

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 6, 2016
PROJECT:	Lot 18A, 5784 Yaupon Road – New Construction: Single-Family Residential
APPLICANT:	Southern Coastal Homes
PROJECT MANAGER:	Katie Peterson, Planning Assistant

APPLICATION REQUEST: The Applicant, Southern Coastal Homes, requests that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9505.** A Certificate of Appropriateness to construct a new single family residence of approximately 1,796 SF and Carriage House of approximately 465 SF on the property which is identified as 5784 Yaupon Road (Lot 18A) in the Stock Farm Development and is zoned as Neighborhood General-HD.

INTRODUCTION: The Applicants are proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 1,796 SF, has attributes of several building types, but does not fully meet the lot requirements or dimensional requirements of any, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 465 SF which meets the design standards for a Carriage House.

The main house structure is a one and a half story gabled form with a single story gabled wing to the north and features a full length front porch with additional rear porches under shed roofs at the rear.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a variety of roof types including a gable roof, front and rear porches, and a combination of horizontal lap siding and board and batten siding. Additional materials that are in keeping with the vernacular of Bluffton are the use of square columns with bases and capitals, corner board trim and water table trim, and tabby stucco at the foundation wall and chimney.

This project was presented to the Historic Preservation Review Committee for conceptual review at the February 22, 2016 meeting and comments were provided to the Applicant (See attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.18.3.B.** Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed is conformance with those standards.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter from the Stock Farm Habitat and Architectural Review Committee of Stock Farm must be supplied to Town Staff. As well, it appears at there are a number of large trees on the lot. As no tree removal plan was supplied for review, please note that any tree over 14" in diameter that is required to be removed for the placement of the structure will require a Town of Bluffton tree removal permit prior to any site clearing.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.
2. Per the Applications Manual, a letter of approval from the Stock Farm HARB must be submitted, and any conditions addressed, before the issuance of the Certificate of Appropriateness.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report

