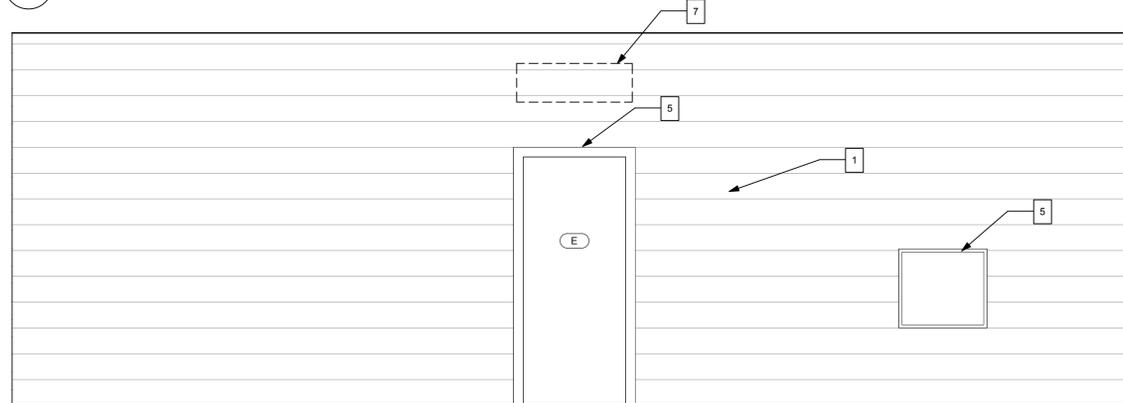
4 ROOM 104- WEST WALL
A404 SCALE: N.T.S.



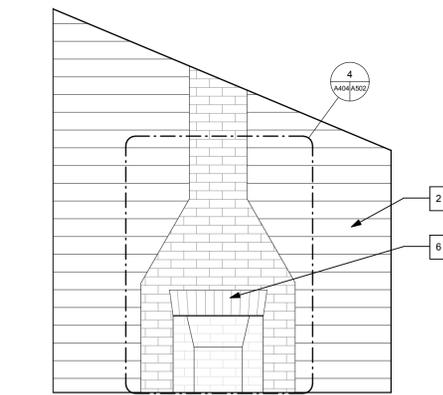
5 INTERIOR ELEVATION- ROOM 104 NORTH WALL
A404 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 104 EAST WALL
A404 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 104 SOUTH WALL
A404 SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 104 WEST WALL
A404 SCALE: 1/2" = 1'-0"

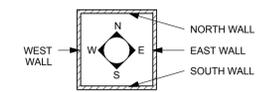
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS. REFASTEN EXISTING BOARDS AS REQUIRED. REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- INSTALL NEW TONGUE AND GROOVE WALLBOARDS.
- INSTALL NEW DOOR COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, AND DOOR), MATCH EXISTING BOARD AND BATTEN DOORS.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
- RESTORE EXISTING DOOR OPENING COMPLETE (INCLUDING BUT NOT LIMITED TO THE JAMB AND TRIM).
- CATALOGUE, DISASSEMBLE, AND REBUILD EXISTING MASONRY CHIMNEY AND FIREBOX, INSTALL NEW MASONRY HEARTH.
- NEW MECHANICAL EQUIPMENT.

GENERAL INTERIOR ELEVATION NOTES- NEW CONSTRUCTION

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT WALL & CEILING FINISHES, FLOORING, TRIM, AND MECH/ELEC. EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE. BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS
NEW TONGUE AND GROOVE FLOORING, ORIENTATION TO RUN NORTH/SOUTH.
- CEILINGS
NEW FLUSH JOINT CEILING BOARDS, SIZE AND DIMENSION TO MATCH INTERIOR CEILING BOARDS IN EXISTING BUILDING.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
ROOM 104

A404

EXISTING CONDITIONS



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE PANEL WALLS AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

1 ROOM 201- NORTH WALL
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

2 ROOM 201- EAST WALL
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

RESTORE & RE-HANG DOOR (STORED), RESTORE DOOR TRIM AND JAMB COMPLETE.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.

REMOVE PLYWOOD STAIR COVER AND HARDWARE COMPLETE.

NOTE:
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

3 ROOM 201- SOUTH WALL
SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

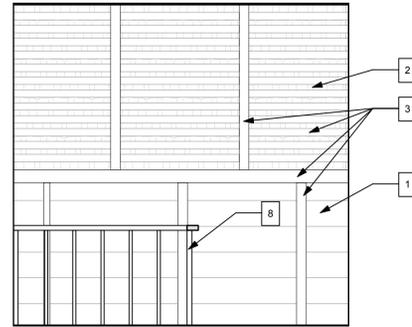
RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS MAY BE REQUIRED. ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE BOARD.

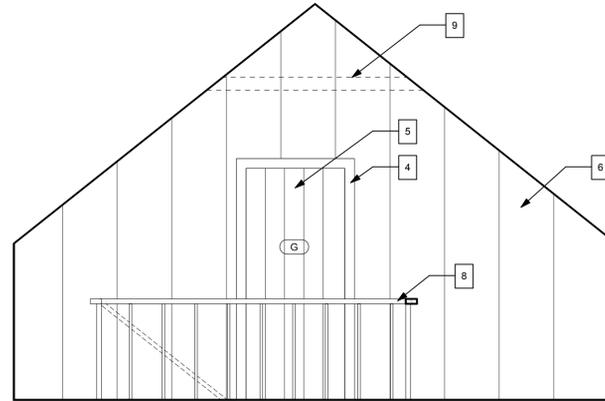
SECURE EXISTING STAIR PRIOR TO ELEVATING BUILDING FOR STRUCTURAL REPAIRS, REFASTEN STAIR, TREADS, AND SIDEWALL AS REQUIRED. INSTALL NEW HANDRAIL- SEE DETAILS.

NOTE:
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 201.

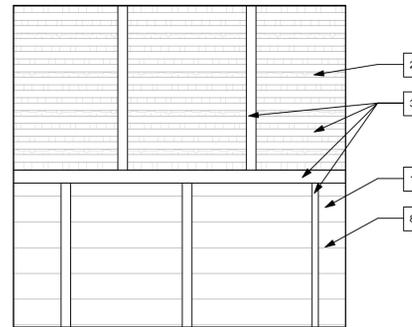
4 ROOM 201- WEST WALL
SCALE: N.T.S.



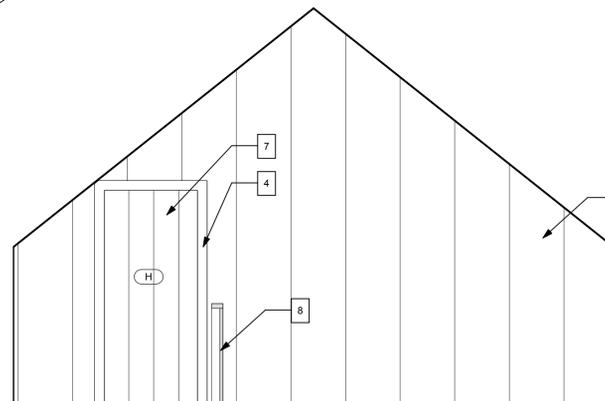
5 INTERIOR ELEVATION- ROOM 201 NORTH WALL
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 201 EAST WALL
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 201 SOUTH WALL
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 201 WEST WALL
SCALE: 1/2" = 1'-0"

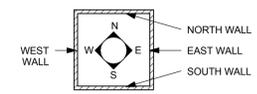
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THEM DURING THE COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE DOOR JAMB, TRIM.
- RESTORE & REHANG EXISTING DOOR.
- STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- RESTORE & REHANG DOOR (STORED).
- NEW HANDRAIL COMPLETE.
- EXISTING COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE.

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS: FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
- CEILINGS: CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
FACTORY PARK
DATE: 10.28.15
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
ROOM 201

A405

EXISTING CONDITIONS



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
 REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
 RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS, NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED.
 FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

1 ROOM 202- NORTH WALL
 SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
 ALL ELECTRICAL ELEMENTS TO BE REMOVED, TYP. BOARD TO REMAIN, REMOVE BOARD.
 RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS, NON-HISTORIC MATERIALS TO BE DISCARDED UNLESS OTHERWISE NOTED.
 FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

2 ROOM 202- EAST WALL
 SCALE: N.T.S.



REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
 REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.
 RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

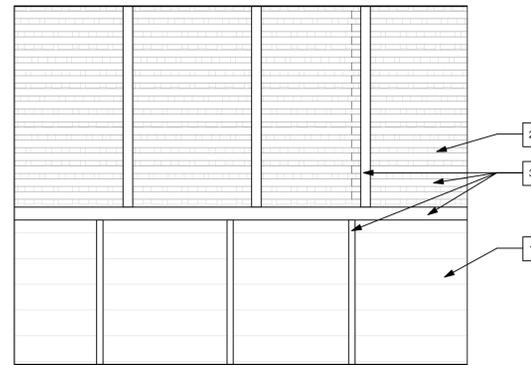
3 ROOM 202- SOUTH WALL
 SCALE: N.T.S.



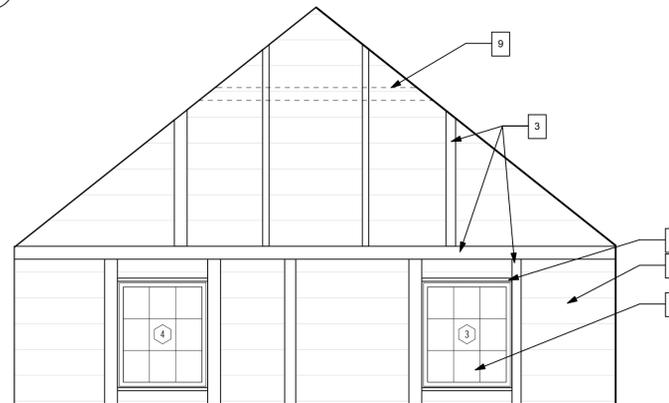
REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.
 RESTORE PANEL WALL AND FLOOR STOPS. STABILIZE EXISTING PANEL BOARDS. ADDITIONAL PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.
 FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

4 ROOM 202- WEST WALL
 SCALE: N.T.S.

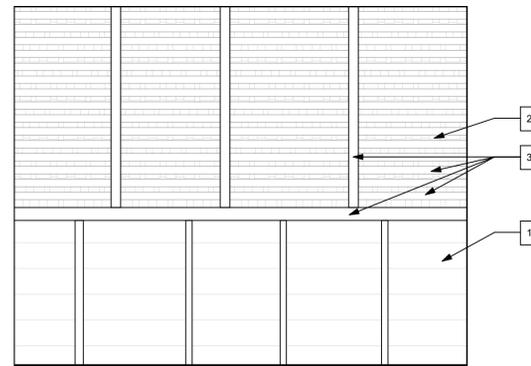
NOTE:
 CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 202.



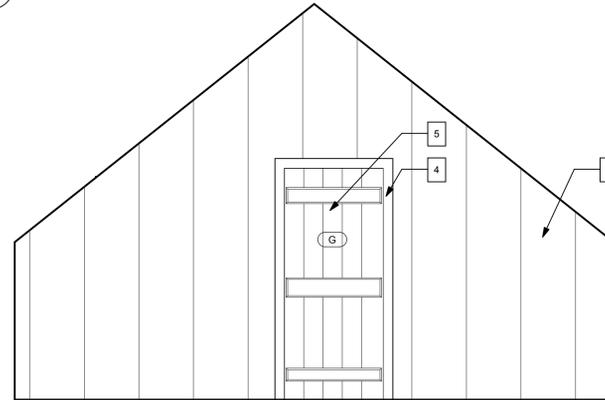
5 INTERIOR ELEVATION- ROOM 202 NORTH WALL
 SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 202 EAST WALL
 SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 202 SOUTH WALL
 SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 202 WEST WALL
 SCALE: 1/2" = 1'-0"

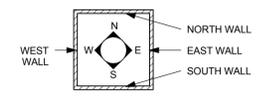
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE DURING COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE DOOR JAMB, TRIM.
- RESTORE & REHANG EXISTING DOOR.
- STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL. REMOVE TABLE ATTACHED TO WALL.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
- INSTALL NEW HORIZONTAL FRAMING MEMBERS FOR WINDOWS, TEMPLATE EXISTING HORIZONTAL FRAMING MEMBER ON EAST WALL.
- EXISTING COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE.

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS: FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING. FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
- CEILINGS: CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS. ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
 OYSTER FACTORY PARK
 Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
 DATE: FACTORY PARK
 10.28.15
 DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
 ROOM 202

A406

EXISTING CONDITIONS



1 ROOM 203- NORTH WALL
SCALE: N.T.S.

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE PANEL WALLS AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

NOTE:
CURRENT CONFIGURATION OF NORTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



2 ROOM 203- EAST WALL
SCALE: N.T.S.

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

RESTORE & RE-HANG DOOR, RESTORE DOOR TRIM AND JAMB COMPLETE.

RESTORE PANEL WALL AND FLOOR STOPS, STABILIZE EXISTING PANEL BOARDS, ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

NOTE:
CURRENT CONFIGURATION OF EAST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



3 ROOM 203- SOUTH WALL
SCALE: N.T.S.

REMOVE BOARD.

REPAIR ROOF RAFTERS AS INDICATED IN STRUCTURAL DRAWINGS.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

NOTE:
CURRENT CONFIGURATION OF SOUTH WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



4 ROOM 203- WEST WALL
SCALE: N.T.S.

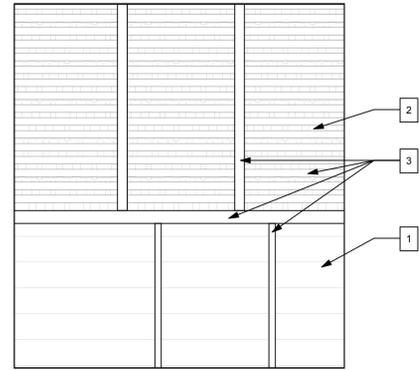
RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.

REMOVE TEMPORARY STABILIZATION MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION, TYP.

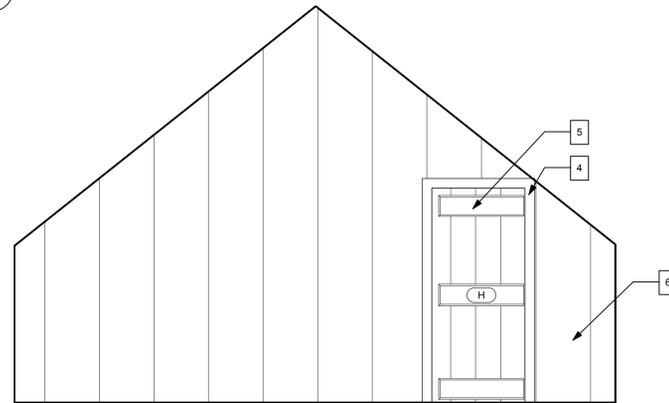
SALVAGE HISTORIC MATERIALS ON INTERIOR OF STRUCTURE FOR RESTORATION REPAIRS.

FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW, SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE, TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER ENDS OF DETERIORATED BOARDS.

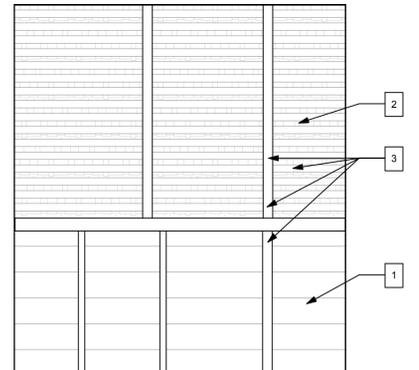
NOTE:
CURRENT CONFIGURATION OF WEST WALL, PHOTO TAKEN FROM INSIDE ROOM 203.



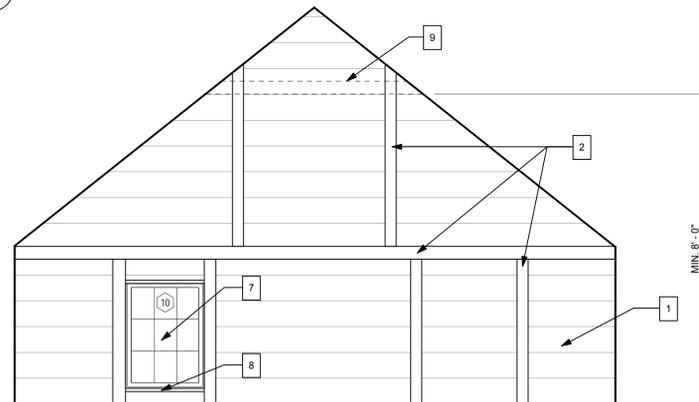
5 INTERIOR ELEVATION- ROOM 203 NORTH WALL
SCALE: 1/2" = 1'-0"



6 INTERIOR ELEVATION- ROOM 203 EAST WALL
SCALE: 1/2" = 1'-0"



7 INTERIOR ELEVATION- ROOM 203 SOUTH WALL
SCALE: 1/2" = 1'-0"



8 INTERIOR ELEVATION- ROOM 203 WEST WALL
SCALE: 1/2" = 1'-0"

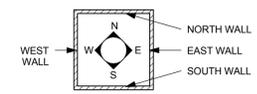
SHEET SPECIFIC NOTES

- RESTORE SIDING BOARDS, REFASTEN EXISTING BOARDS AS REQUIRED, REPLACE MISSING BOARDS, NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- SHAKES TO REMAIN, SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THEM DURING THE COURSE OF WORK.
- REPAIR ROOF STRUCTURE & FRAMING AS INDICATED IN STRUCTURAL DRAWINGS.
- RESTORE & REHANG DOOR (STORED).
- RESTORE & REHANG EXISTING DOOR.
- STABILIZE AND RESTORE PANEL WALL, TRIM, AND FLOOR STOPS- ADDITIONAL PANELS MAY BE REQUIRED, ALL NEW PANELS AND FLOOR STOPS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
- INSTALL NEW WINDOW COMPLETE (INCLUDING BUT NOT LIMITED TO JAMB, TRIM, SASH, AND SHUTTER).
- INSTALL NEW HORIZONTAL FRAMING MEMBERS FOR WINDOWS, TEMPLATE EXISTING HORIZONTAL FRAMING MEMBER ON EAST WALL OF ROOM 202.
- INSTALL COLLAR TIE AT ~ CENTER OF ROOM. MATCH LOCATION OF EXISTING COLLAR TIE. COLLAR TIE TO BE USED TO MOUNT JUNCTION BOX FOR NEW LIGHT FIXTURE. MATERIAL FOR COLLAR TIE TO BE RECLAIMED.

GENERAL INTERIOR ELEVATION NOTES

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE ARCHITECTURAL AND MECHANICAL & ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
- PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO INSTALL AND RESTORE WALLS, CEILINGS, AND FLOORS. MODIFY EXISTING FRAMING AS NECESSARY TO ACCEPT: WALL & CEILING FINISHES, FLOORING, TRIM, AND MECHANICAL & ELECTRICAL EQUIPMENT. RESECURE ALL EXISTING FURRING, FRAMING, AND INTERIOR FINISHES. REPLACE ALL DETERIORATED FURRING, FRAMING, AND INTERIOR FINISHES AS NECESSARY.
- REMOVE DEBRIS FROM INTERIOR OF STRUCTURE, BROOM CLEAN ALL SURFACES.
- REMOVE ALL TEMPORARY STABILIZATION MEMBERS FOLLOWING STRUCTURAL REPAIRS.
- WHEN POSSIBLE SALVAGED MATERIALS STORED ON SITE TO BE USED FOR REPAIRS TO HISTORIC MATERIALS (SEE STORAGE LOG).
- FLOORS:
FLOORS TO BE REFASTENED AND REPLACED WHERE MISSING, FLOOR BOARDS AT THE GABLE ENDS OF THE BUILDING TO BE CONSOLIDATED AND REFASTENED TO FRAMING MEMBERS BELOW. SPECIAL CARE SHOULD BE TAKEN TO RETAIN AS MUCH OF THE ORIGINAL FLOORING BOARDS AS POSSIBLE. TRIM BOARD TO BE INSTALLED IF NECESSARY TO COVER THE END OF DETERIORATED BOARDS.
- CEILINGS:
CEILING TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS. SPECIAL CARE SHOULD BE TAKEN TO AVOID REMOVING HISTORIC SHAKE ROOF DURING COURSE OF WORK.
- CATALOGUE, REMOVE, AND STORE CARDBOARD FROM ALL SURFACES.
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS UNLESS OTHERWISE NOTED.
- THE PRINCIPLE AIM OF ANY WORK MUST BE TO HALT THE PROCESS OF DETERIORATION AND STABILIZE THE ITEM'S CONDITION. REPAIR IS A SECOND OPTION WHICH BECOMES NECESSARY ONLY WHERE PRESERVATION IS NOT SUFFICIENT TO ENSURE MID-TO LONG-TERM SURVIVAL. REPAIR SHOULD ALWAYS BE BASED ON THE FUNDAMENTAL PRINCIPLE OF MINIMAL DISTURBANCE.
- REMOVE TEMPORARY STABILIZATION & CRIBBING MEMBERS AS REQUIRED TO COMPLETE STRUCTURAL REPAIRS, ALL STABILIZATION (INCLUDING BUT NOT LIMITED TO METAL I-BEAMS, WOOD, FASTENERS) AND CRIBBING ELEMENTS TO BE REMOVED PRIOR TO PROJECT COMPLETION.