**Lot 18A, Stock Farm
5784 Yaoupon Road
Location Map**

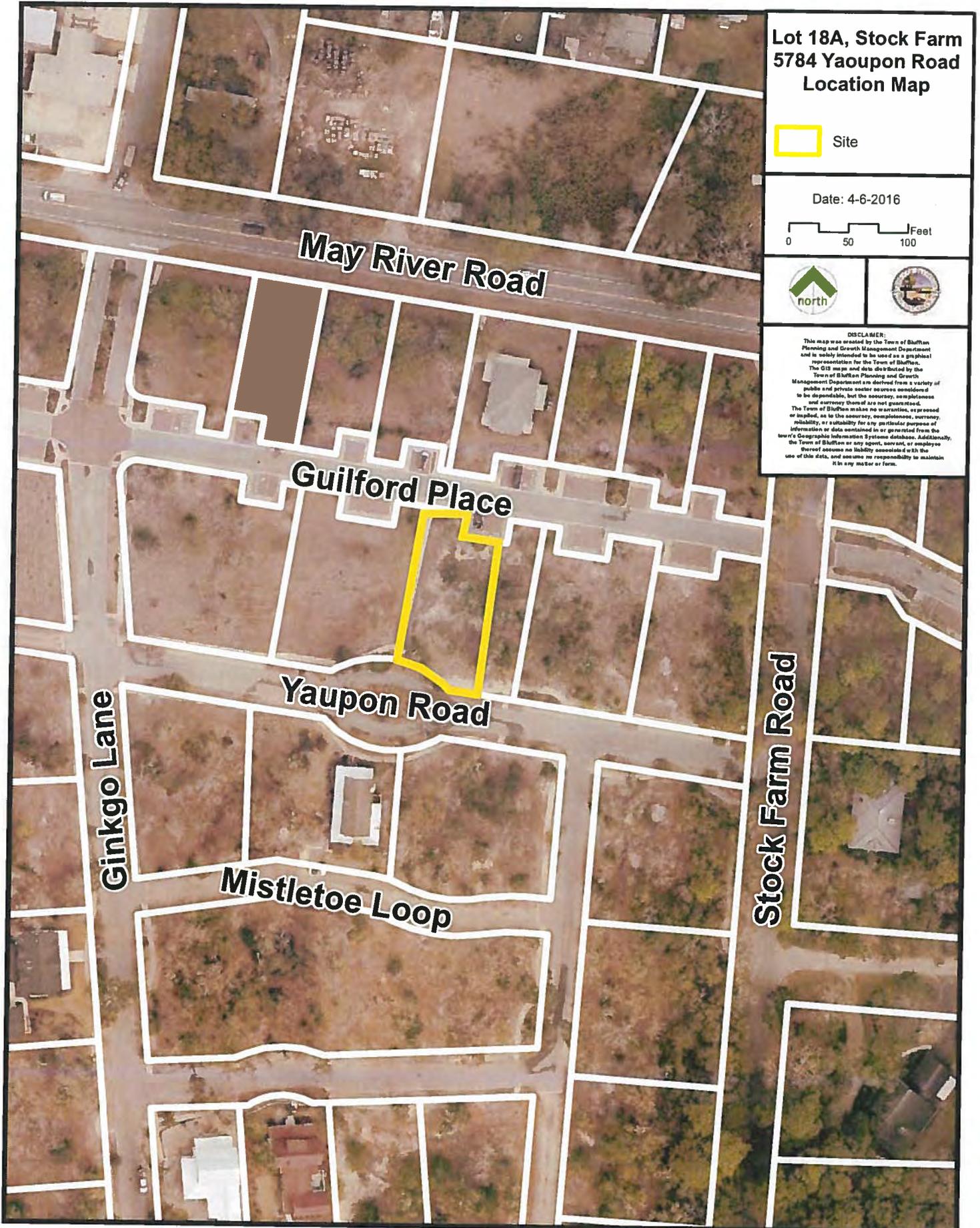


Site

Date: 4-6-2016



DISCLAIMER:
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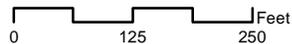


**Lot 18A, Stock Farm
5784 Yaupon Road
New Construction
Zoning Map**

 Site

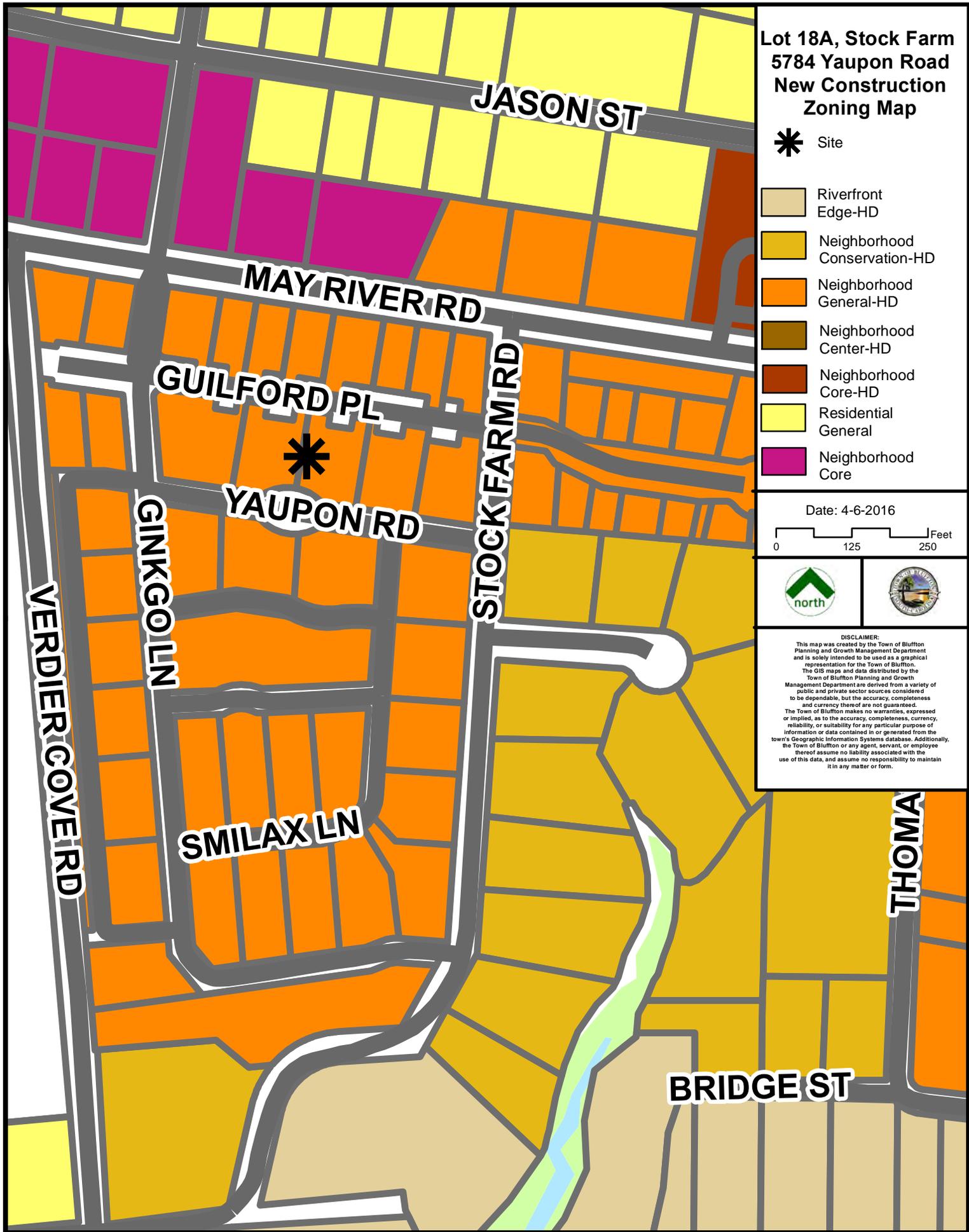
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 4-6-2016