INTERIOR ELEVATION KEY- WALL DESIGNATIONS



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
DRAWN BY: Author

REVISIONS

NO.	DATE	NOTES

ELEVATIONS
ROOM 203

A407



MEADORS INC.
 2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



GARVIN HOUSE
 OYSTER FACTORY PARK
 Bluffton, SC 29910

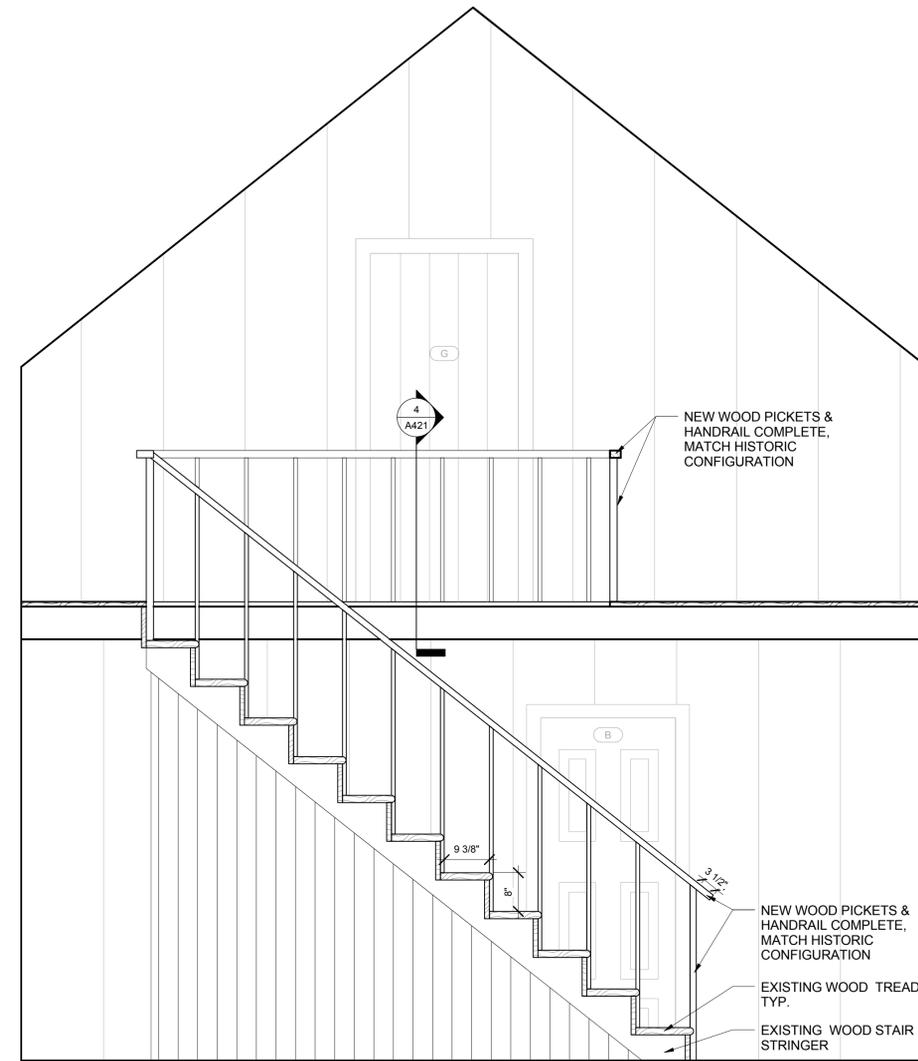
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PROJ. NO. OYSTER
 FACTORY PARK
 DATE: 10.28.15
 DRAWN BY: Author

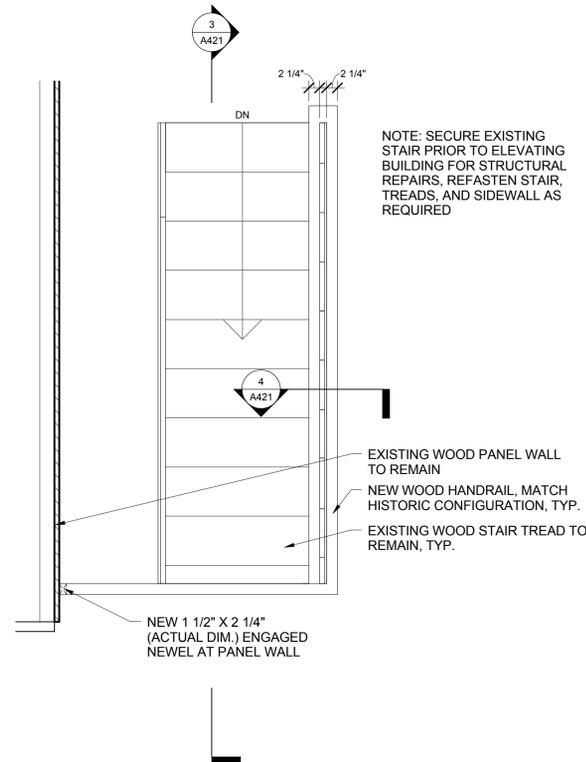
REVISIONS		
NO.	DATE	NOTES

SECTION & PLAN DETAILS- INTERIOR STAIRS

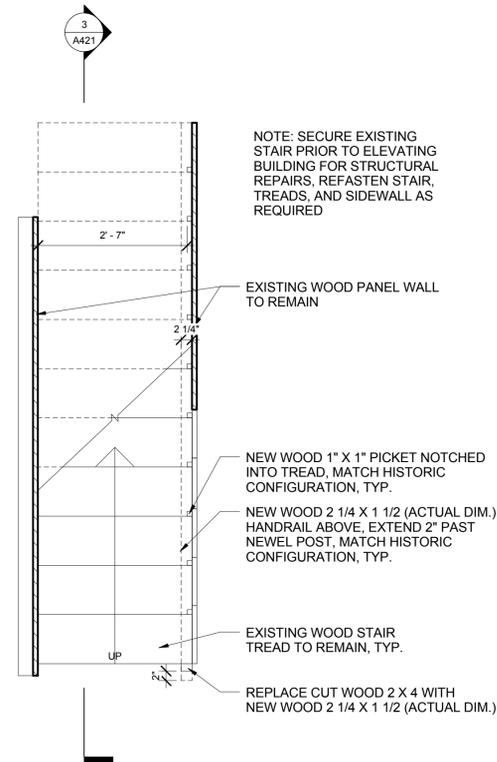
A421



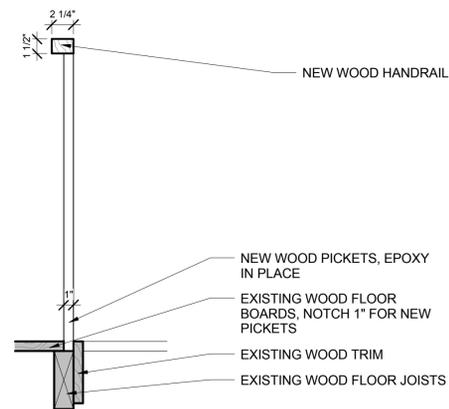
3 SECTION DETAIL (N/S)- INTERIOR STAIR
 A421 SCALE: 3/4" = 1'-0"



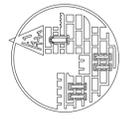
2 PLAN DETAIL- SECOND FLOOR INTERIOR STAIRS
 A421 SCALE: 3/4" = 1'-0"



1 PLAN DETAIL- FIRST FLOOR INTERIOR STAIRS
 A421 SCALE: 3/4" = 1'-0"



4 SECTION DETAIL- 2ND FLOOR STAIR HANDRAIL
 A421 SCALE: 1 1/2" = 1'-0"



MEADORS INC.
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



GARVIN HOUSE
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Bluffton, SC 29910

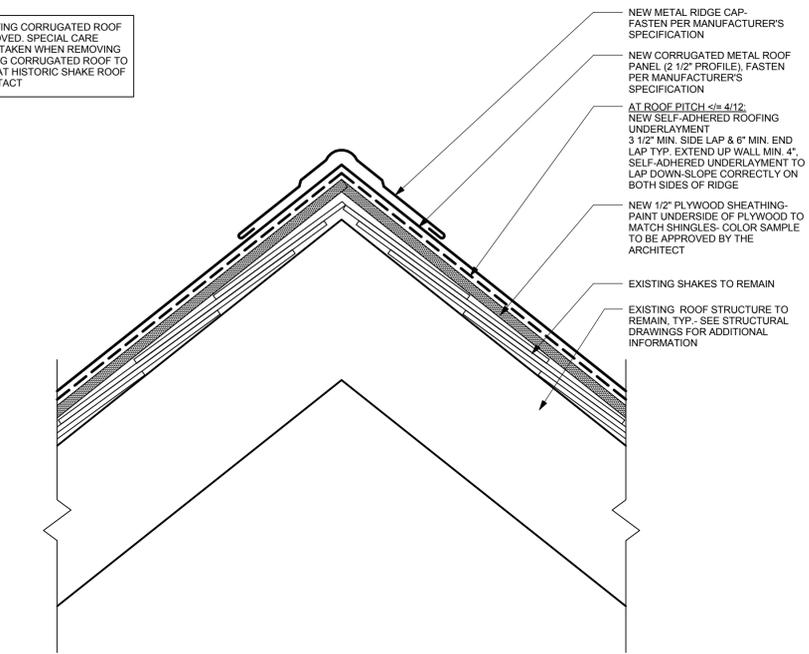
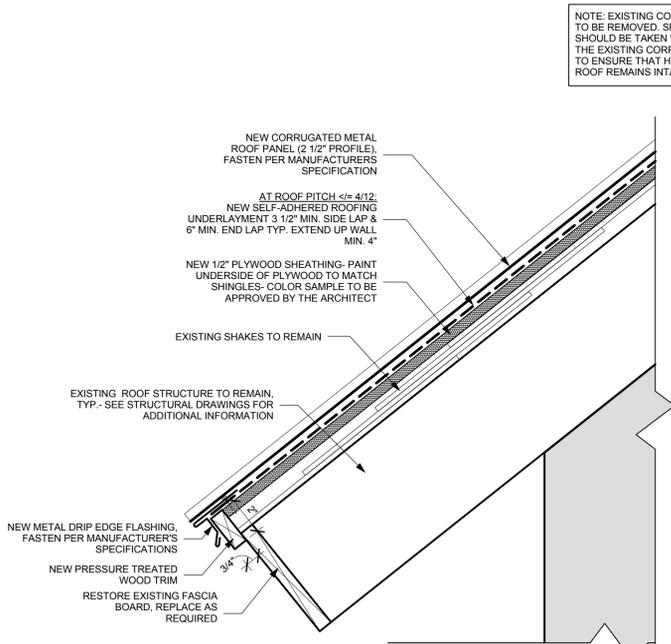
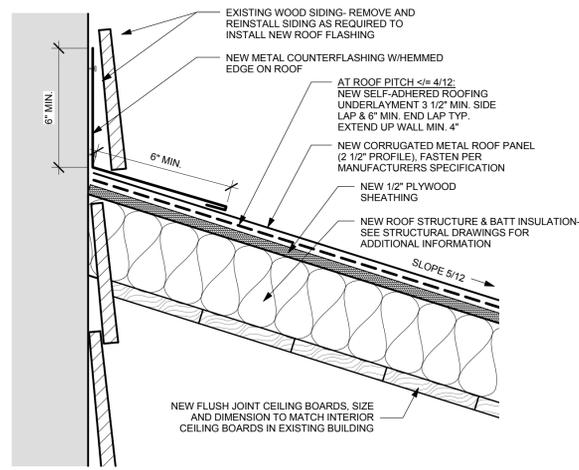
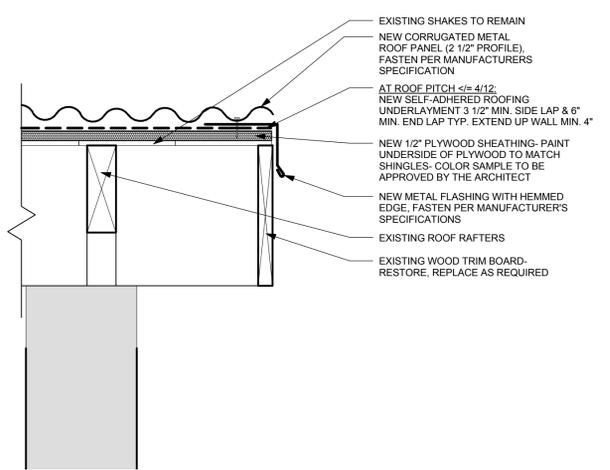
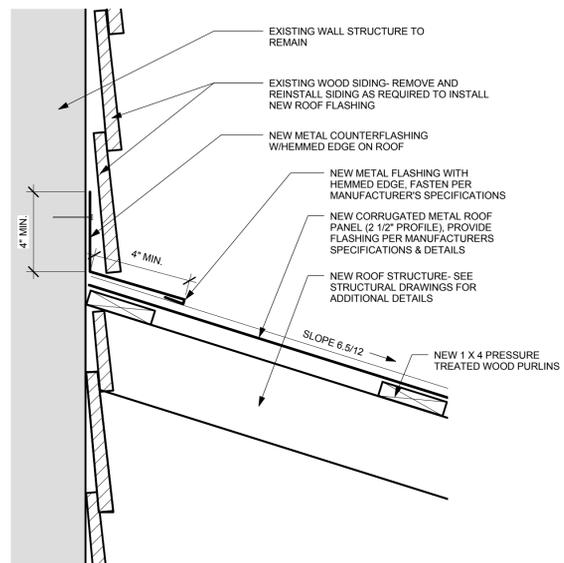
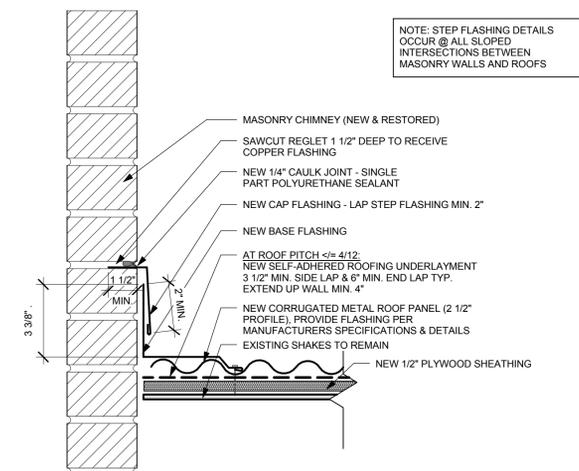
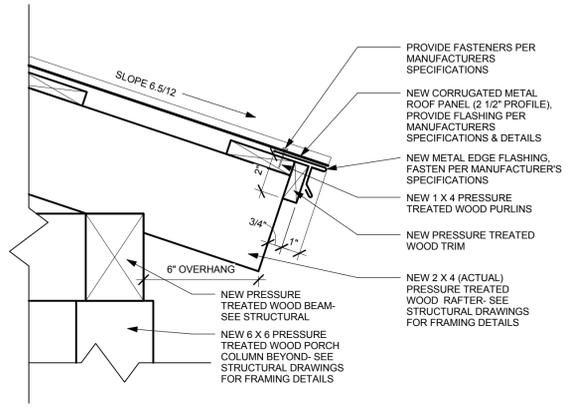
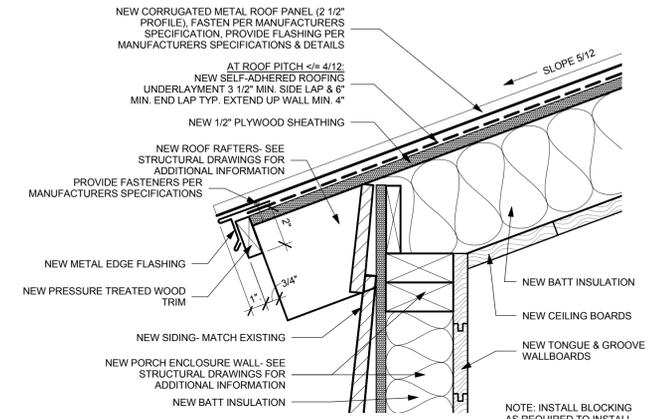
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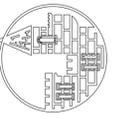
REVISIONS		
NO.	DATE	NOTES

LARGE SCALE
DETAILS- ROOF

A501



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OYSTER FACTORY PARK
Bluffton, SC 29910

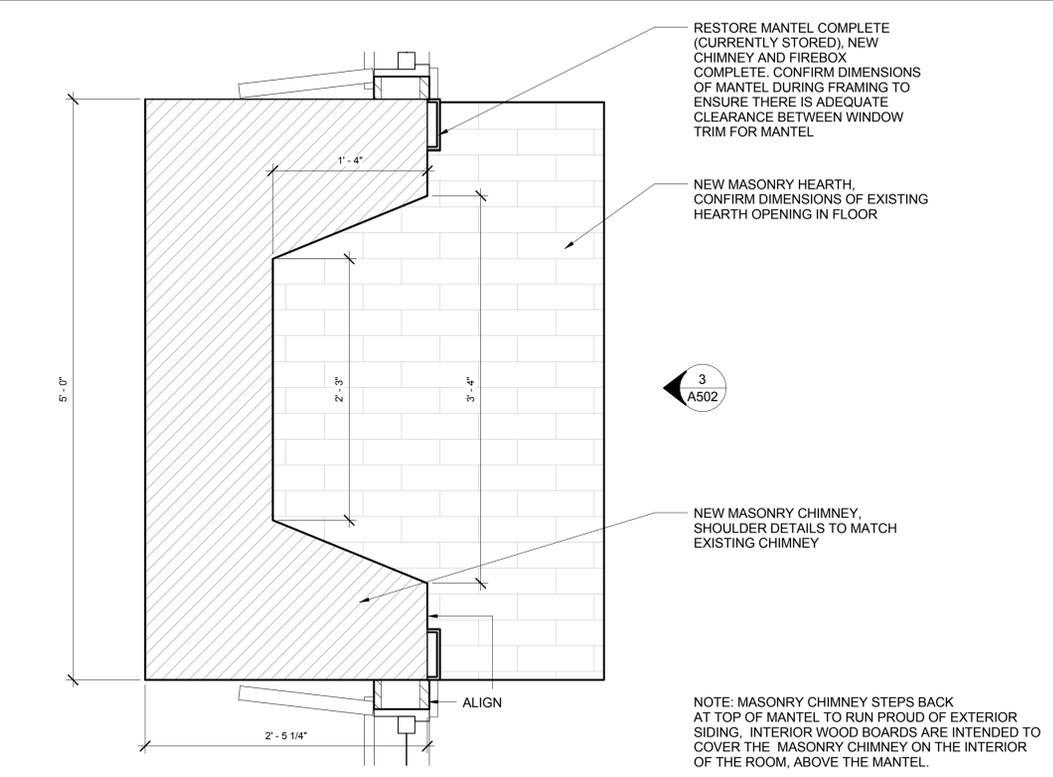
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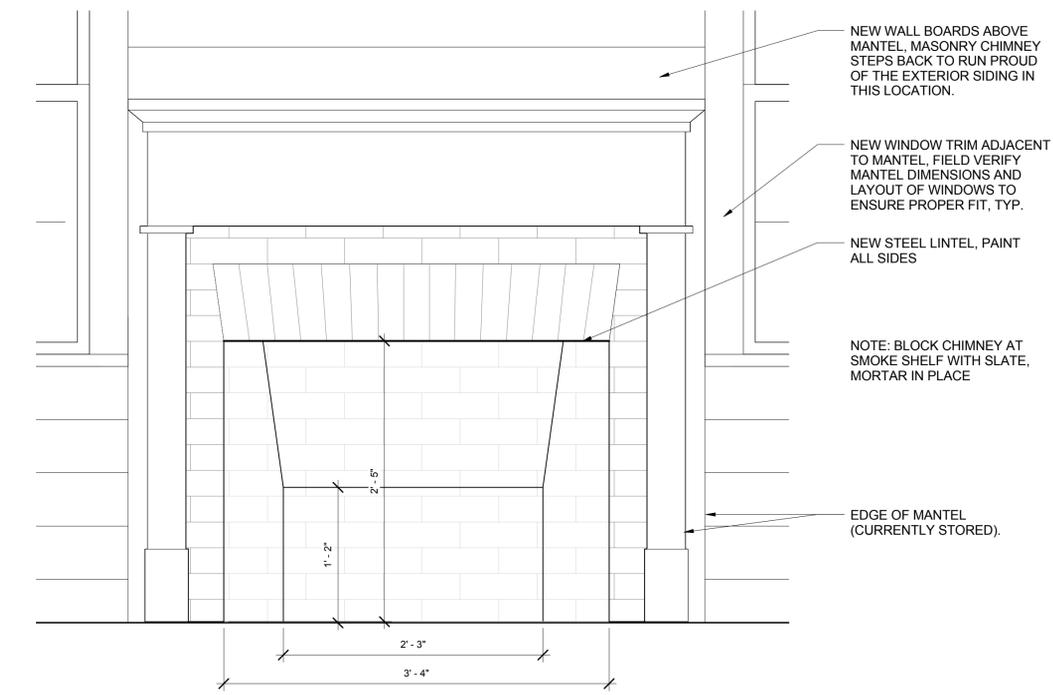
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ELEVATION & PLAN DETAILS- FIREPLACE

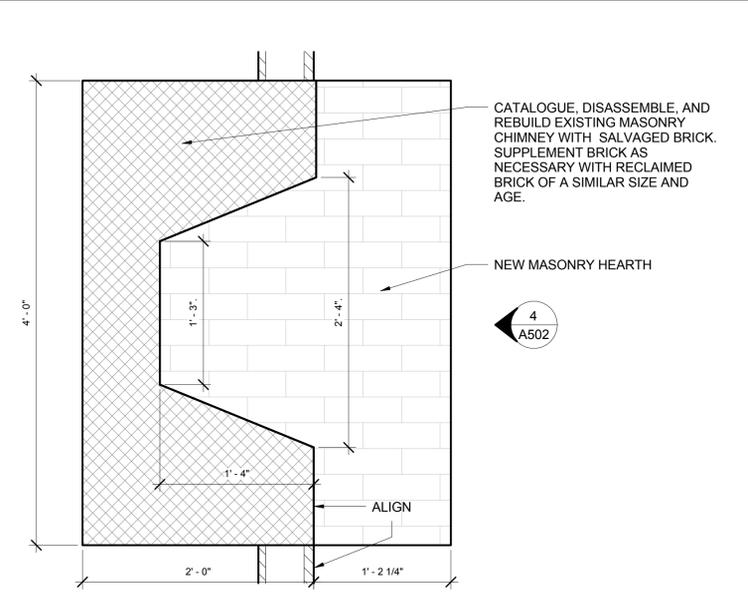
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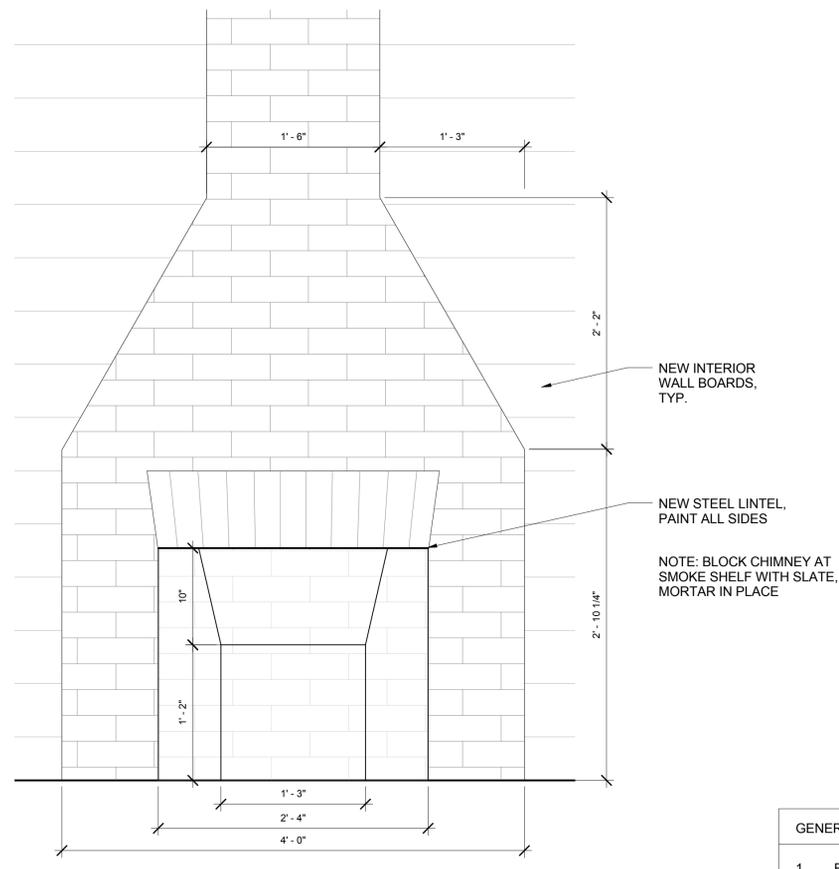
1 PLAN DETAIL- FIREPLACE ROOM 103
SCALE: 1 1/2" = 1'-0"



3 ENLARGED ELEVATION- FIREPLACE ROOM 103
SCALE: 1 1/2" = 1'-0"



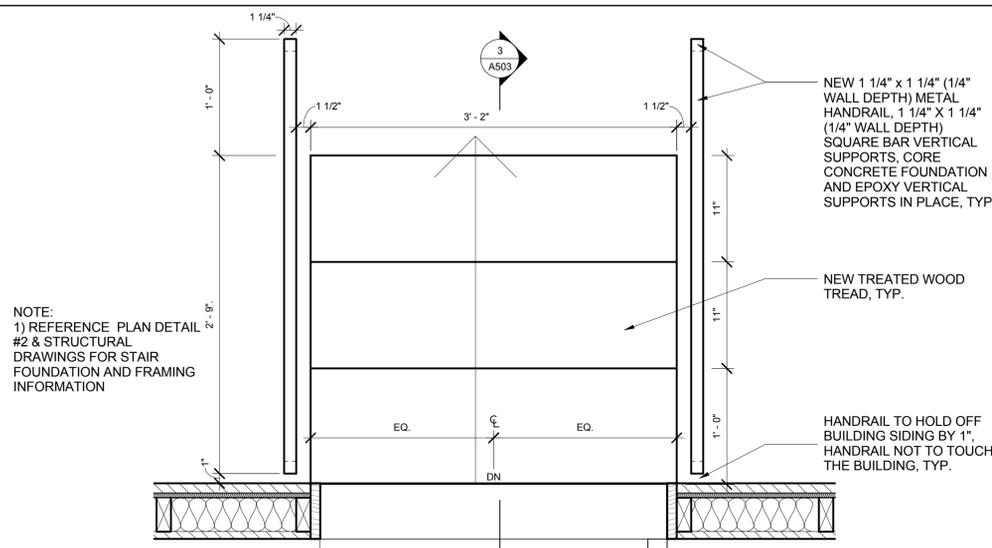
2 PLAN DETAIL- FIREPLACE ROOM 104 PORCH ADDITION
SCALE: 1 1/2" = 1'-0"



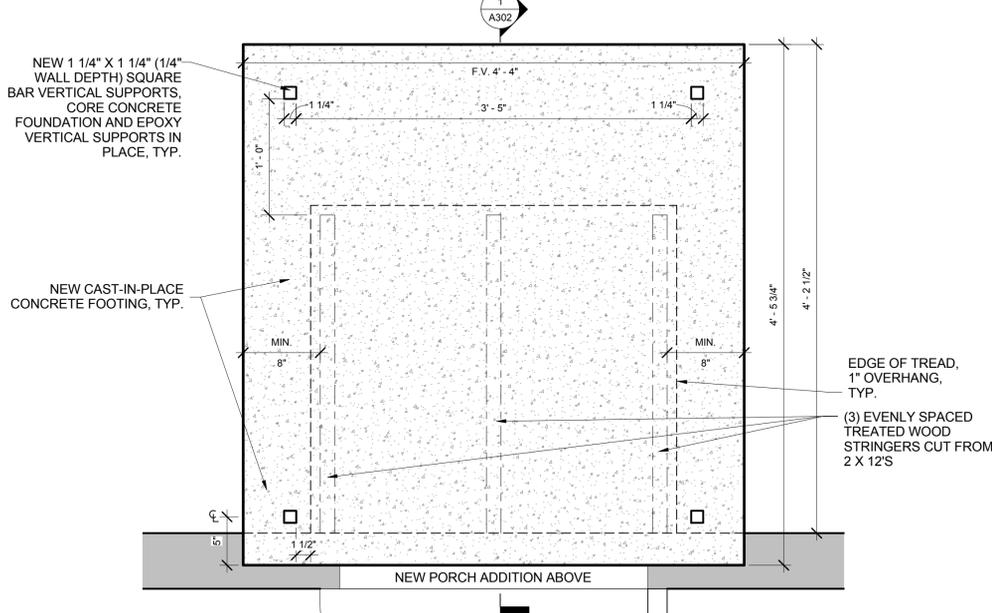
4 ENLARGED ELEVATION- FIREPLACE ROOM 104 PORCH ADDITION
SCALE: 1 1/2" = 1'-0"

- GENERAL FIREPLACE NOTES**
- FIELD VERIFY ALL DIMENSIONS
 - FIREPLACES ARE CONSTRUCTED TO MATCH HISTORIC CONFIGURATION. FIREPLACES ARE NOT INTENDED TO BE USED.
 - BLOCK CHIMNEYS AT SMOKE SHELF WITH SLATE, MORTAR IN PLACE.
 - INSTALL SLATE CAP AND DAMPER AT TOP OF CHIMNEYS.

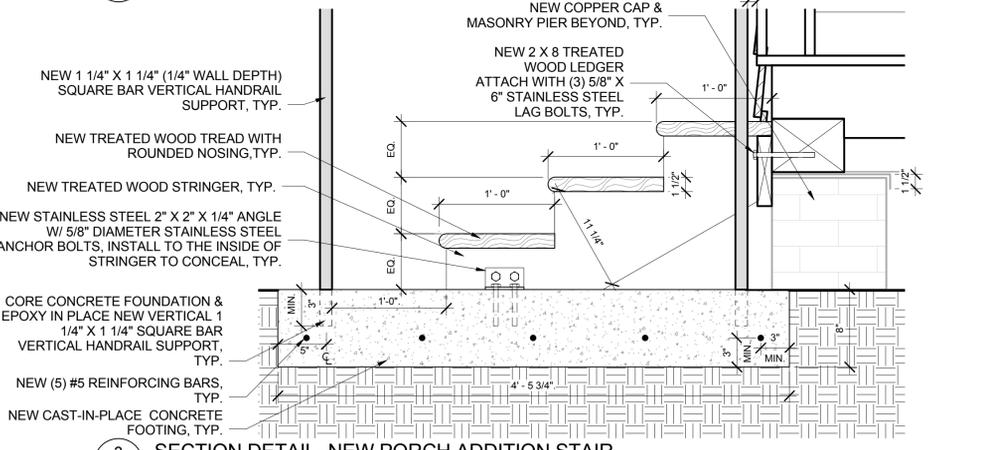
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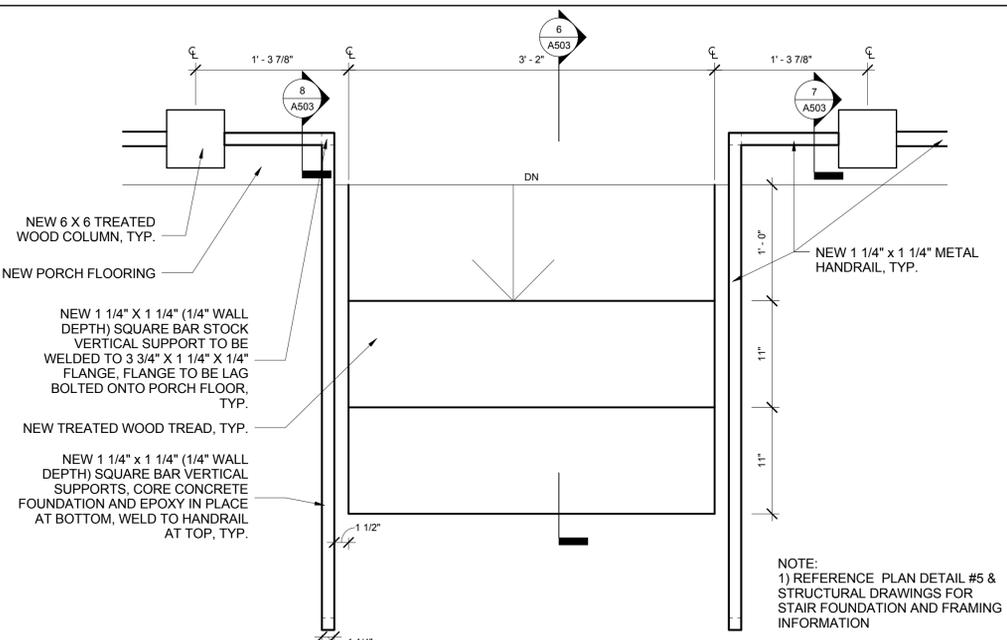
1 PLAN DETAIL- PORCH ADDITION STAIR
SCALE: 1 1/2" = 1'-0"



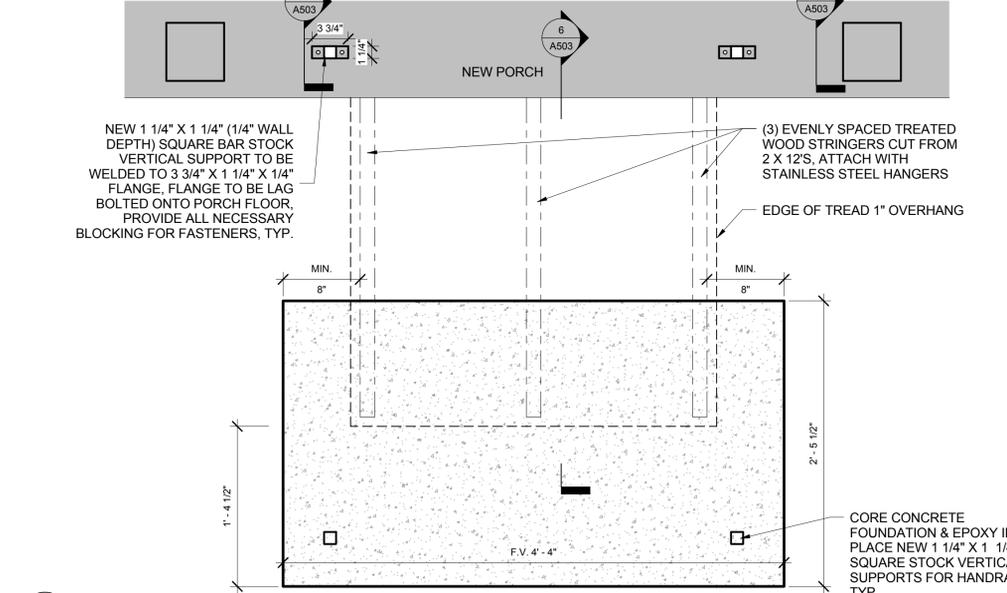
2 PLAN DETAIL- PORCH ADDITION STAIR FRAMING
SCALE: 1 1/2" = 1'-0"



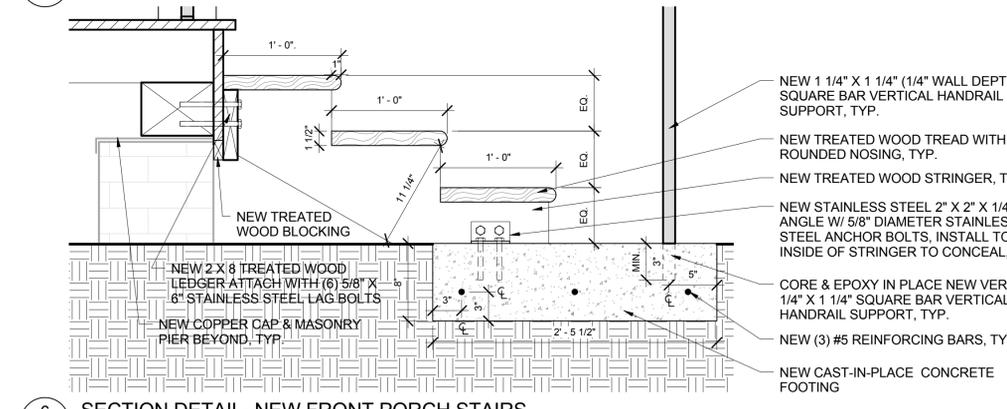
3 SECTION DETAIL- NEW PORCH ADDITION STAIR
SCALE: 1 1/2" = 1'-0"



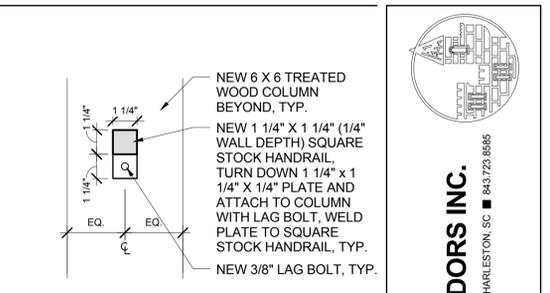
4 PLAN DETAIL- NEW FRONT PORCH STAIR
SCALE: 1 1/2" = 1'-0"



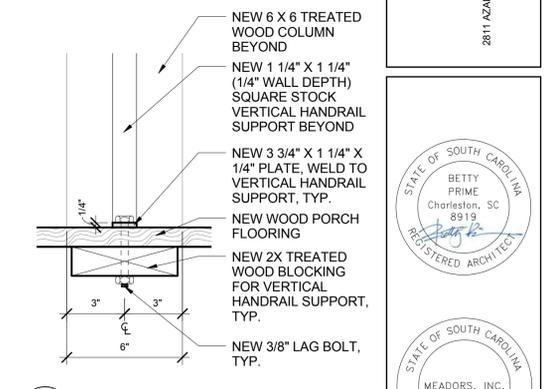
5 PLAN DETAIL- NEW FRONT PORCH STAIR FRAMING
SCALE: 1 1/2" = 1'-0"



6 SECTION DETAIL- NEW FRONT PORCH STAIRS
SCALE: 1 1/2" = 1'-0"



7 HANDRAIL DETAIL @ COLUMN
SCALE: 3" = 1'-0"



8 HANDRAIL DETAIL @ FLOOR
SCALE: 3" = 1'-0"

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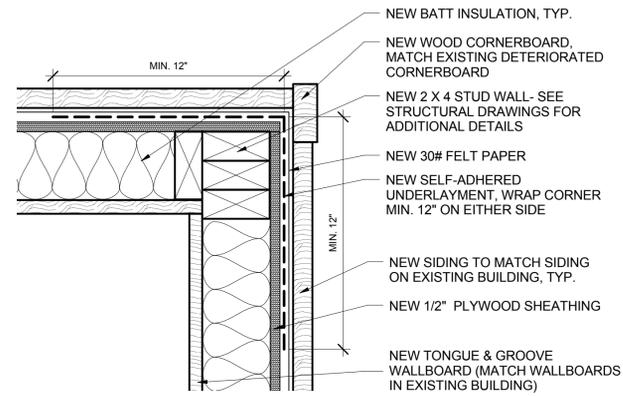


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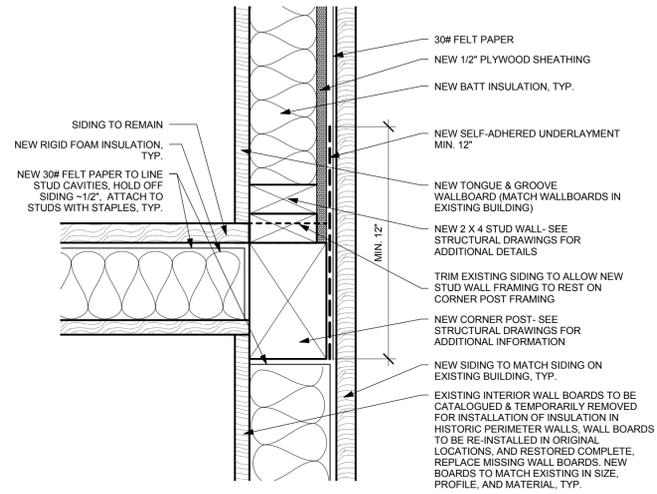
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NO.	DATE	NOTES

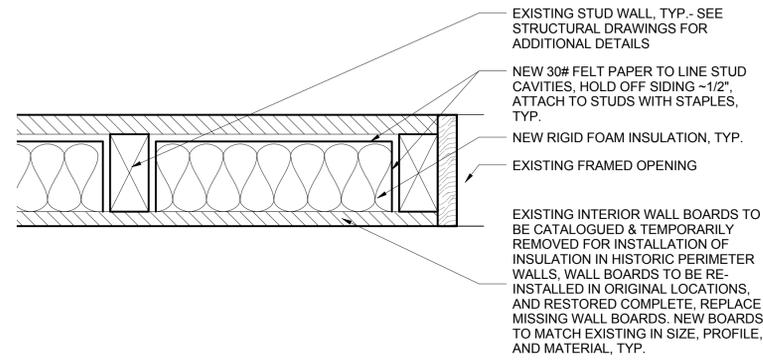
SECTION & PLAN DETAILS- EXTERIOR STAIRS
A503



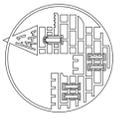
1 PLAN DETAIL- PORCH ADDITION WALL CORNER
 A504 SCALE: 3" = 1'-0"



2 PLAN DETAIL- INTERSECTION OF PORCH ADDITION & EXISTING BUILDING WALLS
 A504 SCALE: 3" = 1'-0"



3 PLAN DETAIL- HISTORIC WALL
 A504 SCALE: 3" = 1'-0"



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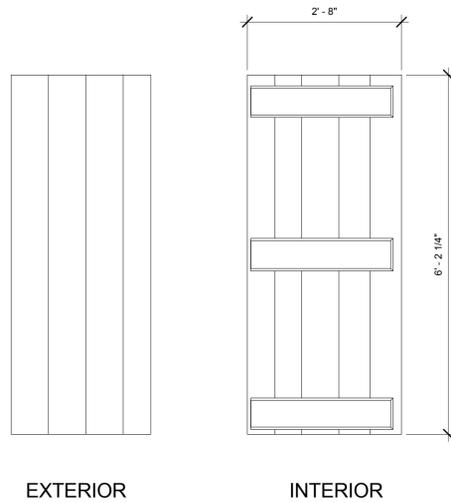
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 DRAWN BY: Author

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NO.	DATE	NOTES

LARGE SCALE DETAILS- WALLS

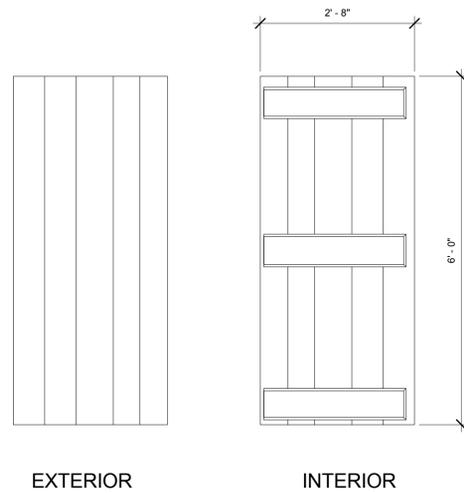
A504

DOOR SCHEDULE												
Mark	Int./Ext.	Level	Width	Height	Door	Door Type	Existing Hardware Notes	Handle Style	New Lock Function/Notes	Finish	Model Number	Description
A	Ext.	FIRST FLOOR F.F.	2' - 8"	7' - 0"	New	Type 1	New	pull	1- New hand forged hasp and staple, 1- new hook and eye, 1- New hand forged pull, 2- New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron		Door has transom above the door, 2'8 x 7'0 is the opening size including the transom. Door dimensions ~ 2'8 x 6'-2 1/4"
B	Int.	FIRST FLOOR F.F.	2' - 4"	6' - 0"	Existing	Type 3	Existing rim lock, hasp, strap hinges, & key hole cover	porcelain knob	Existing hasp to remain, Salvage and restore existing rim lock, 2- New hand forged tapered strap hinges (match existing)	cast iron		
E	Int.	FIRST FLOOR F.F.	2' - 8"	6' - 5 3/4"	Existing (Casement Opening)	N/A	N/A	N/A	N/A	N/A	N/A	
F	Ext.	FIRST FLOOR F.F.	3' - 0"	6' - 0"	New	Type 2	New	pull	1- New hand forged hasp and staple, 1- new hook and eye, 1- New hand forged pull, 2- New hand forged tapered strap hinges (match existing hinge on Door G)	cast iron		
G	Int.	SECOND FLOOR F.F.	2' - 6 3/4"	6' - 0"	Existing	Type 4	Existing Hinges, Hasp & Hand Pull Missing	pull	Existing hardware to remain	cast iron		
H	Int.	SECOND FLOOR F.F.	2' - 5"	5' - 6 1/2"	Stored	Type 5	Existing Hasp, Hinges & Staple Missing	none	Existing hasp to remain, 2- New hand forged tapered strap hinges (match existing hinge on Door G), 1- New hand forged staple	cast iron		



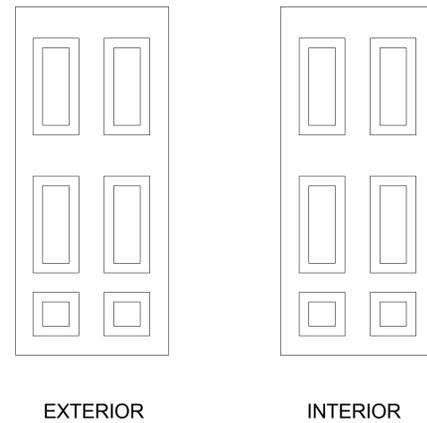
FOR REFERENCE ONLY. DOOR F IS MISSING. DETAILS & PROFILES FOUND ON EXISTING DOOR TYPES 4 & 5 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW DOORS FOR DOOR TYPE 1. ADJUST TO FIT OPENING.