 Feet
0 125 250



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Project Narrative

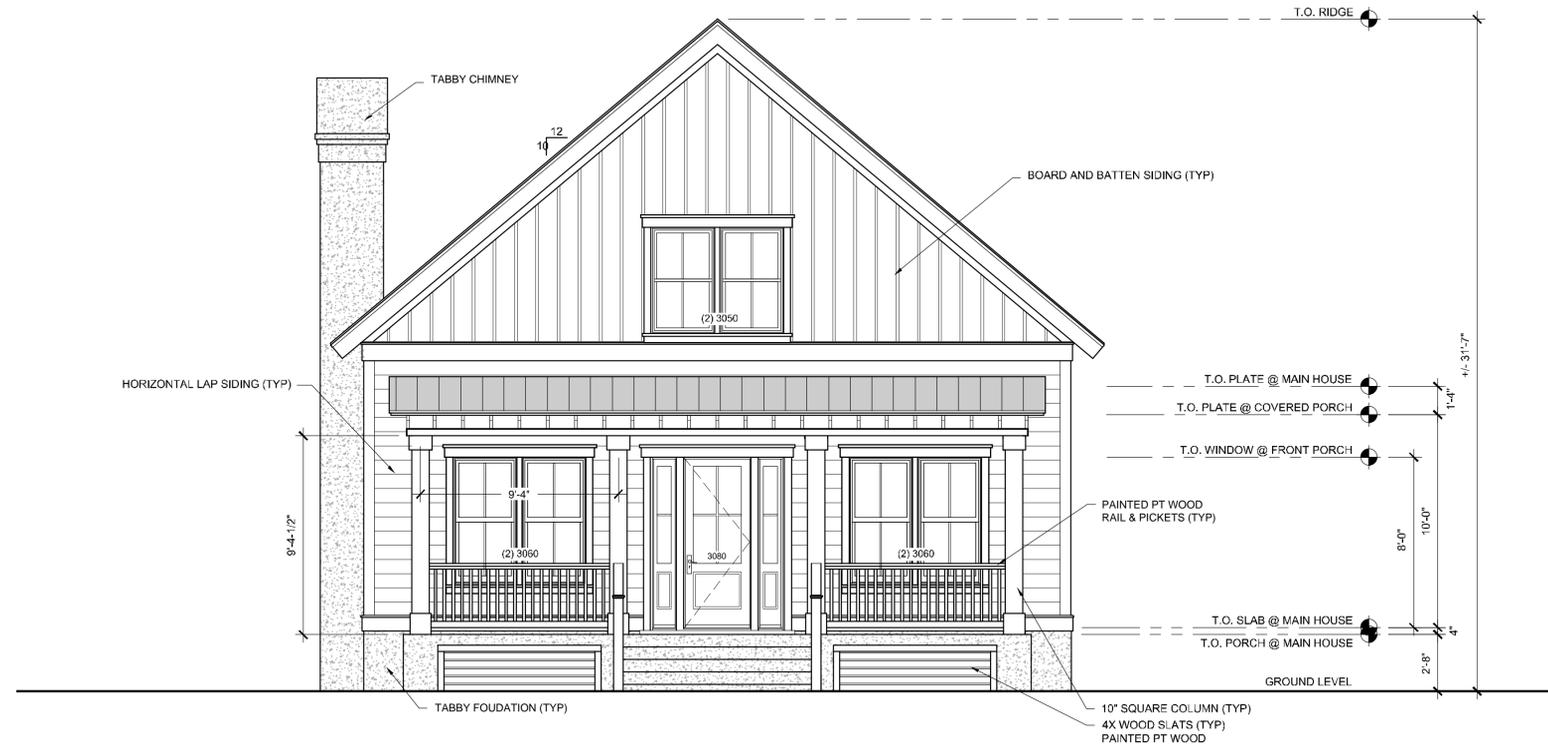
Stock Farm
Lot 18A

Project

This lot is situated on the east end of Yaupon among other residential structures built or in the process of being built by the applicant. It is applicant's desire to build residential structures which conform to the Town's Unified Development Ordinance.

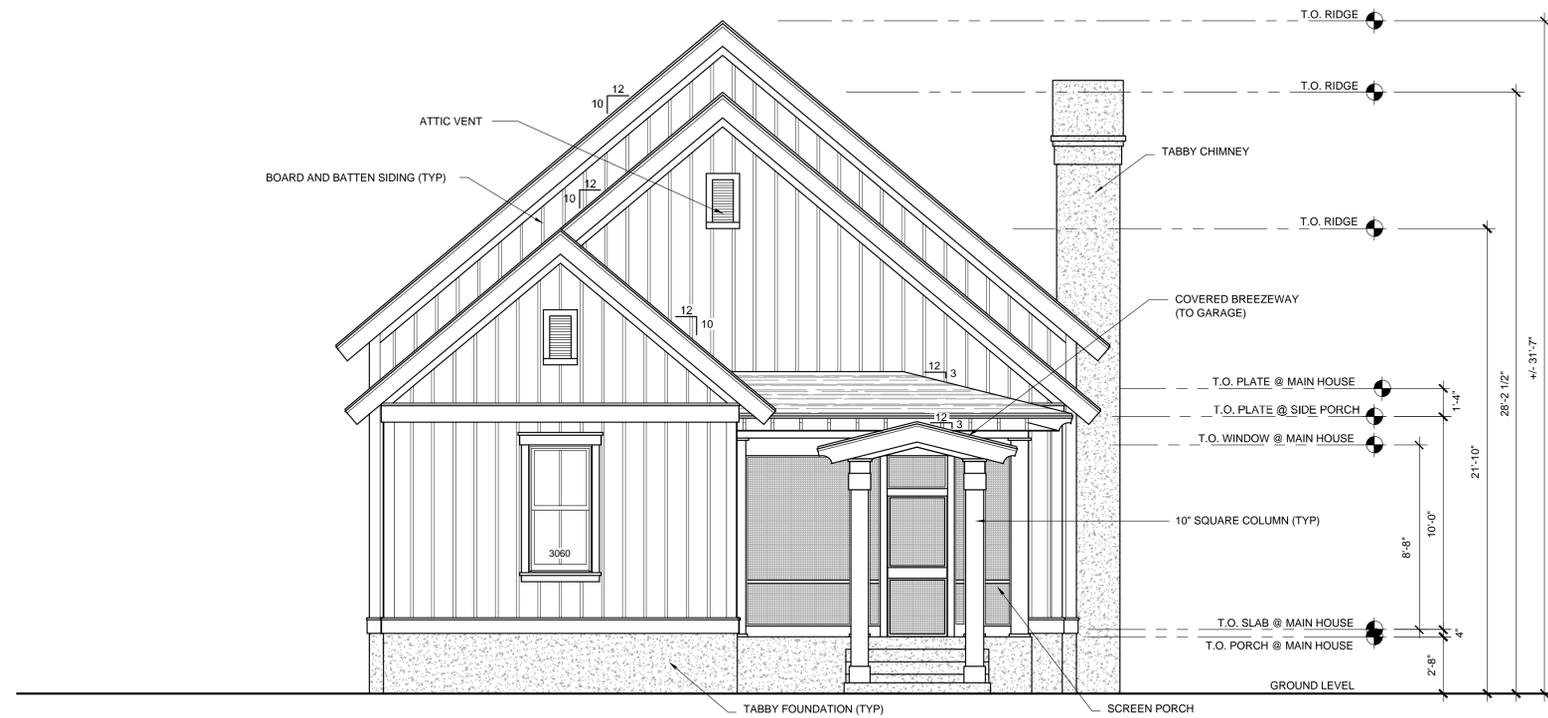
This home includes a separate detached garage and breezeway connecting the house and garage. The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.

The plans for this house and garage have been previously reviewed and approved under COFA-2-15-8950.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

OVERALL SQ. FT. CALCULATIONS	
MAIN LEVEL:	1,796 SF
TOTAL HEATED:	1,796 SF
GARAGE:	487 SF
SCREEN PORCH:	141 SF
FRONT PORCH:	237 SF
TOTAL NON-HEATED:	865 SF

REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1

LOT 18A

STOCK FARM | BLUFFTON, SOUTH CAROLINA

FRONT AND REAR ELEVATIONS

DATE: 02-23-2016
 DESIGNED BY: KBJ
 DRAWN BY: KBJ
 CHECKED BY: KBJ
 C.O.P.: AS SHOWN
 PROJECT #:

SHEET NUMBER:
A-1



LEFT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT-SIDE ELEVATION

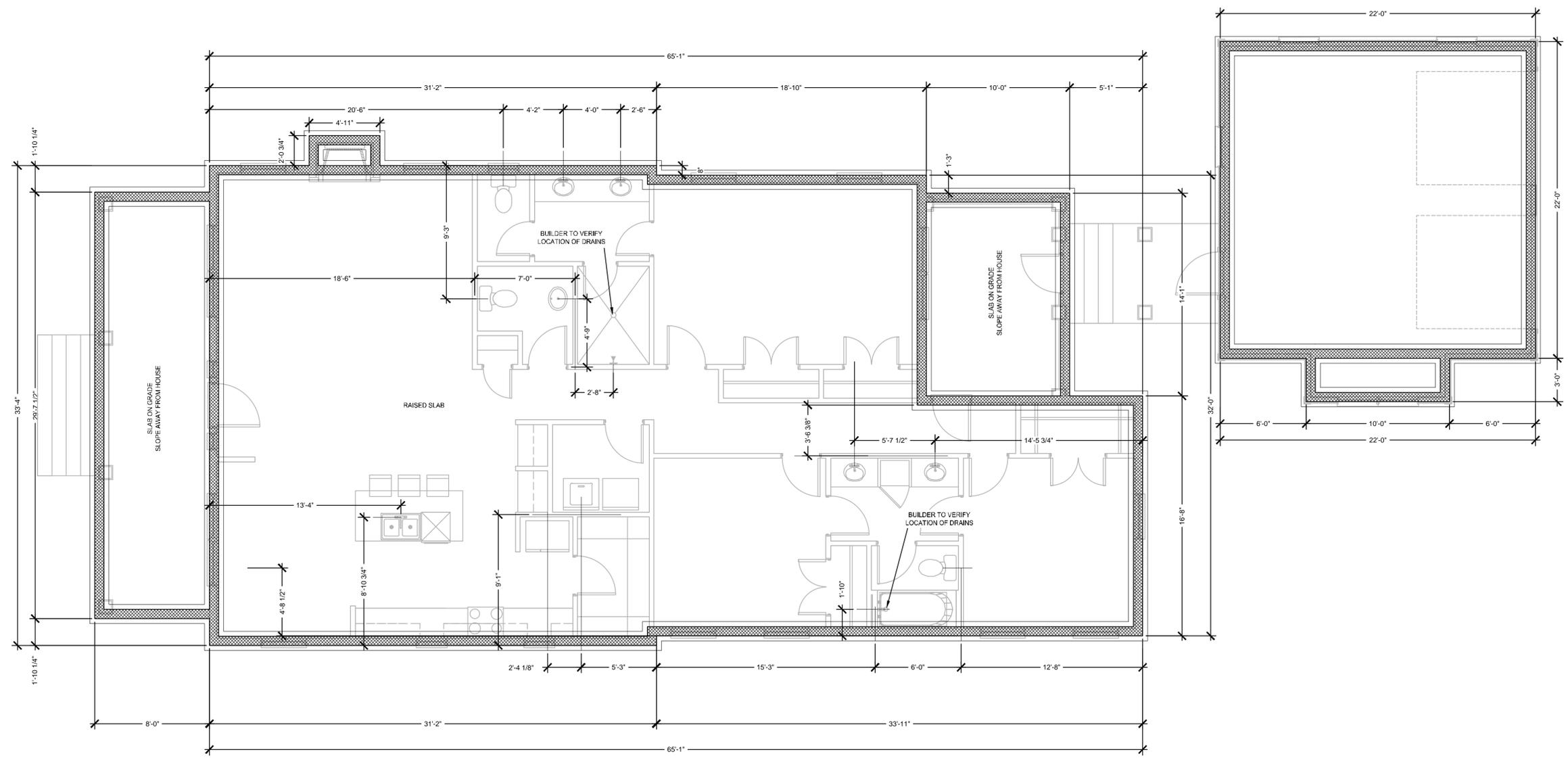
SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1