1 DOOR TYPE 1
SCALE: 3/4" = 1'-0"



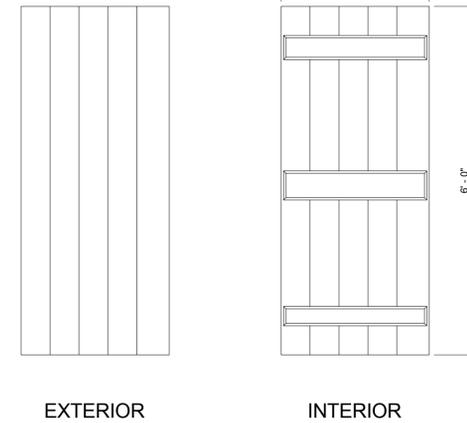
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2 DOOR TYPE 2
SCALE: 3/4" = 1'-0"



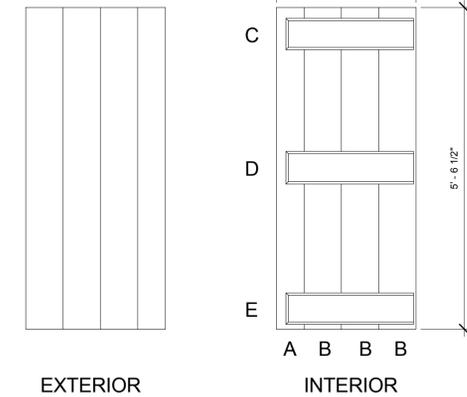
FOR REFERENCE ONLY. DOOR B IS EXISTING.

3 DOOR TYPE 3
SCALE: 3/4" = 1'-0"



FOR REFERENCE ONLY. DOOR G IS EXISTING.

4 DOOR TYPE 4
SCALE: 3/4" = 1'-0"



FOR REFERENCE ONLY. DOOR H IS EXISTING (STORED).

5 DOOR TYPE 5
SCALE: 3/4" = 1'-0"

GENERAL DOOR SCHEDULE NOTES

- FIELD VERIFY ALL DIMENSIONS.
- PAINT EXTERIOR DOORS COMPLETE INCLUDING BUT NOT LIMITED TO THE DOORS, JAMBS, AND TRIM.
- RESTORE ALL EXISTING DOORS COMPLETE INCLUDING BUT NOT LIMITED TO JAMBS, CASING, TRIM, TRANSOM, AND DOORS.
- DOORS THAT ARE MISSING ELEMENTS OF DOOR, TRIM, TRANSOM, OR JAMB SHOULD HAVE NEW ELEMENTS INSTALLED THAT MATCH HISTORIC ELEMENTS IN MATERIAL AND PROFILE UNLESS OTHERWISE NOTED.
- FIELD VERIFY THAT ALL SALVAGED DOORS FIT EXISTING & NEW JAMBS. ADJUST DOORS AND JAMBS TO ENSURE A FULLY FUNCTIONAL DOOR. VERIFY WITH THE ARCHITECT BEFORE ALTERING HISTORIC FABRIC.
- ALL EXISTING HARDWARE SCHEDULED TO BE REMOVED SHOULD BE CATALOGUED, SALVAGED AND RETURNED TO THE OWNER.
- ALL EXTERIOR DOORS TO HAVE WOOD THRESHOLDS AND ALL TRANSITIONS BETWEEN ROOMS UNLESS OTHERWISE NOTED. THRESHOLD MATERIAL TO MATCH EXISTING FLOORS.
- ALL HISTORIC HARDWARE SCHEDULED TO REMAIN SHOULD BE BEAD BLASTED AND PAINTED WITH A CLEAR LACQUER FINISH.

WOOD KEY (INCHES)
A- 5.75 X .75
B- 7.75 X .75
C- 8.5 X .75 X 26.5
D- 6.75 X .75 X 26.75
E- 6.5 X .75 X 26.25



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DOOR SCHEDULE AND TYPES

A601

EXISTING DOORS- EXISTING CONDITION



EXTERIOR

EXISTING HASP TO REMAIN
RESTORE RIM LOCK
REFASTEN KEY HOLE COVER



INTERIOR

REMOVE NAIL, TYP.
REMOVE HOOK
EXISTING HASP TO REMAIN
RESTORE RIM LOCK
REMOVE EXISTING DOOR HINGES, INSTALL NEW DOOR HINGES, TYP.

2 DOOR TYPE 3- EXISTING CONDITION
A602 SCALE: N.T.S.



EXTERIOR

HAND PULL LATCH MISSING- NEW LATCH TO BE INSTALLED AT A LATER DATE- NOT IN SCOPE OF WORK



INTERIOR

HINGES FOR DOORS SPECIFYING NEW HARDWARE TO MATCH EXISTING TAPERED STRAP HINGE ON DOOR G
DOOR HINGES TO REMAIN, TYP.

3 DOOR TYPE 4- EXISTING CONDITION
A602 SCALE: N.T.S.



INTERIOR

HASP TO REMAIN
INSTALL NEW HINGES, TYP.

1 DOOR TYPE 5- EXISTING CONDITION
A602 SCALE: N.T.S.



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DOORS- EXISTING CONDITIONS
A602



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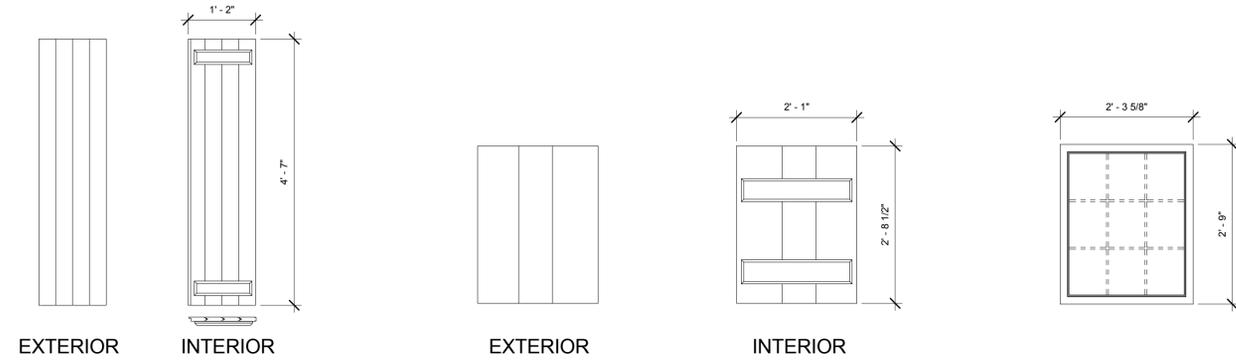
REVISIONS

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WINDOW SCHEDULE AND TYPES

A603

Mark	Facade	Level	Width	Height	Scope of Work	Hardware Required	Hardware Model	Shutters	Comments
1	North Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
2	North Elevation	First Floor	2' - 9"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
3	East Elevation	Second Floor	2' - 5 1/2"	2' - 10 1/2"	Restore Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
4	East Elevation	Second Floor	2' - 5 1/2"	2' - 10 1/2"	Restore Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
5	East Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	Salvage Existing Hardware for templating, New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	Restore Existing Shutter Leaf- 1, Build 1 New Shutter Leaf (use existing shutter as template- Type 1)	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
6	East Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Restore Complete	Salvage Existing Hardware for templating, New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	Restore Existing Pair- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
7	East Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
8	South Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
9	South Elevation	First Floor	2' - 5 1/2"	4' - 0"	Replicate Complete (at new porch addition)	New sash lock pin, shutter hardware	2- hand forged tapered strap hinges (match existing), 1- 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Shutter- Type 2	Assume each window needs new sash, trim, jamb, and sills, reference sheet A604 for flashing details
10	West Elevation	Second Floor	2' - 2"	2' - 10 1/2"	Replicate Complete	New sash lock pin	N/A	N/A	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
11	West Elevation	First Floor	2' - 5 1/2"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
12	West Elevation	First Floor	2' - 2"	4' - 8 1/2"	Replicate Complete	New sash lock pin, shutter hardware	4- hand forged tapered strap hinges (match existing), pair of 4" hand forged hook and eye holdbacks, 1- 4" hand forged hook and eye for holding shutter closed	1 New Pair of Shutters- Type 1	Assume each window needs new sash, trim, jamb, and sills (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)
13	South Elevation (Interior)	First Floor	2' - 5"	2' - 2"	Restore Complete	N/A	N/A	N/A	Assume opening needs new jamb, and sill (when possible restore extant historic window materials, stored materials should be reused to restore windows where possible)



GENERAL WINDOW NOTES

- NEW WINDOWS TO MATCH EXISTING HISTORIC WINDOWS. WINDOWS ARE NOT DP RATED. WINDOWS HAVE CLEAR SINGLE PANE GLASS WITH A WINDOW SOLAR HEAT GAIN COEFFICIENT (SHGC) OF .81.
- ALL WINDOWS TO HAVE PROTECTION FROM WIND BORN DEBRIS PER IBIS 1609.2. CONTRACTOR TO PROVIDE PRECUT PLYWOOD WINDOW COVERS FOR ALL WINDOWS. ALL WINDOWS TO HAVE PRESET PLYFASTNERS. COLOR OF FASTENER TO BE SELECTED BY THE ARCHITECT.
- FIELD VERIFY ALL DIMENSIONS.
- SEE ALL SPECIFICATIONS FOR WINDOW REPAIR. SECTION: WINDOW RESTORATION 086100.
- CONTRACTOR TO VERIFY HARDWARE COUNT.
- PAINT WINDOWS COMPLETE INCLUDING BUT NOT LIMITED TO THE JAMBS, SASH, TRIM, AND SILL.
- RESTORE/REPLICATE ALL EXISTING WINDOWS COMPLETE INCLUDING BUT NOT JAMBS, SASH, TRIM, AND SILL. ALL WINDOWS SHOULD HAVE A COMPLETE ASSEMBLY. ALL WINDOWS TO HAVE NEW SASH LOCK PIN. BLIND DRILL AT CORNER OF UPPER SASH. PENETRATE LOWER SASH HALF DEPTH. INCLUDE PIN HOLE LOCATION IN WINDOW SHOP DRAWINGS. PINS TO BE DOUBLE HEADED FORM NAIL CUT TO APPROPRIATE LENGTH.
- WINDOWS THAT ARE MISSING ELEMENTS OF JAMBS, SASH, TRIM, OR SILLS, SHOULD HAVE NEW ELEMENTS INSTALLED THAT MATCH HISTORIC ELEMENTS IN MATERIAL AND PROFILE UNLESS OTHERWISE NOTED. WINDOW # 6 HAS THE MOST INTACT JAMB, TRIM, AND SHUTTERS. SELECT ELEMENTS OF OTHER WINDOWS ARE AVAILABLE FOR TEMPLATING. ALL EXISTING MATERIALS SHOULD BE SALVAGED FOR REUSE WHERE POSSIBLE.
- FIELD VERIFY THAT ALL SALVAGED SHUTTERS FIT EXISTING & NEW WINDOW OPENINGS, ADJUST SHUTTERS AND JAMBS TO ENSURE A FULLY FUNCTIONAL SHUTTER. VERIFY WITH THE ARCHITECT BEFORE ALTERING HISTORIC FABRIC.
- ALL EXISTING HARDWARE SCHEDULED TO BE REMOVED SHOULD BE CATALOGUED, SALVAGED AND RETURNED TO THE OWNER.
- ALL SECOND FLOOR WINDOWS MUST HAVE TEMPERED GLASS PANES.

1 SHUTTER TYPE 1
SCALE: 3/4" = 1'-0"



4 SHUTTER TYPE 1- EXISTING CONDITION
SCALE: N.T.S.

FOR REFERENCE ONLY. SHUTTER TYPE 1 IS EXISTING (1 PAIR @ WINDOW 6 & 1 STORED SINGLE SHUTTER LEAF ARE STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SHUTTER TYPE 1 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SHUTTERS FOR SHUTTER TYPE 1. ADJUST TO FIT OPENING.

2 SHUTTER TYPE 2
SCALE: 3/4" = 1'-0"



5 SHUTTER TYPE 2- EXISTING CONDITION
SCALE: N.T.S.

FOR REFERENCE ONLY. SHUTTER TYPE 2 IS EXISTING (1 PAIR OF STORED SHUTTERS ARE STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SHUTTER TYPE 2 SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SHUTTERS FOR SHUTTER TYPE 2. ADJUST TO FIT OPENING.

3 SASH
SCALE: 3/4" = 1'-0"

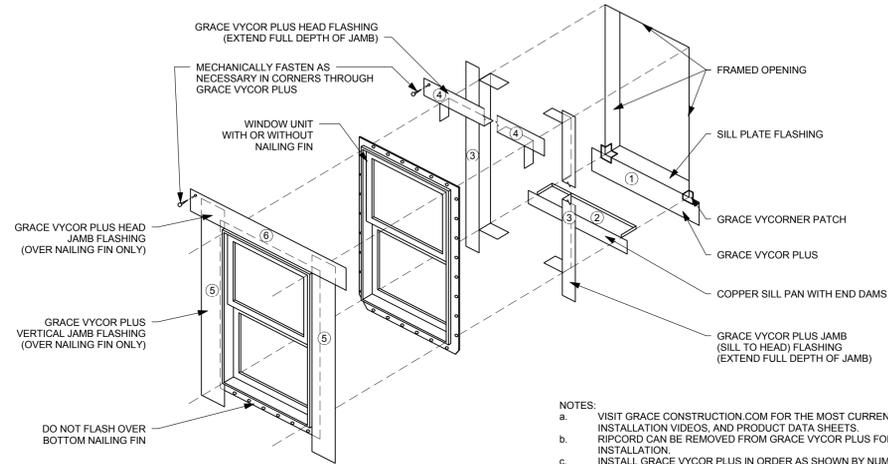


6 HISTORIC SASH- EXISTING CONDITION
SCALE: N.T.S.



FOR REFERENCE ONLY. SASH EXISTING (1 STORED SASH FROM THE SECOND STORY IS STILL EXTANT). DETAILS & PROFILES FOUND ON EXISTING SASH SHOULD BE TEMPLATED AND REPLICATED TO CREATE NEW SASH FOR ALL WINDOWS. ADJUST TO FIT OPENING AND STYLE OF WINDOW (SINGLE SASH, DOUBLE SASH).

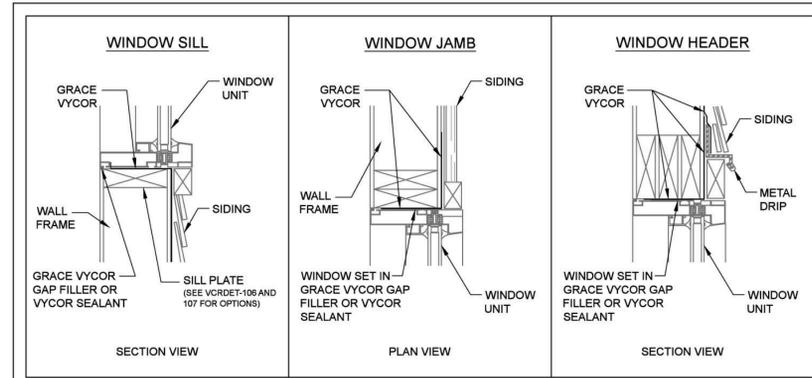
PRINTED ON: 10/26/2015 3:44 PM FILE LOCATION: Z:\AutoCAD\088_Garvin Preservation\088_Garvin_Preservation\088_Window\ReGarvin_House_Schematic_Drawings\A603_BID_DOCUMENTS.rvt



- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEOS, AND PRODUCT DATA SHEETS.
 - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION.
 - INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN.
 - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS.
 - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

GRACE VYCOR® PLUS SELF-ADHERED FLASHING SEVERE EXPOSURE

1 GRACE WINDOW FLASHING DETAIL- FOR ALL NEW WINDOWS
SCALE: N.T.S.



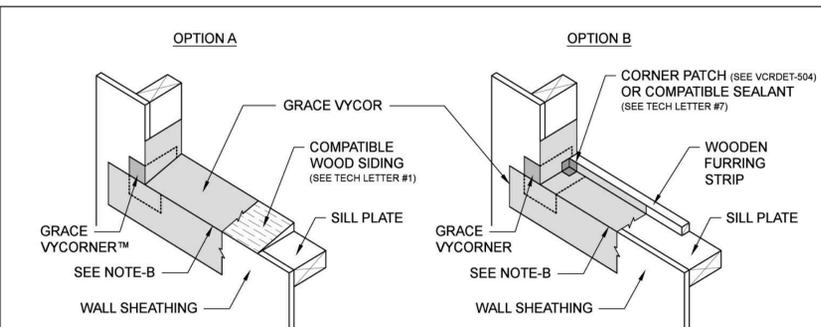
- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
 - REMOVE RIPCORD® FROM GRACE VYCOR FOR EASE OF INSTALLATION
 - IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
 - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
 - INSTALL AND SECURE WINDOW PER MANUFACTURER'S RECOMMENDATION
 - FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERMA-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
 - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

GRACE Construction Products
www.graceconstruction.com
toll free 866-333-3726

WINDOW WITHOUT NAILING FLANGE WOOD AND STEEL FRAME CONSTRUCTION GRACE VYCOR® SELF-ADHERED FLASHING

Drawing: VCRDET-109
Scale: Not to scale
Effective Date: 01/31/07
Supersedes: 09/01/05

2 GRACE WINDOW W/O NAILING FLANGE
SCALE: N.T.S.



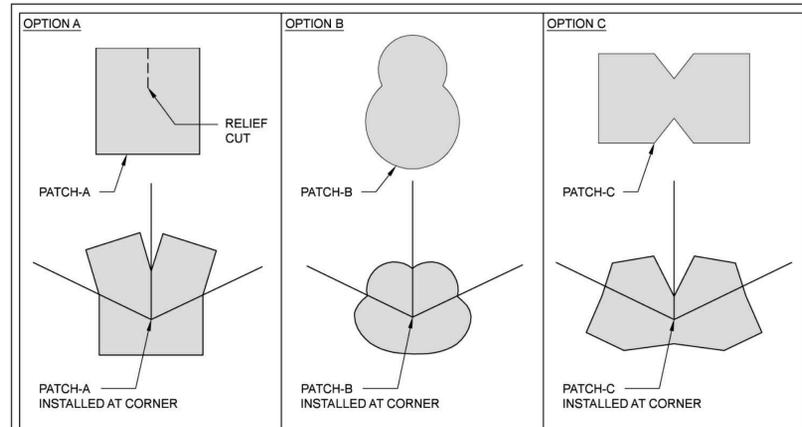
- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
 - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR FOR EASE OF INSTALLATION AND FUTURE TIE-INS
 - IF APPLICABLE, REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE
 - INSTALL SILL FLASHING AS SHOWN ABOVE
 - INSTALL GRACE VYCOR AROUND REMAINING WINDOW UNIT PER GRACE WINDOW DETAILS (VCRDET-100 TO 111)
 - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
 - A BACK DAM CAN BE ACCOMPLISHED USING A WOODEN FURRING STRIP, AS ILLUSTRATED ABOVE, OR BY FOLDING THE GRACE VYCOR ADHESIVE LAYER ONTO ITSELF
 - OPTION C: INSTALL WOODEN FURRING STRIP ON TOP OF WOODEN SIDING PRIOR TO GRACE VYCOR
 - FOR SILL PAN DEPTHS GREATER THAN 6 INCHES, A SLOPED SILL IS REQUIRED IN ACCORDANCE WITH ASTM E 2112
 - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

GRACE Construction Products
www.graceconstruction.com
toll free 866-333-3726

WINDOW SILL PAN OPTIONS GRACE VYCOR® SELF-ADHERED FLASHING

Drawing: VCRDET-106
Scale: Not to scale
Effective Date: 01/31/07
Supersedes: 09/01/06

3 GRACE WINDOW SILL PAN OPTIONS
SCALE: N.T.S.



- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
 - RIPCORD® CAN BE REMOVED FROM GRACE VYCOR FOR EASE OF INSTALLATION
 - REMOVE RELEASE PAPER AT TIME OF INSTALLATION OF CORNER PATCH
 - NOMINAL PATCH SIZE IS 3" x 3"
 - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL.