LOT 18A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
RIGHT AND LEFT SIDE ELEVATIONS

DATE: 02-23-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER: **A-2**

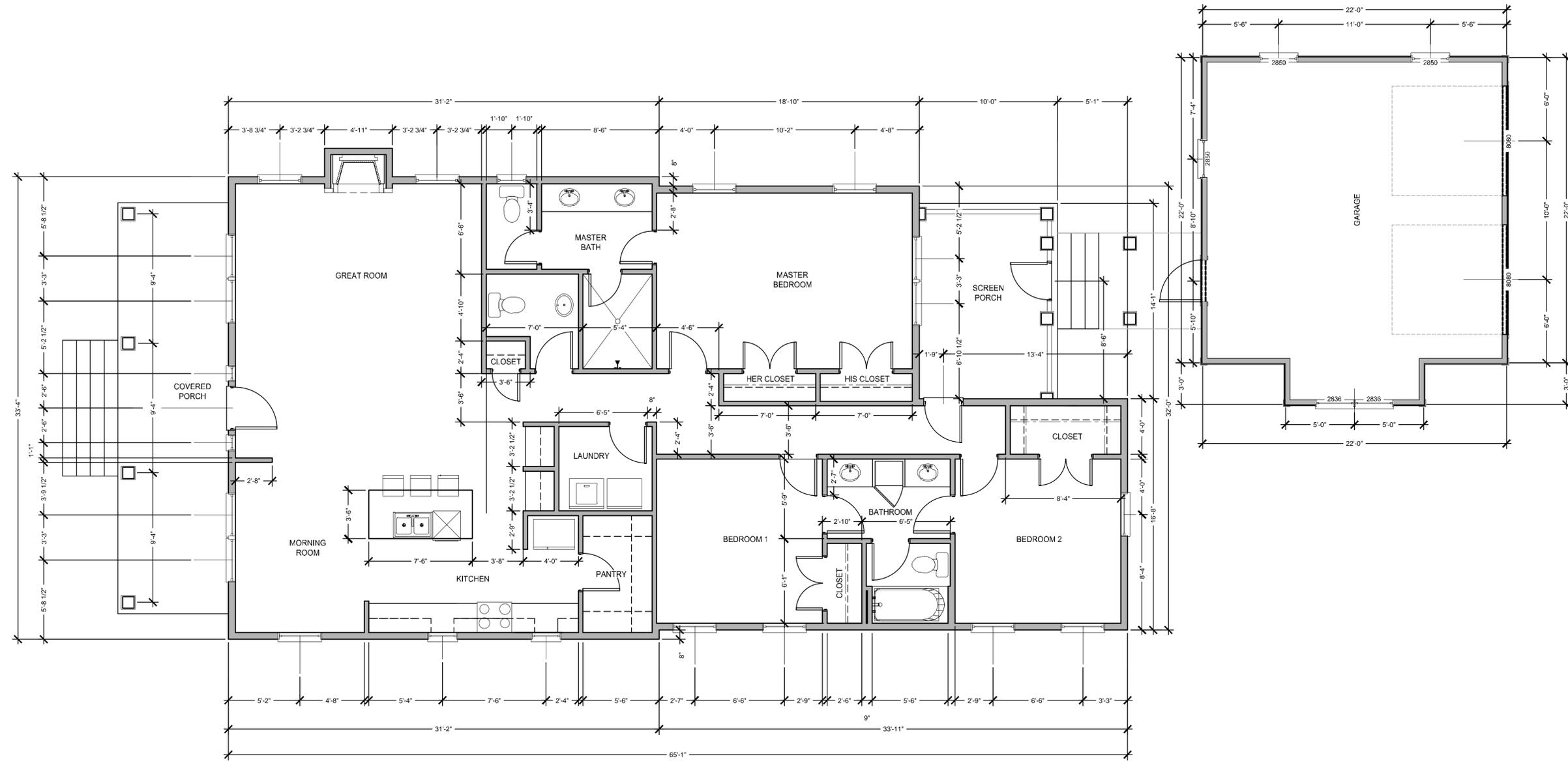
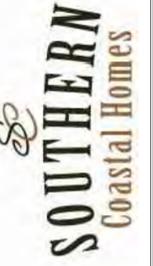