GRACE Construction Products
www.graceconstruction.com
toll free 866-333-3726

CORNER DETAILING PATCH OPTIONS GRACE VYCOR® SELF-ADHERED FLASHING

Drawing: VCRDET-504
Scale: Not to scale
Effective Date: 01/31/07
Supersedes: 09/01/05

4 GRACE CORNER DETAILING PATCH OPTIONS
SCALE: N.T.S.



MEADORS INC.
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



GARVIN HOUSE OYSTER FACTORY PARK
Bluffton, SC 29910

BID DOCUMENTS

PROJ. NO. OYSTER
DATE: FACTORY PARK
10.28.15
DRAWN BY: BLP

REVISIONS		
NO.	DATE	NOTES

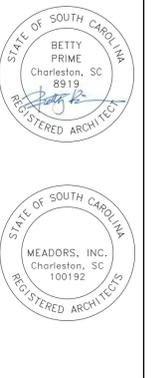
WINDOW DETAILS- PORCH ADDITION WINDOWS
A604

FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	NORTH WALL- MATERIAL/ PERCENT NEW	EAST WALL- MATERIAL/ PERCENT NEW	SOUTH WALL- MATERIAL/ PERCENT NEW	WEST WALL- MATERIAL/ PERCENT NEW	CEILING FINISH	FLOOR AREA	COMMENTS
101	STAIRHALL	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB (STORED)	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB	RESTORE EXISTING	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
102	ROOM 102	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	CATALOGUE, REMOVE, RESTORE TGB	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB (STORED)	RESTORE EXISTING	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
103	ROOM 103	WD, CATALOGUE, REMOVE, RESTORE	CATALOGUE, REMOVE, RESTORE TGB	RESTORE PB	CATALOGUE, REMOVE, RESTORE TGB	RESTORE TGB	RESTORE EXISTING	156 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
104	REAR ENCLOSURE	WD, NEW	NEW TGB, MATCH EXISTING IN ROOMS 102/103	NEW TGB, MATCH EXISTING IN ROOMS 102/103	RESTORE WOOD SIDING	NEW TGB, MATCH EXISTING IN ROOMS 102/103	NEW WD BOARDS, MATCH EXISTING IN ROOMS 102/103	138 SF	NEW CONSTRUCTION
105	FRONT PORCH	WD, NEW	RESTORE SIDING	N/A	N/A	N/A	OPEN TO STRUCTURE	94 SF	NEW CONSTRUCTION
201	STAIRHALL	WD, RESTORE	N/A	RESTORE PB	N/A	RESTORE PB	N/A	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
202	CHAMBER 1, ROOM 202	WD, RESTORE	N/A	N/A	N/A	RESTORE PB	N/A	186 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED
203	CHAMBER 2, ROOM 203	WD, RESTORE	N/A	RESTORE PB	N/A	N/A	N/A	138 SF	EXISTING- PRESERVE & RESTORE AS SPECIFIED

FINISHES SCHEDULE ABBREVIATIONS	
EX	EXISTING
N/A	NOT APPLICABLE
TGB	TONGUE & GROOVE/BUTTED BOARDS
PB	PANEL BOARDS
WD	WOOD
MAS	MASONRY

FINISH SCHEDULE - WALL DESIGNATION:	
WEST WALL	NORTH WALL
WEST WALL	EAST WALL
WEST WALL	SOUTH WALL

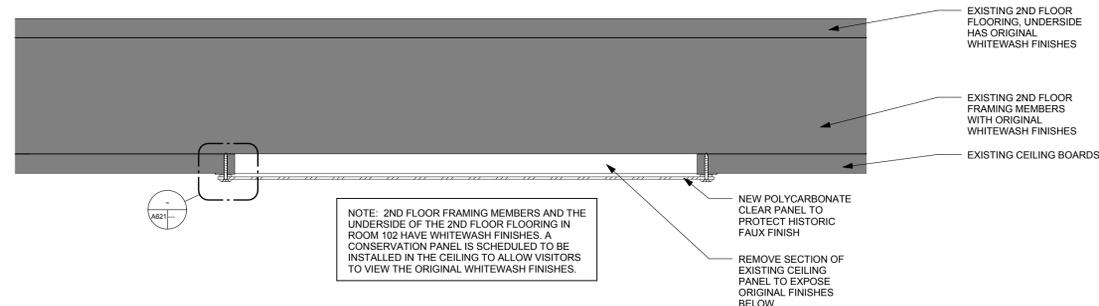
- ### GENERAL FINISH SCHEDULE NOTES
- FIELD VERIFY ALL DIMENSIONS
 - PROVIDE BLOCKING AS NECESSARY TO INSTALL & RESTORE WALL, CEILING, AND FLOOR FINISHES
 - REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON FINISHES.
 - FINISH SCHEDULE STATES INTENDED WALL FINISH FOR EACH OF THE FOUR WALLS IN EACH ROOM (SEE WALL DESIGNATION DIAGRAM).
 - ALL INTERIOR PAINT FINISHES TO REMAIN. NEW INTERIOR PAINT IS LIMITED TO ROOM 104.
 - ALL INTERIOR PAINT TO REMAIN INTACT. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE PAINT DURING THE COURSE OF WORK.
 - EXISTING INTERIOR WALL AND CEILING BOARDS TO BE CATALOGUED & TEMPORARILY REMOVED FOR INSTALLATION OF INSULATION IN HISTORIC PERIMETER WALLS AND CEILINGS. WALL BOARDS TO BE RE-INSTALLED IN ORIGINAL LOCATIONS, AND RESTORED COMPLETE. REPLACE MISSING WALL BOARDS. NEW BOARDS TO MATCH EXISTING IN SIZE, PROFILE, AND MATERIAL.
 - INSULATE PERIMETER WALLS IN ROOMS 101, 102, 103, AND 104. PANEL BOARD WALLS AT STAIRHALL ARE NOT TO BE INSULATED.
 - INSULATE CEILINGS IN ROOMS 101, 102, 103, AND 104.



GARVIN HOUSE
OYSTER FACTORY PARK
Bluffton, SC 29910

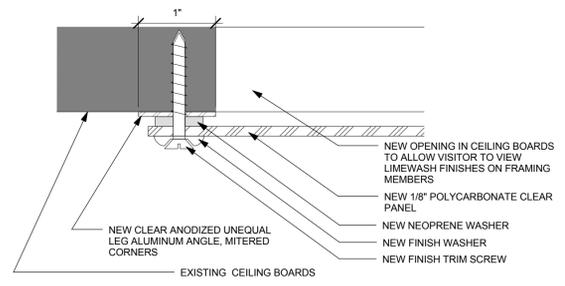
BID DOCUMENTS		
PROJ. NO.	OYSTER FACTORY PARK	
DATE:	10.28.15	
DRAWN BY:	BLP	
REVISIONS		
NO.	DATE	NOTES

FINISH SCHEDULE & CONSERVATION CEILING VIEWER DETAILS
A621

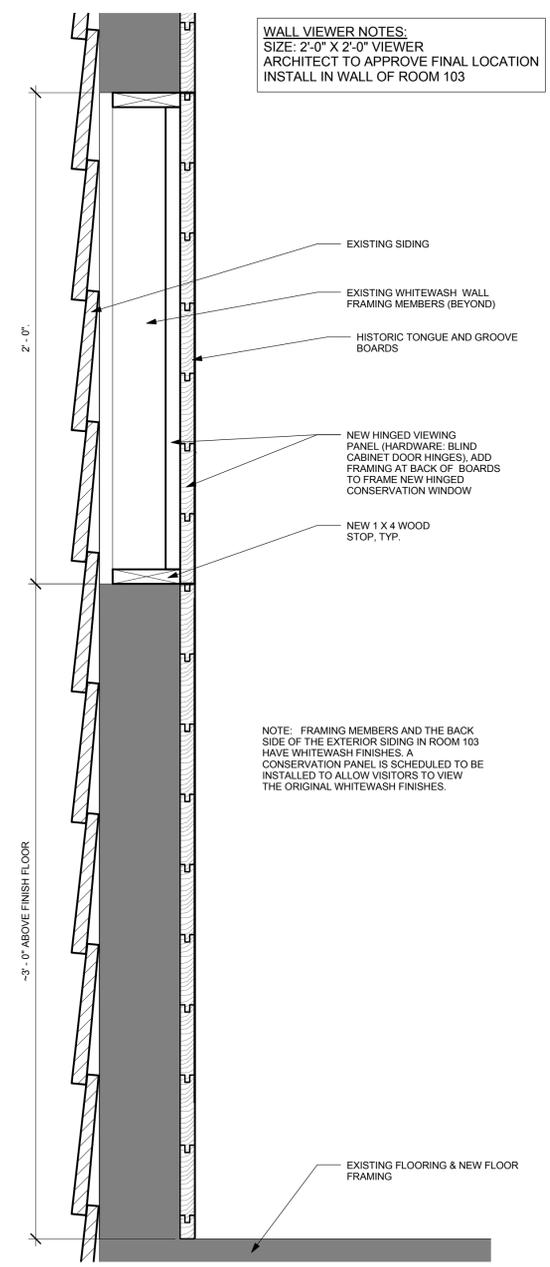


1 CONSERVATION WINDOW @ CEILING- SECTION DETAIL
SCALE: 3" = 1'-0"

CEILING VIEWER NOTES:
SIZE: 2'-0" X 2'-0" VIEWER
ARCHITECT TO APPROVE FINAL LOCATION
INSTALL IN CEILING OF ROOM 102



2 CONSERVATION WINDOW @ CEILING - PROTECTIVE COVER SIDE
SCALE: 12" = 1'-0"



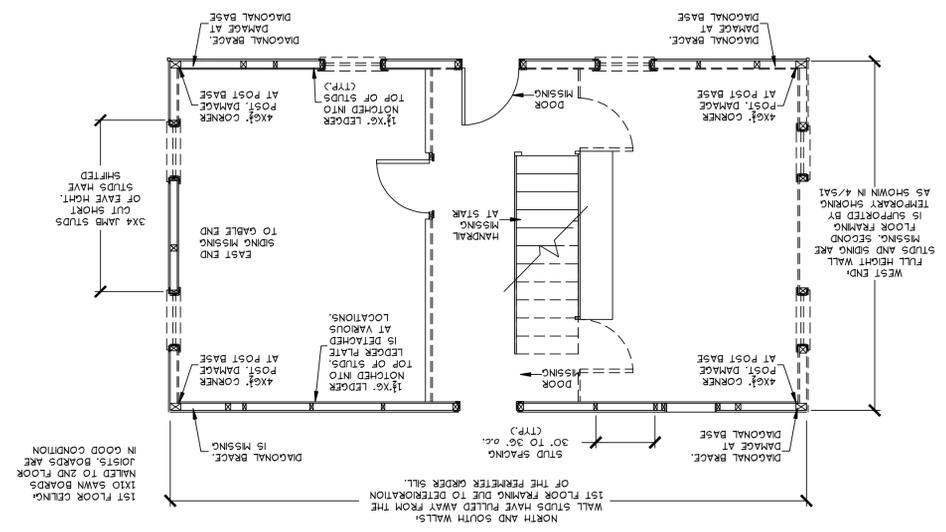
WALL VIEWER NOTES:
SIZE: 2'-0" X 2'-0" VIEWER
ARCHITECT TO APPROVE FINAL LOCATION
INSTALL IN WALL OF ROOM 103

NOTE: FRAMING MEMBERS AND THE BACK SIDE OF THE EXTERIOR SIDING IN ROOM 103 HAVE WHITEWASH FINISHES. A CONSERVATION PANEL IS SCHEDULED TO BE INSTALLED TO ALLOW VISITORS TO VIEW THE ORIGINAL WHITEWASH FINISHES.

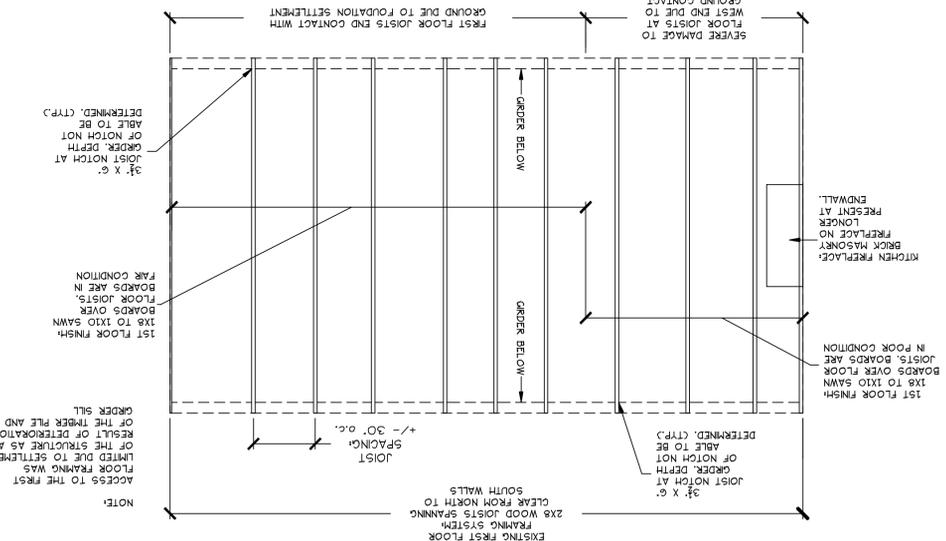
3 CONSERVATION WINDOW @ WALL - SECTION DETAIL
SCALE: 3" = 1'-0"

PRINTED ON: 10/28/2015 14:50 PM FILE LOCATION: Z:\AutoCAD\Bldg_Cover Preservation\A621_WallView_RearGarvin House_Schematic.dwg PLOT: BLDG_DOCUMENTS.dwt

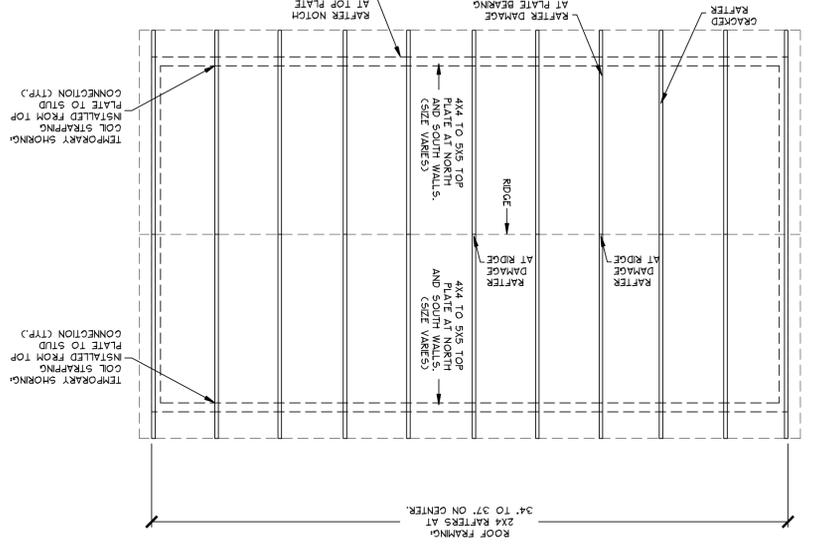
3 1ST FLOOR WALL COMPONENTS SCALE: 1/4" = 1'-0"



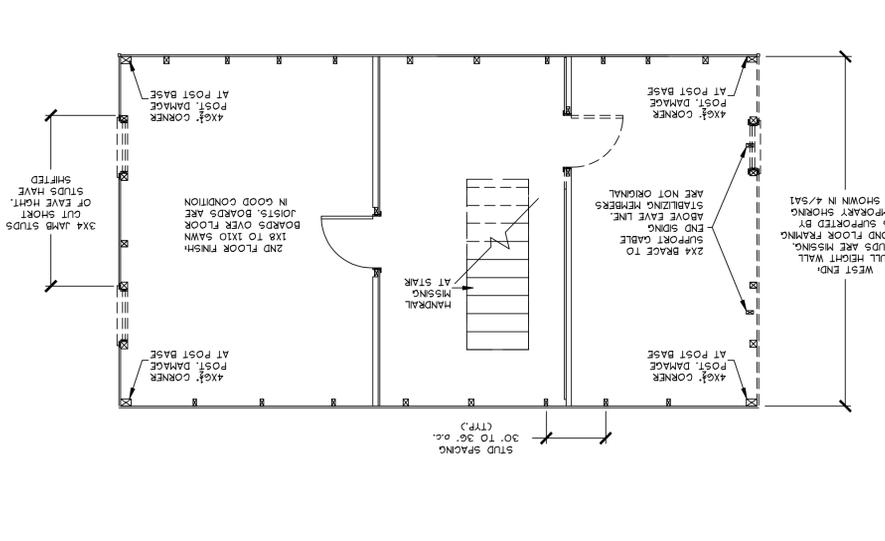
2 1ST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



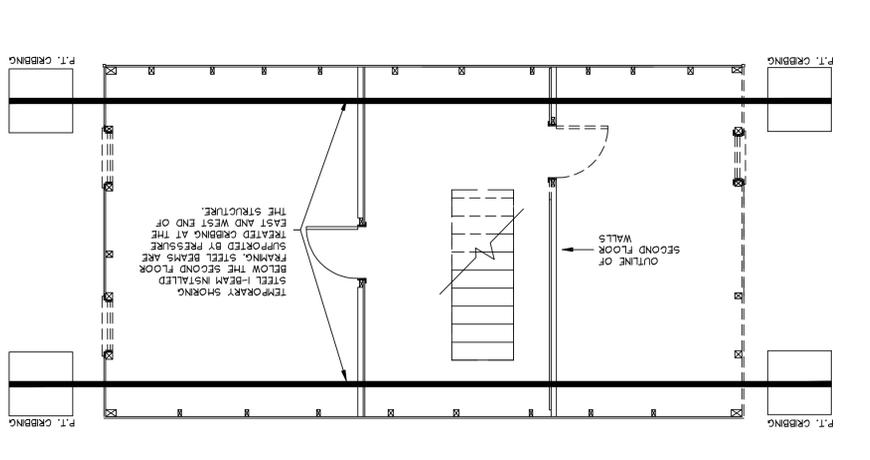
6 RAFTER FRAMING PLAN SCALE: 1/4" = 1'-0"



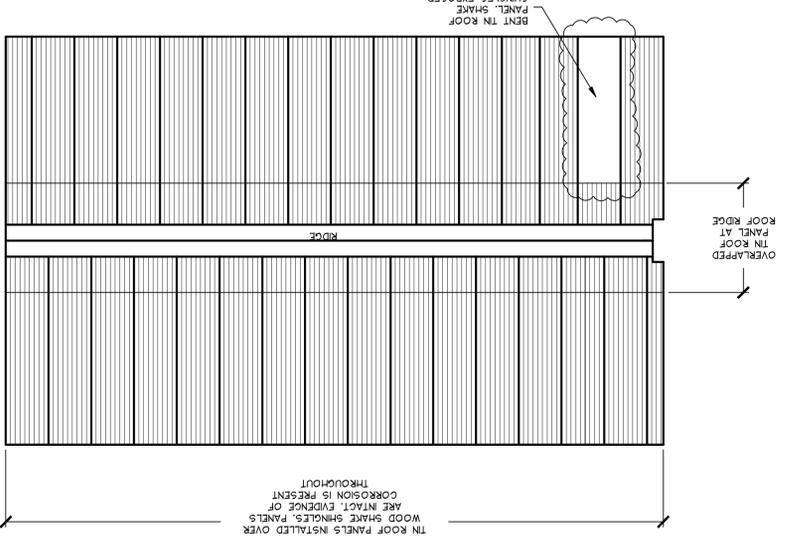
5 2ND FLOOR WALL COMPONENTS SCALE: 1/4" = 1'-0"



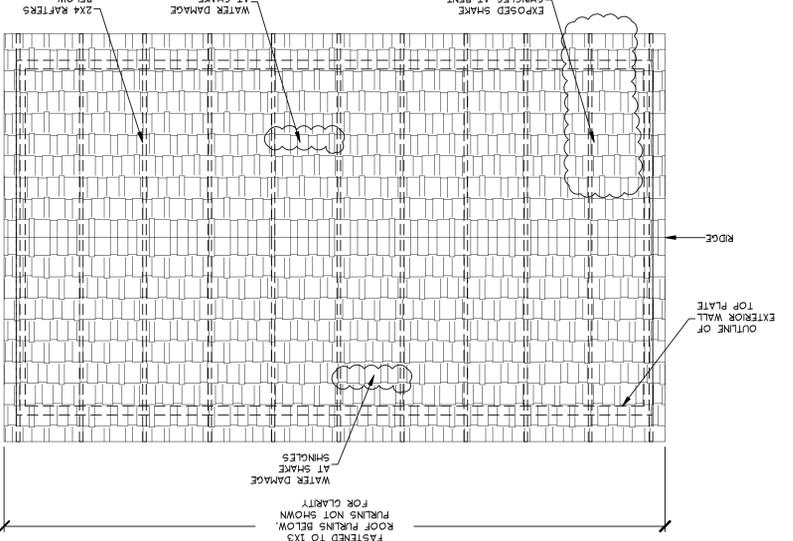
4 TEMPORARY SHORING SCALE: 1/4" = 1'-0"



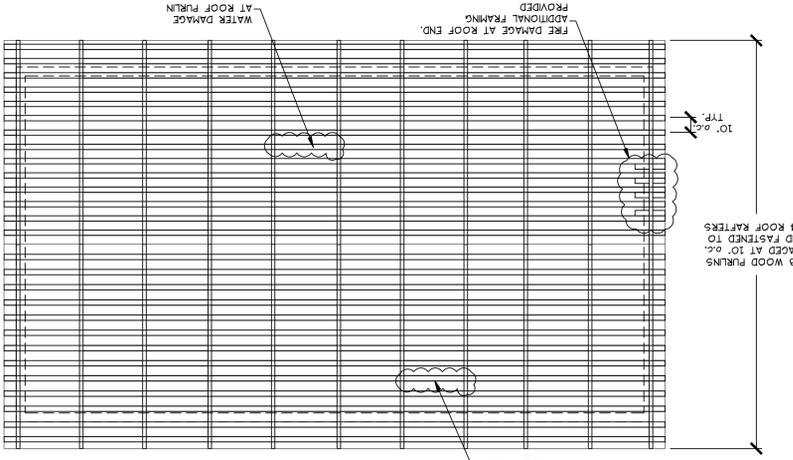
9 TIN PANEL ROOF PLAN SCALE: 1/4" = 1'-0"



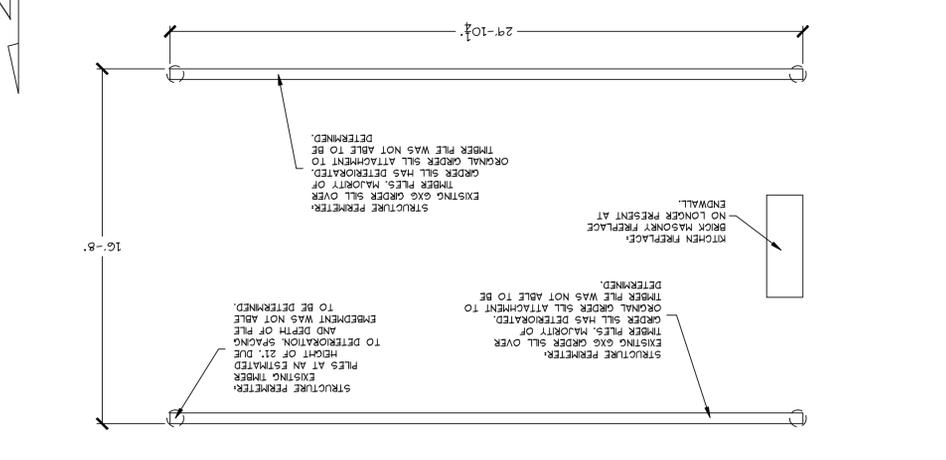
8 WOOD SHAKE SHINGLE PLAN SCALE: 1/4" = 1'-0"



7 WOOD PURLIN FRAMING PLAN SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN SCALE: 1/4" = 1'-0"



Project information including title 'AS-BUILT CONDITIONS', project name 'STRUCTURAL ASSESSMENT GARVIN HOUSE BLUFFTON, SC', and engineer details for Michael H. Hance, PE, LLC.

Revision table with columns for revision number, description, and date.

NOTES:

1. PROVIDE ALL MATERIALS AND LABOR FOR COMPLETE AND PROPERLY FUNCTIONING MECHANICAL SYSTEMS. WARRANTY ALL WORK AND ALL MATERIALS, EQUIPMENT AND DEVICES FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE.
2. WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
 A: INTERNATIONAL MECHANICAL CODE
 B: SMACNA
 C: ASHRAE
 D: ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
3. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS.
4. ALL MATERIALS, EQUIPMENT AND DEVICES SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
5. COORDINATE LOCATION OF MECHANICAL WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
6. INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURE'S WRITTEN, PRINTED INSTRUCTIONS AND RECOMMENDATIONS.
7. PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
8. WHERE PIPES PENETRATE WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH SPRAY FOAM MATERIAL TO SEAL OPENINGS FROM RODENTS AND PESTS.
9. ALL REFRIGERANT PIPING SHALL BE INSULATED WITH 1" AEROCEL INSULATION.
10. ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1/2" AEROCEL INSULATION.
11. ALL EXPOSED PIPING SHALL BE PAINTABLE, WITH THE COLOR SELECTED BY THE ARCHITECT.

LEGEND

- ☒ SUPPLY
- ☒ RETURN
- ☒ EXHAUST
- MANUAL VOLUME DAMPER (VD)
- Ⓣ THERMOSTAT
- A/### AIR DEVICE MARK/CFM
- RG RETURN AIR GRILL
- REFRIG. REFRIGERANT
- CD CONDENSATE DRAIN
- HP HEAT PUMP
- AHU AIR HANDLING UNIT
- O.A. OUTSIDE AIR
- ⇌ TURNING VANE
- OBD OPPOSED BLADE DAMPER
- Ⓢ SMOKE DETECTOR
- Ⓜ MOTORIZED DAMPER ACTUATOR
- AFF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE

MULTI-SPLIT SYSTEM HEAT PUMP SCHEDULE

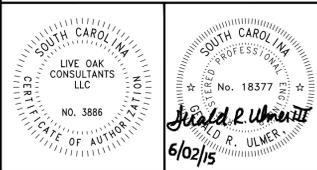
MARK		AHU-1A	AHU-1B	AHU-1C
INDOOR UNIT	FAN			
	SUPPLY AIR - CFM	400	400	300
	OUTSIDE AIR - CFM	-	-	-
	EXT. S.P. - IN. W.G.	-	-	-
	BLOWER MOTOR - KW	-	-	-
	ELECTRICAL - V/ø/Hz	208/1/60	208/1/60	208/1/60
APPROXIMATE WEIGHT - LB.	26.0	26.0	26.0	
COOLING	TOTAL CAPACITY - MBTUH	11.13	11.13	8.83
	SENSIBLE CAPACITY - MBTUH	7.19	7.19	6.02
	ENT. AIR TEMP. - °F dB/wB	80/67	80/67	80/67
HEATING	HIGH TEMP. HEATING - MBTUH AT ARI	13.5	13.5	10.5
	AUXILIARY HEATER-KW/STEPS *	-	-	-
MARK		HP-1		
AMBIENT AIR TEMP. - °F db		95		
COMPRESSORS - NO.		1		
ELECTRICAL - V/ø/Hz		208/1/60		
APPROXIMATE WEIGHT - LB.		310		
MINIMUM CIRCUIT AMPACITY		27		
PROT. RTG. RECMD. (AMPS)		30		
SYSTEM SEER/EER AT ARI		-/11.5	-/11.5	-/11.5
SYSTEM COP - HIGH TEMP. HEATING AT ARI		2.8	2.8	2.8
MANUFACTURER (SEE NOTE 5)		DAIKIN AC	DAIKIN AC	DAIKIN AC
INDOOR UNIT MODEL NO.		FXAQ12PVJU	FXAQ12PVJU	FXAQ09PVJU
HEAT PUMP MODEL NO.		RXYMQ36PVJU		
NOTES		1,2,3,4	1,2,3,4	1,2,3,4

NOTES:

1. EXTERNAL STATIC PRESSURE IS FOR DUCTWORK SYSTEM ONLY. FILTERS, COILS AND CASING LOSSES ARE INTERNAL.
 2. THE INSTALLER SHALL BE CERTIFIED BY THE EQUIPMENT MANUFACTURER, AND SHALL PROVIDE REFRIGERANT PIPING, THAT SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 3. PROVIDE WITH THE STANDARD FILTER TYPE.
 4. PROVIDE A WIRED REMOTE, SIMPLIFIED, PROGRAMMABLE THERMOSTAT.
 5. PROVIDE DAIKIN AC OR APPROVED EQUAL BY MITSUBISHI ELECTRIC, OR LG.
- * KW RATING AT THE SPECIFIED VOLTAGE.

Live Oak Consultants, LLC
 Engineers, Project Managers & Planners

PO Box 60490
 North Charleston, SC 29419
 MAIN: (843) 525-9428
 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: info@LiveOakConsultants.com



MEADORS INC.

CLIENT:

REV.	DATE	REV. BY	REVISION INFORMATION	
			ISSUED FOR CONSTRUCTION	GENERAL REVISIONS
0	05/19/15	RKL		
1	06.02.15	RKL		

DRAWING TITLE:
**BLUFFTON, SC 29910
 GARVIN HOUSE**

**MECHANICAL
 NOTES, LEGEND
 AND SCHEDULE**

PRINCIPAL: G ULMER
 DESIGNED BY: R LEHNHOFF
 DRAWN BY: R LEHNHOFF
 APPROVED BY: G ULMER
 SCALE: AS SHOWN
 PROJECT NUMBER: 20150021
 CAD FILE: M0-01

DRAWING NUMBER:
M0-01

GENERAL NOTES:

1. SPECIAL CARE SHALL BE TAKEN TO PROTECT ALL HISTORIC MATERIALS DURING THE INSTALLATION OF THE MECHANICAL SYSTEMS. ANY DAMAGE CAUSED BY THE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE REPAIRED TO MATCH THE ADJACENT AREAS AND MATERIALS. ANY REPAIRS MADE SHALL BE DONE IN STRICT ACCORDANCE WITH THE METHODS ESTABLISHED BY THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

L O O
Live Oak Consultants, LLC
 Engineers, Project Managers & Planners

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 North Charleston, SC 29419
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 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: Info@LiveOakConsultants.com



SOUTH CAROLINA
 LIVE OAK CONSULTANTS, LLC
 LICENSE NO. 3886
 STATE OF SOUTH CAROLINA

SOUTH CAROLINA
 REGISTERED PROFESSIONAL ENGINEER
 No. 18377
 J. R. ULMER
 6/02/15

CLIENT:

MEADORS INC.

REV.	DATE	REV. BY	REVISION INFORMATION
0	05/19/15	RKL	ISSUED FOR CONSTRUCTION
1	06.02.15	RKL	GENERAL REVISIONS

DRAWING TITLE:

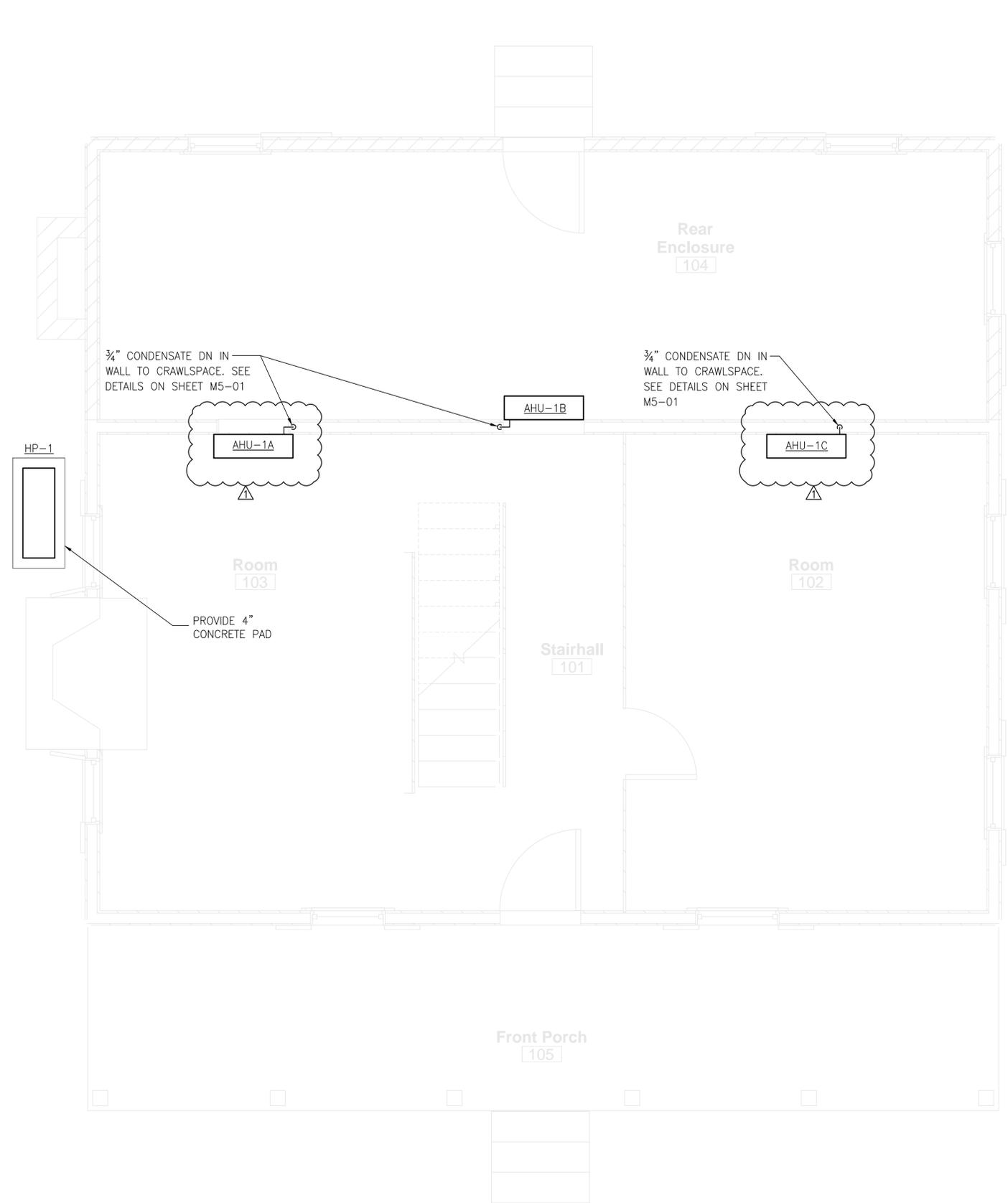
**BLUFFTON, SC 29910
 GARVIN HOUSE**

**FIRST FLOOR
 MECHANICAL
 PLAN**

PRINCIPAL: G ULMER
 DESIGNED BY: G SIMONSEN
 DRAWN BY: G SIMONSEN
 APPROVED BY: G ULMER
 SCALE: AS SHOWN
 PROJECT NUMBER: 20150021
 CAD FILE: M1-01

DRAWING NUMBER:

M1-01



FIRST FLOOR MECHANICAL PLAN
 SCALE: 1/2"=1'-0"

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GENERAL NOTES:

1. SPECIAL CARE SHALL BE TAKEN TO PROTECT ALL HISTORIC MATERIALS DURING THE INSTALLATION OF THE MECHANICAL SYSTEMS. ANY DAMAGE CAUSED BY THE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE REPAIRED TO MATCH THE ADJACENT AREAS AND MATERIALS. ANY REPAIRS MADE SHALL BE DONE IN STRICT ACCORDANCE WITH THE METHODS ESTABLISHED BY THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

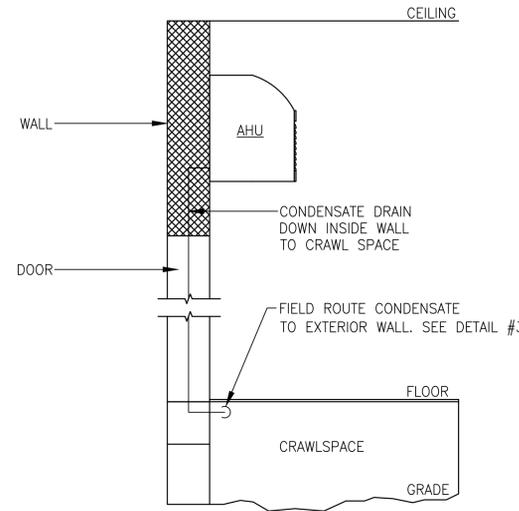
L O O
Live Oak Consultants, LLC
 Engineers, Project Managers & Planners

PO Box 60490
 North Charleston, SC 29419
 MAIN: (843) 529-9428
 FAX: (800) 915-0341
 www.LiveOakConsultants.com
 Email: Info@LiveOakConsultants.com



SOUTH CAROLINA
 LIVE OAK CONSULTANTS LLC
 NO. 3886
 STATE OF AUTHORIZATION

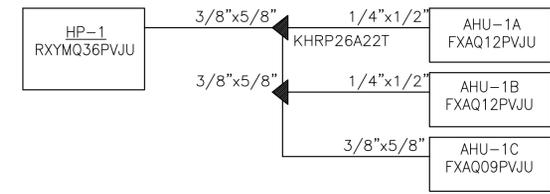
SOUTH CAROLINA
 REGISTERED PROFESSIONAL ENGINEER
 No. 18377
 WILFRED R. ULMER
 6/02/15



NOTE:
 REMOVE ORIGINAL FINISH MATERIAL AS NEEDED TO INSTALL MECHANICAL EQUIPMENT. REINSTALL ORIGINAL FINISH MATERIAL AFTER MECHANICAL EQUIPMENT INSTALLATION. COORDINATE WITH ARCHITECT.

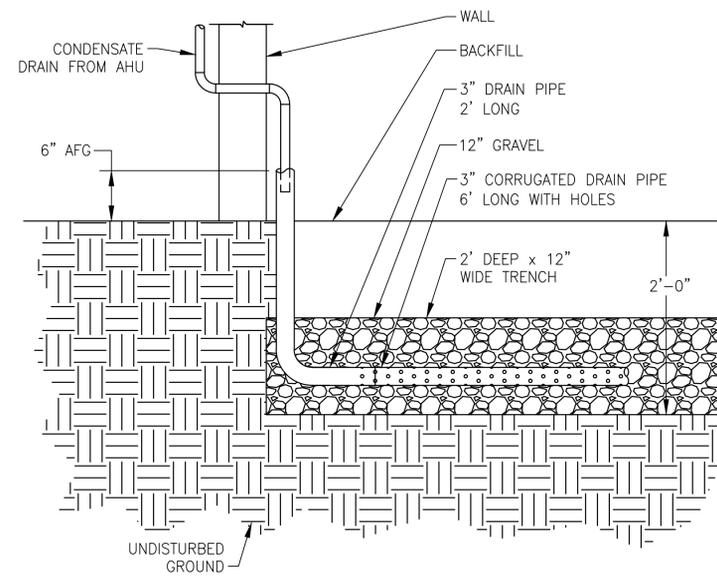
TYPICAL MINI-SPLIT AIR HANDLING UNIT (AHU) INSTALLATION

1
 M5-01 N.T.S.



REFRIGERANT PIPING DETAIL

2
 M5-01 N.T.S.



CONDENSATE DRAIN FIELD DETAIL

3
 M502 N.T.S.

CLIENT:
MEADORS INC.

REV.	DATE	REV. BY	REVISION INFORMATION
0	05/19/15	RKL	ISSUED FOR CONSTRUCTION
1	06.02.15	RKL	GENERAL REVISIONS

DRAWING TITLE:
**BLUFFTON, SC 29910
 GARVIN HOUSE**

**MECHANICAL
 DETAILS**

PRINCIPAL: G ULMER
 DESIGNED BY: R LEHNHOFF
 DRAWN BY: R LEHNHOFF
 APPROVED BY: G ULMER
 SCALE: AS SHOWN
 PROJECT NUMBER: 20150021
 CAD FILE: M5-01

DRAWING NUMBER:
M5-01

ELECTRICAL GENERAL NOTES

- POWER DISTRIBUTION:** IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO AS-BUILT EXISTING POWER PANELS AND MARK-UP (TYPE WRITTEN) PANEL SCHEDULES TO REFLECT MODIFICATIONS MADE AS PART OF THIS PROJECT. FOR NEW PANELS: PROVIDE TYPE WRITTEN PANEL SCHEDULES REFLECTING AS-BUILT CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE CODES AND WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- PROVIDE ADDITIONAL SUPPORT FOR SWITCHES, STARTERS, FIXTURES, RACEWAYS AND OTHER ELECTRICAL EQUIPMENT WHEREVER THE BUILDING STRUCTURE IS NOT SUITABLE FOR DIRECT MOUNTING.
- DO NOT INSTALL MATERIALS OTHER THAN SPECIFIED EXCEPT FOR ALTERNATES ACCEPTED BY OWNER.
- FIRESTOP, DRAFT STOP AND/OR PROTECT THE ANNULAR SPACE AROUND ALL PIPE, TUBE, CONDUIT, WIRE, CABLE, VENT AND DUCT PENETRATION THROUGH WALLS, PARTITIONS, FLOORS, CEILINGS AND ROOFS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND UL LISTING REQUIREMENTS. ALL OPENINGS SHALL BE SEALED TO MATCH FIRE OR SMOKE RATING OF WALL PENETRATIONS.
- VERIFY CEILING SUSPENSION SYSTEMS IN THE VARIOUS AREAS AND PROVIDE THE PROPER MOUNTING ACCESSORIES, TRIMS, ETC., TO SUIT THE PARTICULAR AREA.
- SYMBOLS IN THE LEGENDS ARE APPLICABLE GENERALLY. FOR EXACT REQUIREMENTS REFER TO THE SCHEDULES, LAYOUTS, DETAILS AND TO THE SPECIFICATIONS SINCE THE APPEARANCE OF A PARTICULAR SYMBOL IN THE LEGEND DOES NOT NECESSARILY IMPLY THAT THE ITEM IS INCLUDED IN THE CONTRACT.
- EXCEPT WHERE NOTED OTHERWISE, LIMIT LIGHTING AND RECEPTACLE BRANCH CIRCUIT HOMERUNS TO 7 CONDUCTORS. 3 PHASE WIRES, 3 NEUTRAL AND 1 GROUND.
- PROVIDE INDEPENDENT NEUTRALS FOR ALL NEW LIGHTING AND RECEPTACLE CIRCUITS.
- ALL POWER CIRCUITS SHALL CONTAIN AN EQUIPMENT GROUNDING CONDUCTOR (GREEN COLOR INSULATION) ROUTED IN CONDUIT AND SIZED AS INDICATED ON DRAWINGS (MINIMUM SIZE - #12AWG).
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ROUTE CONDUITS CONCEALED IN FINISHED SPACES, UNLESS NOTED OTHERWISE ON PLANS. INSTALL ALL DEVICES RECESSED FLUSH IN WALL, UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE EXPANSION JOINT FITTINGS FOR ALL RACEWAYS CROSSING EXPANSION JOINTS.
- FOR ALL RECEPTACLES: PROVIDE AN EQUIPMENT BONDING JUMPER FROM THE GROUNDING TERMINAL OF THE RECEPTACLE TO THE METAL BOX.
- DO NOT INSTALL DEVICE OUTLET BOXES BACK-TO-BACK IN COMMON WALL. OFFSET 6". ALTERNATE CIRCUITS TO ADJACENT DEVICES IN MULTI-OUTLET RACEWAY.
- LABEL ALL RECEPTACLE FACEPLATES WITH PANEL NAME AND CIRCUIT NUMBER FEEDING THAT RECEPTACLE.
- COORDINATE ALL WORK AND POWER OUTAGES WITH OWNER.
- PROVIDE STRIPING ON THE FLOOR AROUND ELECTRICAL PANELS TO IDENTIFY THE CODE REQUIRED WORKING CLEARANCE.
- PHASE IDENTIFICATION FOR CIRCUITS SHALL BE ACCOMPLISHED BY COLOR CODE AS FOLLOWS:
 CIRCUITS RATED (240/120V):
 PHASE "A" = BLACK
 PHASE "B" = RED
 NEUTRAL = WHITE

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMPS	BALLASTS	FIXTURE WATTAGE	NOTES
A1	SURFACE MOUNTED LIGHT	SCHOOLHOUSE ELECTRIC	U/1 FINISH ANT. BLACK AKU# 251.0080 SHATTER-PROOF CLEAR BULB	120V	-	-	150W	PROVIDE SUBMITTAL TO ARCHITECT
A2	SURFACE MOUNTED LIGHT	REJUVENATION	THURMAN 3 1/4" CLASSIC FLUSH MOUNT CEILING FIXTURE FINISH BLACK ENAMEL W/CLEAR PEAR SHAPED SHADE	120V	-	-	150W	PROVIDE SUBMITTAL TO ARCHITECT
C	EXTERIOR FLOOD	LITHONIA	OFLR6LC 120P BZM2 DUSK TILL DAWN	120V	-	-	150W	FINISH SELECTED BY ARCHITECT. PROVIDE WITH INTEGRAL MOTION DETECTOR. PROVIDE SUBMITTAL TO ARCHITECT
E	RECESSED CAN	LITHONIA	4" LED RECESSED DOWNLIGHT GIMBAL LED MODULE	120V	-	-	150W	VERIFY SELECTION WITH ARCHITECT. PROVIDE SUBMITTAL TO ARCHITECT
F	LANDSCAPE LIGHTING	HK USA	ZXL16	12V	MR16	-	15W	PROVIDE WITH PATH TREE LIGHTING TREE STRAP, FOCUS TRANSFORMERS MST SERIES CATALOG NUMBER MST-12-300 (300W). INSTALL PER MANUFACTURER'S RECOMMENDATIONS

ELECTRICAL LEGEND

- [237] CART INDICATES ROOM NUMBER
- DISCONNECT SWITCH. REFER TO PLANS FOR ADDITIONAL INFORMATION.
30A/2P/1 "30A" INDICATES AMPACITY, "2P" INDICATES PHASES, "1" INDICATES NEMA CLASSIFICATION.
- EXIT SIGN WITH BATTERY PACK EMERGENCY LIGHTING UNIT WITH INTEGRAL EMERGENCY LIGHT BAR. LITHONIA CAT. NO. ECBG LED M6; OR APPROVED SUBSTITUTE. CONNECT TO UNSWITCHED ROOM LIGHTING CIRCUIT.
'R' UNIT SHALL BE CAPABLE OF POWER TWO REMOTE LAMPS FOR 90 MINUTES
- EMERGENCY LIGHTING UNIT WITH BATTERY PACK AND NUMBER OF HEADS INDICATED. LITHONIA CAT. NO. ELM2LED; OR APPROVED SUBSTITUTE. CONNECT TO EXISTING UNSWITCHED ROOM LIGHTING CIRCUIT. CONNECT TO EXISTING UNSWITCHED ROOM LIGHTING CIRCUIT.
- REMOTE OUTDOOR FIXTURE, (TWIN HEAD) - POWERED FROM EMERGENCY LIGHT AS INDICATED ON PLANS. LITHONIA CAT. NO. ELA LED T WP M12 OR EQUAL.
- DOWNLIGHT FIXTURE. "*" INDICATES FIXTURE TYPE, REFER TO FIXTURE SCHEDULE FOR MORE INFORMATION.
- TOGGLE TYPE LIGHT SWITCH, 120V/20A. MOUNTED 48" A.F.F. (UNLESS NOTED OTHERWISE).
 "3" INDICATES THREE WAY.
 "4" INDICATES FOUR WAY.
 "D" INDICATES DIMMER TYPE SWITCH. (1000 WATTS UNLESS NOTED OTHERWISE) COORDINATE SWITCH TYPE WITH FIXTURE TO BE DIMMED.
 "OS" INDICATES PIR OCCUPANCY SENSOR. LUTRON MAESTRO MS-OPS6M OR APPROVED SUBSTITUTE TO CONTROL UP TO 6A OF LIGHTING LOAD. MATCH OCCUPANCY SENSOR WITH TYPE OF LIGHTING TO BE CONTROLLED.
 "M" INDICATES TO PROVIDE MOTOR-RATED SWITCH WITH OVERLOADS IF REQUIRED
- 120V/20A DUPLEX RECEPTACLE. MOUNTED 18" A.F.F. (UNLESS NOTED OTHERWISE).
 "GF" INDICATES GROUND FAULT CIRCUIT INTERRUPTER TYPE.
 "WP" INDICATES WEATHER PROOF WHILE IN USE COVER WITH WEATHER RESISTANT RECEPTACLE
 "ER" INDICATES EXISTING RECEPTACLE TO REMAIN
- 120V/20A DUPLEX RECEPTACLE. MOUNTED 42" UP OR 6" ABOVE COUNTER. SAME AS ABOVE
- 120V/20A BRASS DUPLEX RECEPTACLE. MOUNTED IN FLOOR.
- BRANCH CIRCUIT RACEWAY - CONCEALED IN WALL OR CEILING
- P1 POWER PANEL "P1"
- COMBINATION VISIBLE/AUDIBLE SMOKE DETECTOR

TYPICAL DEVICE MOUNTING HEIGHT

- RECEPTACLES _____ 18" AFF
 LIGHT SWITCHES _____ 48" AFF

NOTE: DIMENSIONS ARE TO DEVICE CENTERLINE UNLESS NOTED OTHERWISE.

ELECTRICAL ABBREVIATIONS

- A AMPERES
 AFF ABOVE FINISHED FLOOR
 AFG ABOVE FINISHED GRADE
 AHU AIR HANDLING UNIT
 AIR AMPS INTERRUPTING RATING
 ATS AUTOMATIC TRANSFER SWITCH
 AWG AMERICAN WIRE GAUGE
 BOF BOTTOM OF FIXTURE
 BOS BOTTOM OF STEEL
 C CONDUIT
 CAT CATALOG
 CB CIRCUIT BREAKER
 CKT CIRCUIT
 CT CURRENT TRANSFORMER
 CWA CONSTANT WATTAGE AUTOTRANSFORMER
 DTT DOUBLE TWIN TUBE
 DWG(S) DRAWING(S)
 EB ELECTRONIC BALLAST
 EC EMPTY CONDUIT
 ECB ENCLOSED CIRCUIT BREAKER
 EF EXHAUST FAN
 EFF ENERGY EFFICIENT
 EJ EXPANSION JOINT
 EM EMERGENCY
 EMT ELECTRICAL METALLIC TUBING
 EQUIP EQUIPMENT
 EWC ELECTRIC WATER COOLER
 EWH ELECTRIC WATER HEATER
 EXIST EXISTING
 ER EXISTING TO REMAIN
 EXP EXPLOSION PROOF
 FAAP FIRE ALARM ANNUNCIATOR PANEL
 FACP FIRE ALARM CONTROL PANEL
 FBO FURNISHED BY OTHERS
 FCU FAN COIL UNIT
 FMS FACILITY MANAGEMENT SYSTEM
 FVNR FULL VOLTAGE NON-REVERSING
 FWE FURNISHED WITH EQUIPMENT
 GF/GF GROUND FAULT CIRCUIT INTERRUPTER
 G/GND GROUND
 HP HORSEPOWER
 HPF HIGH POWER FACTOR
 HACR HEATING/AIR CONDITIONING RATED
 INCAN INCANDESCENT
 JB JUNCTION BOX
 KW KILOWATTS
 LTG LIGHTING
 MAG MAGNETIC
 MCB MAIN CIRCUIT BREAKER
 MCC MOTOR CONTROL CENTER
 MCCB MOLDED CASE CIRCUIT BREAKER
 MCS MOLDED CASE SWITCH
 MLO MAIN LUGS ONLY
 MT MOUNT
 MTD MOUNTED
 MTG MOUNTING
 N NEUTRAL
 NEC NATIONAL ELECTRICAL CODE
 NF NON-FUSED
 NIC NOT IN CONTRACT
 NTS NOT TO SCALE
 NWR NO WORK REQUIRED
 OF OWNER FURNISHED
 OFCI OWNER FURNISHED, CONTRACTOR INSTALLED
 OFOI OWNER FURNISHED, OWNER INSTALLED
 PB PUSH BUTTON
 PMT PAD MOUNTED TRANSFORMER
 PNL(S) PANEL(S)
 RECEPT RECEPTACLE
 REQD REQUIRED
 RM ROOM
 RGS RIGID GALVANIZED STEEL CONDUIT
 SMR SURFACE MOUNTED RACEWAY
 ST SHUNT TRIP
 RTU ROOF TOP UNIT
 STP SHIELDED TWISTED PAIR
 SPST SINGLE-POLE, SINGLE-THROW
 TBB TELEPHONE BACKBOARD
 TEL TELEPHONE
 TOC TOP OF CONCRETE
 TOF TOP OF FIXTURE
 TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
 TYP TYPICAL
 UH UNIT HEATER
 UNO UNLESS NOTED OTHERWISE
 UG UNDERGROUND
 UP UNDERGROUND POWER
 UT UNDERGROUND TELEPHONE
 UTP UNSHIELDED TWISTED PAIR
 V VOLTS
 VA VOLT-AMPERES
 VFD VARIABLE FREQUENCY DRIVE
 W WATTS
 WP WEATHERPROOF
 XFMR TRANSFORMER
 2S1W 2 SPEED, 1 WINDING

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MEADORS INC.

CLIENT:

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1	06/02/15	BWM		

DRAWING TITLE:
**BLUFFTON, SC 29910
 GARVIN HOUSE**

**ELECTRICAL
 NOTES, LEGEND
 AND SCHEDULE**

PRINCIPAL: G ULMER
 DESIGNED BY: B MARTIN
 DRAWN BY: B MARTIN
 APPROVED BY: R OWENS
 SCALE: AS SHOWN
 PROJECT NUMBER: 20150021
 CAD FILE: E0-01

DRAWING NUMBER:
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SOUTH CAROLINA
 LIVE OAK CONSULTANTS, LLC
 NO. 3886
 DATE OF AUTHORIZATION
 9/30/15

CLIENT: **MEADORS INC.**

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2	09/30/15	BWM	GENERAL REVISIONS

DRAWING TITLE:
**BLUFFTON, SC 29910
 GARVIN HOUSE**
**FIRST FLOOR
 ELECTRICAL PLANS**

PRINCIPAL: G ULMER
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 DRAWN BY: B MARTIN
 APPROVED BY: R OWENS
 SCALE: AS SHOWN
 PROJECT NUMBER: 20150021
 CAD FILE: E1-01

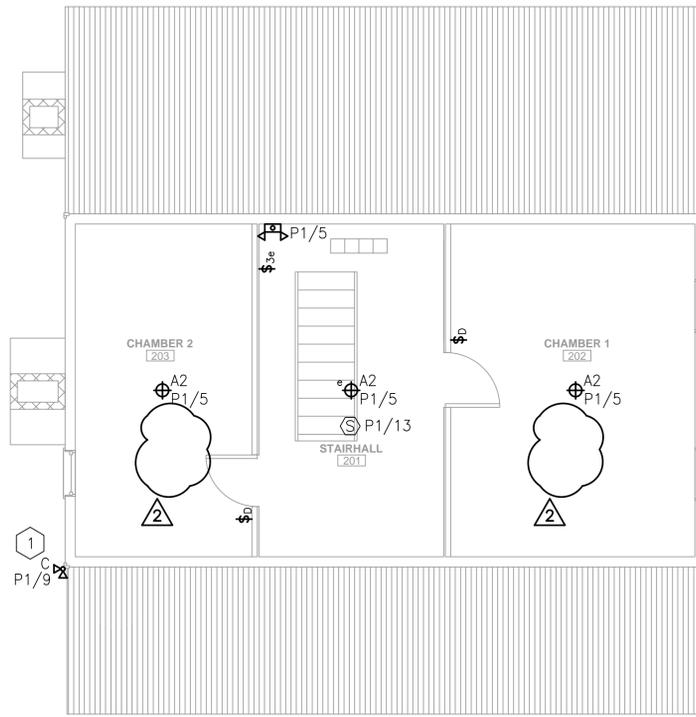
DRAWING NUMBER:
E1-01

GENERAL NOTES:

1. ALL LIGHTING AND RECEPTACLE LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
2. COORDINATE ALL SWITCH MOUNTING REQUIREMENTS AND FINISHES WITH OWNER AND ARCHITECT.
3. ALL EXPOSED CONDUIT SHALL BE PAINTED. COORDINATE COLOR WITH ARCHITECT.

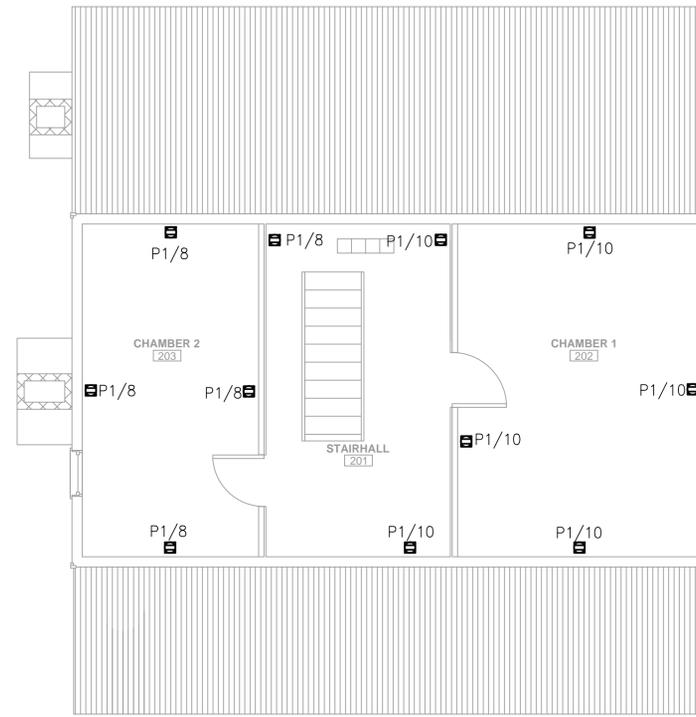
KEYED NOTES:

- 1 ROUTE CIRCUIT THROUGH TIME-CLOCK. PROVIDE MOTION SENSOR AT FIXTURE.
- 2 LOCATE JUNCTION BOX UNDER BUILDING AND EXTEND CONDUIT TO LANDSCAPE LIGHTING LOCATED IN TREE. ROUTE CIRCUIT THROUGH TIME-CLOCK. PROVIDE WITH MOTION SENSOR, COORDINATE LOCATION WITH OWNER. COORDINATE FINAL LOCATION OF FIXTURE AND CONDUIT RUN WITH OWNER AND ARCHITECT. SEE SHEET E5-01 FOR ADDITIONAL REQUIREMENTS.
- 3 COORDINATE FINAL LOCATION OF REMOTE EXTERIOR EMERGENCY LIGHTING UNIT WITH ARCHITECT.



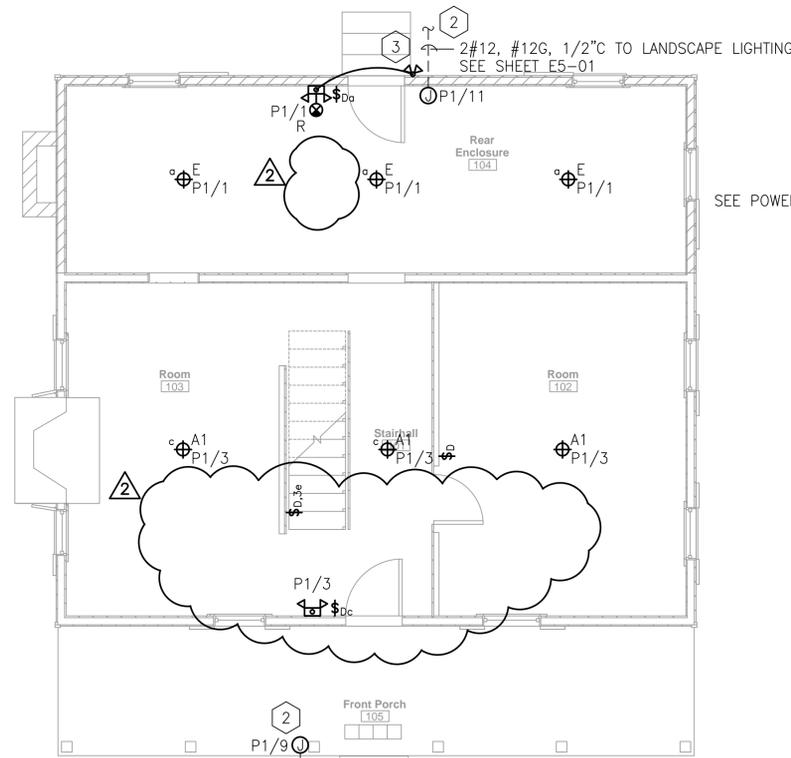
SECOND FLOOR LIGHTING PLAN

SCALE: 1/4"=1'-0"



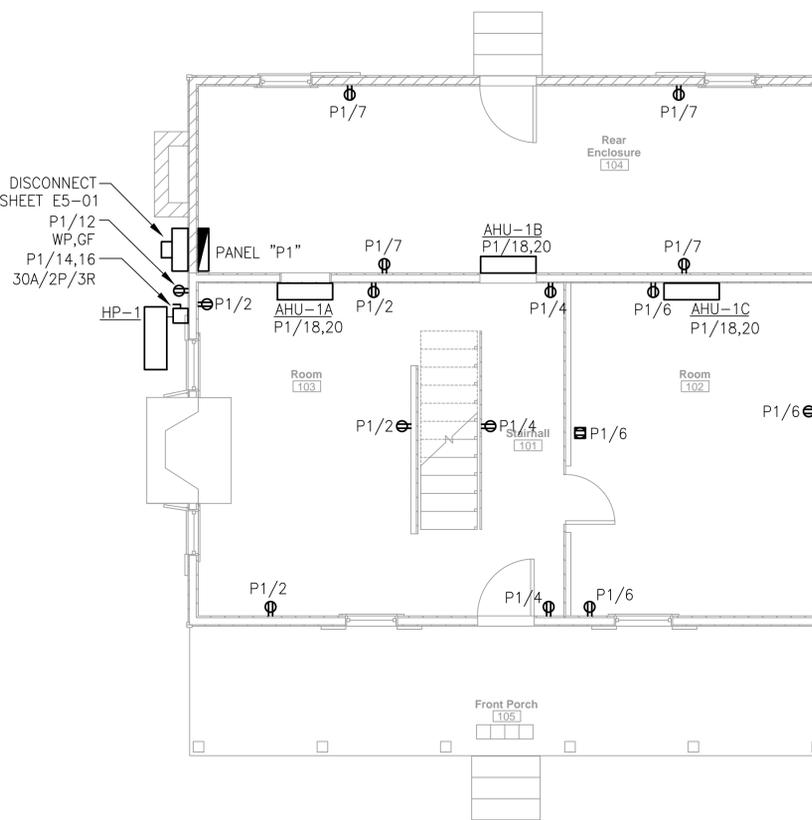
SECOND FLOOR POWER PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR LIGHTING PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR POWER PLAN

SCALE: 1/4"=1'-0"

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ARBORIST NOTES FOR USING TREES TO SUPPORT LIGHTS:

INSTALLING LIGHTING IN TREES CAN BE ACCOMPLISHED PROVIDED AN UNDERSTANDING OF HOW TREES GROW IS RESPECTFULLY CONSIDERED DURING THE INSTALLATION PROCESS. TREES GROW SLOWLY, BUT STEADILY OVER TIME AND PERHAPS GROW MORE THAN IS USUALLY CONSIDERED. YOUNG TREES GROW MORE QUICKLY THAN OLDER TREES. TREES GROW TALL FROM SMALL BUDS ON THE TIPS OF BRANCHES AND STEMS; LIMBS GROW LONGER IN SIMILAR FASHION. TREES GROW WIDE (GIRTH OR DBH) IN STEMS, BRANCHES AND STEMS; LIMBS GROW ONLY IN A VERY NARROW PORTION LOCATED UNDER THE BARK KNOWN AS CAMBIUM. TREE ROOTS GROW IN EXACTLY THE SAME MANNER AS ALL OTHER TREES LOCATED UNDER THE BARK KNOWN AS CAMBIUM. TREE ROOTS GROW IN EXACTLY THE SAME MANNER AS ALL OTHER TREE PARTS. FINALLY, TREES DO NOT HEAL WOUNDS, THEY COMPARTMENTALIZE THEM. NO PART OF THE LIGHTING INSTALLATION SHALL IMPEDE ANY NATURAL GROWTH OF THE TREE OR BE DESIGNED OR INSTALLED IN SUCH A WAY AS TO BECOME INGROWN WITHIN CROTCHES, EXISTING WOUNDS OR ANY OTHER PART OF THE TREE. FINALLY, TREES DO NOT HEAL WOUNDS, THEY COMPARTMENTALIZE THEM. NO PART OF THE LIGHTING INSTALLATION SHALL IMPEDE ANY NATURAL GROWTH OF THE TREE OR BE DESIGNED OR INSTALLED IN SUCH A WAY AS TO BECOME INGROWN WITHIN CROTCHES, EXISTING WOUNDS OR ANY OTHER PART OF THE TREE. LIGHTING SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN SUCH A MANNER AS TO NOT CAUSE DISEASE OR DECLINE IN THE TREES WHICH THEY ARE INSTALLED. POORLY DESIGNED, INSTALLED, OR MAINTAINED LIGHTING SYSTEMS CAN CREATE HAZARDOUS CONDITIONS AROUND THE TREES WHICH THE SYSTEMS ARE INSTALLED. WITH THIS INFORMATION IN MIND, I OFFER THE FOLLOWING GUIDELINES ON THE USE OF TREES TO SUPPORT LIGHTING.

SMALL TREES WILL BECOME LARGE TREES WITHIN THE LIFE SPAN OF THE LIGHTING INSTALLATION. CONDUCTOR RUNS APPROACHING TREES SHOULD EMERGE WELL BEFORE THE TRUNK AND NOT CLOSE TO THE PRIMARY SUPPORTIVE ROOTS OF THE TREE AS THEY COULD BECOME INGROWN. SIMILAR CONSIDERATIONS SHOULD BE GIVEN TO LARGE TREES ALTHOUGH THE GROWTH RATE OF THE LARGE TREE WILL BE SLOWER.

EXTREME CAUTION SHOULD BE EXERCISED WHEN APPROACHING A TREE WITH AN ELECTRICAL CONDUIT WITHIN THE TREE'S PROTECTION ZONE. (1"DBH:1' PROTECTION FOR ALL TREES) THE TREE'S ROOTS SHALL NOT BE DAMAGED DURING THIS PROCESS. BEAR IN MIND, TREE ROOTS WILL BE CLOSER TO THE SURFACE THE CLOSER TO THE TRUNK THE APPROACH GETS. IT MAY BE NECESSARY TO TERMINATE AN UNDERGROUND RUN FURTHER FROM THE BASE THAN INTENDED TO ACCOMMODATE TREE ROOTS IN THE AREA OF THE AREA OF THE ELECTRICAL CONDUIT. TRENCHING IN THIS AREA SHOULD BE CAREFULLY DONE WITH EITHER AN AIR SPADE (PREFERRED) OR SHOVELS.

CONDUIT USED TO MAKE THE RUN TO THE LIGHT FIXTURE SHOULD CONFORM TO THE GENERAL SHAPE OF THE TRUNK. EXTREME CARE WILL NEED TO BE EXERCISED WHEN SECURING THE CONDUIT TO THE TREE.

CONDUIT SHOULD NOT BE CUT NEXT TO THE TREE TO ELIMINATE THE POTENTIAL OF CUTTING, SCARRING OR OTHERWISE WOUNDING THE TREE.

STRAPS WHICH USE ONLY ONE FASTENER ARE PREFERRED AND SHOULD NOT BE INSTALLED ANY MORE TIGHTLY THAN NECESSARY TO SECURE THE CONDUIT. TREES MOVE UNDER WIND LOAD. A RIDGED INSTALLATION MAY CAUSE DAMAGE TO THE TREE AND THE LIGHTING SYSTEM.

THE FASTENER WILL WOUND THE TREE AND WILL NEED TO BE CAREFULLY SELECTED BECAUSE IT WILL BE SUBJECT TO A CONSIDERABLE AMOUNT OF REOCCURRING MAINTENANCE. FASTENERS WHICH WILL BE ADEQUATE FOR THIS INSTALLATION WILL BE SUFFICIENTLY LONG TO SECURE THE CONDUIT TO THE WOOD OF THE TREE AND NOT THE BARK ONLY. FOR THIN BARKED TREES SHORTER FASTENERS WILL BE SUFFICIENT. THICK BARKED TREES WILL REQUIRE LONGER FASTENERS TO PENETRATE PAST THE BARK. FASTENERS WILL NEED TO BE STRONGER THAN WOULD NORMALLY USED TO SECURE CONDUIT TO WOOD BECAUSE THEY WILL NEED TO BE LOOSENED EACH YEAR AT A MINIMUM. FASTENERS SHOULD BE MADE OF STAINLESS STEEL AND HAVE A HEX HEAD TO ENSURE MAXIMUM TORQUE WILL BE AVAILABLE TO MOVE STUCK FASTENERS DURING MAINTENANCE.

FASTENERS SHOULD BE CLEAN AND FREE OF DIRT OR TOXIC OR CAUSTIC SUBSTANCES BEFORE INSTALLATION.

FASTENERS SHOULD NOT BE LOCATED IN A STRAIGHT LINE AND NO MORE CLOSELY THAN IS NECESSARY. USE THE LEAST AMOUNT OF FASTENERS NECESSARY TO SECURE THE CONDUIT RUN. IF THE CONDUIT RUNS IN A STRAIGHT LINE UP THE TRUNK, ALTERNATE THE STRAPS TO OPPOSING SIDES.

FASTENERS SHOULD BE INSTALLED IN PREDRILLED HOLES MADE WITH A NEW SHARP DRILL SIZED TO NEARLY THE SAME DIAMETER OF THE FASTENER. THE FASTENER SHOULD BE EASY TO THREAD IN AND REMOVE WHEN NEWLY INSTALLED.

FIXTURES HANGING FROM LIMBS SHOULD NOT TRAP MOISTURE OR HOLD WATER NEXT TO THE LIMBS FOR PROLONGED PERIODS OF TIME.

WHEN HANGING FIXTURES FROM LIMBS THE INEVITABLE GIRTH INCREASES MUST BE CONSIDERED. FASTENERS SHOULD BE FLEXIBLE STRAPS WHICH WRAP THE LIMB AND NOT SCREWS ON LARGE MATURE TREES. MATURE TREES SHOULD NOT BE SO THIN AS TO CUT INTO THE BARK OF THE TREE AT ANY POINT IN THE LIFE OF THE INSTALLATION.

INITIAL INSTALLATION SHOULD NOT BE SO TIGHT AS TO CONSTRICT THE GROWTH OF THE LIMB, WHICH WILL INITIATE A WOUND RESPONSE AROUND THE STRAP. THESE STRAPS NEED TO BE EASILY MAINTAINED OVER TIME AND WILL NEED TO BE LOOSENED AS THE TREE'S LIMB GROW. THE STRAPS WILL NEED TO BE EASILY SOURCE AS WELL TO PREVENT FUTURE IMPLEMENTATION OF SCREWS TO HOLD THE FIXTURES.

SCREWS ARE NOT A PREFERRED FASTENER FOR MOUNTING LIGHTS TO LIMBS.

SHOULD IT BECOME NECESSARY TO PRUNE ANY LIMB OR BRANCH DURING THE INSTALLATION OF LIGHTING, SUCH ACTIONS SHOULD ONLY BE ACCOMPLISHED BY OR UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

LIGHTING INSTALLATIONS SHOULD BE INSPECTED BIANNUALLY OR AS OFTEN AS NECESSARY TO ENSURE THE HEALTH OF THE TREE. FASTENERS SHOULD BE CHECKED AND LOOSENED AS NEEDED BEFORE THEY CAUSE ANY PROBLEMS FOR THE SUPPORTING TREES.

INSTALLATIONS IN YOUNGER, SMALLER TREES MAY REQUIRE MORE FREQUENT INSPECTIONS. OLDER, MATURE TREES WILL BE LESS TOLERANT TO ANY DAMAGE CAUSED BY THE INSTALLATION OF LIGHTING.

ELECTRICAL RENOVATION NOTES:

1. THE DRAWINGS ARE REPRESENTATIONAL AND INDICATE THE INTENT OF THE RENOVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO VERIFY EXISTING CONDITIONS AND TO ESTABLISH THE SCOPE OF WORK.
2. THE PLANS SHOW ONLY THOSE DEVICES THAT ARE INCLUDED IN THE RENOVATION WORK.
3. DE-ENERGIZE AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT. REMOVE ALL WIRE AND RACEWAYS ASSOCIATED WITH REMOVED EQUIPMENT.

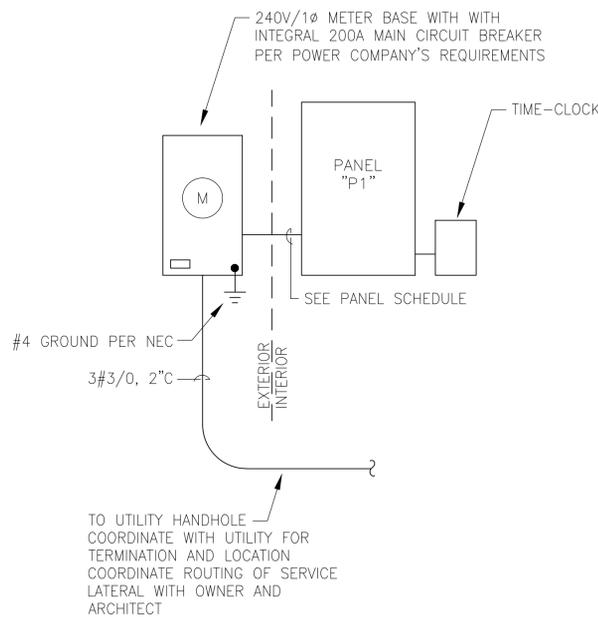
PANEL NAME: P1		LOCATION: REAR ENCLOSURE	
VOLTAGE: 240 240/120V - 1PH 3W		AIC: 42,000	
AMP RATING: 200A		FEEDER CONDUCTOR SIZE: 3#3/0, #6G, 2°C	
MLO / MAIN BREAKER: 200A MCB		FED FROM: EXTERIOR METER / DISCONNECT	

LOAD NAME	WIRE SIZE	CONDUIT SIZE	BREAKER SIZE	POLES	CIRCUIT NUMBER	DEMAND FACTOR	LOAD TYPE	PHASE A LOAD (VA)	PHASE A LOAD (VA)	PHASE B LOAD (VA)	PHASE B LOAD (VA)	LOAD TYPE	DEMAND FACTOR	CIRCUIT NUMBER	POLES	BREAKER SIZE	CONDUIT SIZE	WIRE SIZE	LOAD NAME	
LIGHTING - ROOM 104	2#12 #12G	1/2"	20	1	1	1.00	C	600	720			C	1.00	2	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 103	
LIGHTING - ROOM 102 & 103	2#12 #12G	1/2"	20	1	3	1.00	C			450	540	C	1.00	4	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 101	
LIGHTING - SECOND FLOOR	2#12 #12G	1/2"	20	1	5	1.00	C	600	720			C	1.00	6	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 102	
RECEPTACLE(S) - REAR ENCLOSURE	2#12 #12G	1/2"	20	1	7	1.00	C			720	900	C	1.00	8	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 203	
LIGHTING - EXTERIOR	2#12 #12G	1/2"	20 *	1	9	1.00	C	500	1080			C	1.00	10	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - ROOM 202	
LIGHTING - EXTERIOR	2#12 #12G	1/2"	20 *	1	11	1.00	C			500	180	C	1.00	12	1	20	1/2"	2#12 #12G	RECEPTACLE(S) - EXTERIOR	
SMOKE DETECTORS	2#12 #12G	1/2"	20	1	13	1.00	C	300	3240			C	1.00	14						
SPARE			20	1	15	1.00	C				3240	C	1.00	16					HP-1	
SPARE			20	1	17	1.00	C			49		C	1.00	18					AHU-1A, 1B&1C	
SPARE			20	1	19	1.00	C				49	C	1.00	20	2	15	1/2"	2#12 #12G		
SPARE			20	1	21	1.00	C					C	1.00	22	1	20			SPARE	
SPARE			20	1	23	1.00	C					C	1.00	24	1	20			SPARE	
SPARE			20	1	25	1.00	C					C	1.00	26	1	20			SPARE	
SPARE			20	1	27	1.00	C					C	1.00	28	1	20			SPARE	
SPARE			20	1	29	1.00	C					C	1.00	30	1	20			SPARE	
CONNECTED LOAD PER PHASE								7809	6579											
TOTAL CONNECTED LOAD VA								14387												
										CONNECTED AMPS AT 240V										59.9
DEMAND LOAD PER PHASE								7809	6579											
TOTAL DEMAND LOAD VA								14387												
										DEMAND AMPS AT 240V										59.9
DIVERSITY								1.0												
										DEMAND AMPS AT 240V										59.9
LOAD TYPE "C" CONTINUOUS LOAD								DEMAND VOLT AMP (VA) CONTINUOUS	14387											
								DEMAND AMPS CONTINUOUS	59.9											
LOAD TYPE "N" NONCONTINUOUS LOAD								DEMAND VOLT AMP (VA) NON-CONTINUOUS	0											
								DEMAND AMPS NON-CONTINUOUS	0.0											
										74.9	DEMAND FEEDER AMPS = [(1.25 X CONTINUOUS) + NON-CONTINUOUS]									

*ROUTE FIXTURE THROUGH TIME-CLOCK

TIME CLOCK NOTE:

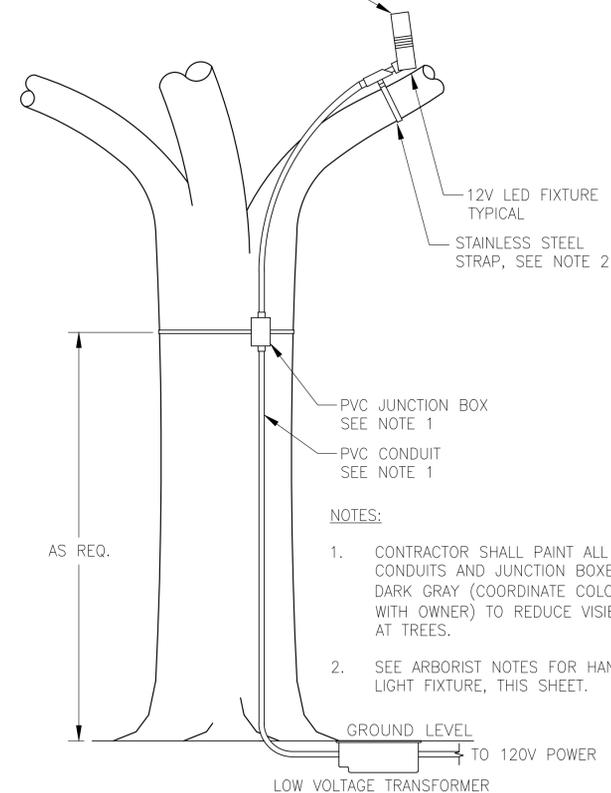
LIGHTING CONTACTOR LOCATED INDOORS. PROVIDE LIGHTING CONTACTOR WITH A MINIMUM OF 3 - 20A POLES FOR OPERATION OF EXTERIOR AND HOUSE LIGHTING CIRCUITS INDICATED ON PLAN. LIGHTING CONTACTOR SHALL HAVE 120V COIL AND BE CONTROLLED BY A PROGRAMMABLE ELECTRONIC ASTRONOMIC TIME CLOCK WITH BATTERY BACK-UP.



POWER RISER DIAGRAM

1
E5-01
N.T.S.

COORDINATE CONDUIT RUN, PLACEMENT, AND DIRECTION OF LIGHTS WITH OWNER, TYPICAL



TREE MOUNTED LIGHT

2
E5-01
N.T.S.

Live Oak Consultants, LLC
Engineers, Project Managers & Planners

PO Box 60490
North Charleston, SC 29419
MAIN: (843) 525-9428
FAX: (800) 915-0341
www.LiveOakConsultants.com
Email: info@LiveOakConsultants.com

LIVE OAK CONSULTANTS, LLC
No. 3886
6/2/2015

MEADORS INC.

CLIENT:

REV.	DATE	REV. BY	REVISION INFORMATION
0	05/19/15	BWM	ISSUED FOR CONSTRUCTION
1	06/02/15	BWM	GENERAL REVISIONS

DRAWING TITLE:
**BLUFFTON, SC 29910
GARVIN HOUSE**

ELECTRICAL SCHEDULES & DETAILS

PRINCIPAL: G ULMER
DESIGNED BY: B MARTIN
DRAWN BY: B MARTIN
APPROVED BY: R OWENS
SCALE: AS SHOWN
PROJECT NUMBER: 20150021
CAD FILE: E5-01

DRAWING NUMBER:
E5-01



PLAN REVIEW COMMENTS FOR COFA-03-16-009547

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type:	Historic District	Apply Date:	03/07/2016
Plan Status:	Active	Plan Address:	101 Bridge St BLUFFTON, SC 29910
Case Manager:	Erin Schumacher	Plan PIN #:	R620 039 00A 0190 0000
Plan Description:	<p>The Applicant is requesting a Certificate of Appropriateness for the preservation and rehabilitation of the structure to the Secretary of Interior's Standards for rehabilitation.</p> <p>STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the March 14th meeting</p>		

Staff Review (HD)

Submission #: 1 Received: 03/07/2016 Completed: 03/11/2016

Reviewing Dept.	Complete Date	Reviewer	Status
Addressing Review	03/08/2016	Theresa Thorsen	Approved

Comments:

1. Once the Garvin House has been fully renovated we should consider assigning a separate address.

Beaufort Jasper Water and Sewer Review	03/10/2016	Dick Deuel	Approved
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Comments:

1. No comments.

Engineering Department Review - HD	03/10/2016	Karen Jarrett	Approved
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Comments:

1. No comments.

Growth Management Dept Review (HD)	03/11/2016	Erin Schumacher	Approved
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Comments:

1. The proposed height of the porch is just under 24" and does not meet the required 30", but is based on historic images and documentation noting that a height of less than 30" is appropriate in this case. (UDO 5.15.6.E.5.)
2. The proposed guard rail and hand rails along the front porch and at the rear stoop are 1-1/4" x 1-1/4" square metal railings. The UDO calls for a minimum top rail of 2-3/4". The railings are proposed at this dimension to minimize their visual impact to the historic structure while providing for safety. HPC must review this detail and determine if it is appropriate in this case. (UDO 5.15.6.2.d.)
3. The proposal includes replacing the existing corrugated metal roof with a new corrugated metal roof. This material is not listed as a permitted material and must be reviewed and approved by the HPC as an allowable substitute in this instance. (UDO Section 5.15.6.A.)
4. The 9" Palmetto located at the southwestern corner of the building may be too close to the new porch and piers. If this is the case, a tree removal permit must be submitted to the Town of Bluffton for review and approval. (UDO Section 3.22)

HPRC Review	03/11/2016	Erin Schumacher	Approved
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Comments:

1. No comments.

Comments:

1. The Town will require as a minimum, implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual.

Plan Review Case Notes:

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 2

Bluffton Historic District
name of property
Beaufort County, SC
county and State

Bridge Street, Verdier Cove to Wharf Street

1. Guerrard's Bluff, Bridge Street: Built in 1936, this house is unique as the only historic brick structure in Bluffton. Built in the Colonial Revival style, the two-story structure has a lateral gable, raised seam metal roof and two exterior brick chimneys. A one-story porch with deck stretches across the river facade, with a Chinese Chippendale railing along the porch roofline. A one-story wood frame addition was made to the rear of the building in 1985. The house stands on the site of two earlier houses: the first was burned during the Civil War, and the fate of the second is unknown. Two outbuildings remain from the second of these houses. One, a small cottage with additions, is believed to date from 1880 and was once the office of Dr. Jacob Guerrard, a Bluffton dentist. A barn also remains from this era. Another small cottage, built around 1937 as servant's quarters, stands near the barn.⁴
2. Hancock House, Bridge Street: This one-story frame structure was built around 1940 with a lateral gable roof and exposed rafters. The original exterior has been covered with synthetic siding.
3. Milford, Bridge Street: Built around 1920, this one-story, frame, board-and-batten dwelling has a raised seam metal, gable-on-hip roof and exposed rafters. A full width, integrated roof porch stretches across the river facade. The foundation is brick pier, and there is one exterior brick chimney. A small historic gable addition on the rear also has board-and-batten siding and brick pier foundation.
4. Bridge Street: This one-story, frame, weatherboard dwelling with exposed rafters was built around 1930. It has a side gable roof and a full-facade, shed roof porch. A gable addition was made to the east facade of the house.
5. Austin House, Bridge Street: Built around 1930, this one-story frame house has a weatherboard exterior and a raised seam metal gable roof. A one-story, full-facade porch stretches across the river facade of the building. The foundation is brick, as are the two chimneys. Two symmetrical gable additions on the rear appear historic.
6. Bridge Street: This frame, one-story, gable roof dwelling was built around 1940 with one interior brick chimney. A small gable addition projects from the rear of the house and has a screen porch projecting from the east side.
7. Garvey Houses, Bridge Street: The original house on this property was owned by Isaac Garvey, the first African-American to own land along the May River in Bluffton. This early one-and-a-half-story, frame weatherboard structure is still standing, though it is in deteriorated condition. The original one-story porch is no longer extant. The house dates from 1865 and has a lateral gable, raised seam metal roof. The other house on this lot was built by Garvey's son in the early twentieth century. This frame, one-story building has a square floor plan and a hipped, raised seam metal roof. The west end of the river facade porch has been enclosed. The building has been covered with synthetic siding, and a small shed

⁴Interview with Betsy Caldwell, Bluffton, S.C., Aug 1994.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 3

Bluffton Historic District
name of property
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roof addition was made to the rear. Both of these buildings are significant due to their associations with African-American history in Bluffton.⁵

Bridge Street, Wharf Street to Huger Cove

8. Bridge Street: This one-story, frame weatherboard dwelling was built in 1922. It has a lateral gable, raised seam metal roof with exposed rafters and one exterior brick chimney. A full-facade, roof porch extends along the front of the building. An addition has been made to the rear.

9. Bluffton Oyster Company, Bridge Street: The only industrial site within the Bluffton Historic District, this one-story, front gable, raised seam metal roof building was constructed around 1940 on the same site as previous oyster factories. The concrete block, masonry construction factory has a wood dock on the river, and a synthetic siding addition exists on the river facade. The front has been covered in stucco with seashells. The oyster factory represents the last vestige of an important industry in the town.

10. Bridge Street: Built around 1940, this one-story, raised seam metal, gable roof dwelling has a partial width, shed roof porch. The frame building has a weatherboard exterior and a brick pier foundation. An addition projects from the north facade.

11. Colcock-Teel House, Colcock Street: Historic, non-contributing frame residence. *This is probably well built and should be included*

12. Colcock Street: Non-historic, non-contributing brick ranch house.

13. Cypress Bluff, Colcock Street: This one-story frame riverfront home was built around 1890. The weatherboard building has a side gable roof and two interior brick chimneys. A shed roof porch stretches across the river facade; the west end of the porch has been enclosed. Several additions have also been made to the rear of the building. During the early twentieth century, a popular restaurant and dance hall was run in the building.⁶ A secondary, non-historic, non-contributing frame dwelling also stands at the rear of this lot.

14. Colcock Street: Non-historic, non-contributing frame residence.

West Side of Calhoun Street, S.C. Highway 46 to Lawrence Street

15. Planters Mercantile, Calhoun Street: This two-story, frame commercial structure has a low-pitch, hipped roof and exposed rafters. Built around 1890, it has double doors and display windows on the front facade. A concrete block addition on the south facade of the building appears historic. The zero lotline

⁵Mary Ellen Johnson, "Preservation Resources and History in Bluffton," Beaufort, S.C., 1980, 12. (Typewritten.)

⁶Bluffton Historical Preservation Society, No. II, *A Longer Short History of Bluffton, South Carolina and Its Environs* (Hilton Head Island, S.C., 1999)