SLAB/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES - PROTOTYPE 1
LOT 18A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
SLAB/FOUNDATION PLAN

REVISIONS:

DATE: 02-23-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: 1/4" = 1'-0"
PROJECT #:
SHEET NUMBER:
A-3



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

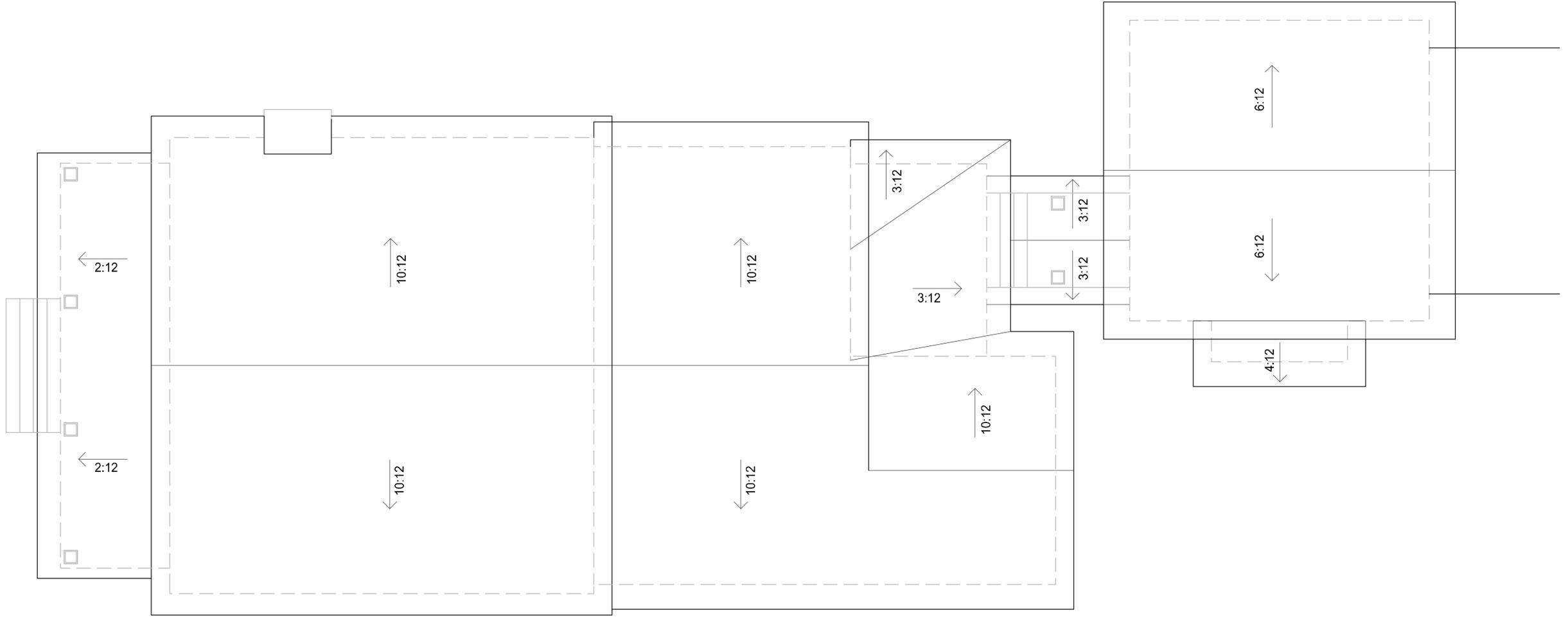
SOUTHERN COASTAL HOMES - PROTOTYPE 1

LOT 18A

STOCK FARM | BLUFFTON, SOUTH CAROLINA
FLOOR PLAN - FIRST FLOOR

DATE: 02-23-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: 1/4" = 1'-0"
PROJECT #:

SHEET NUMBER:
A-4

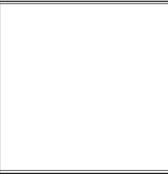


ROOF PLAN
SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES - PROTOTYPE 1
LOT 18A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
ROOF PLAN

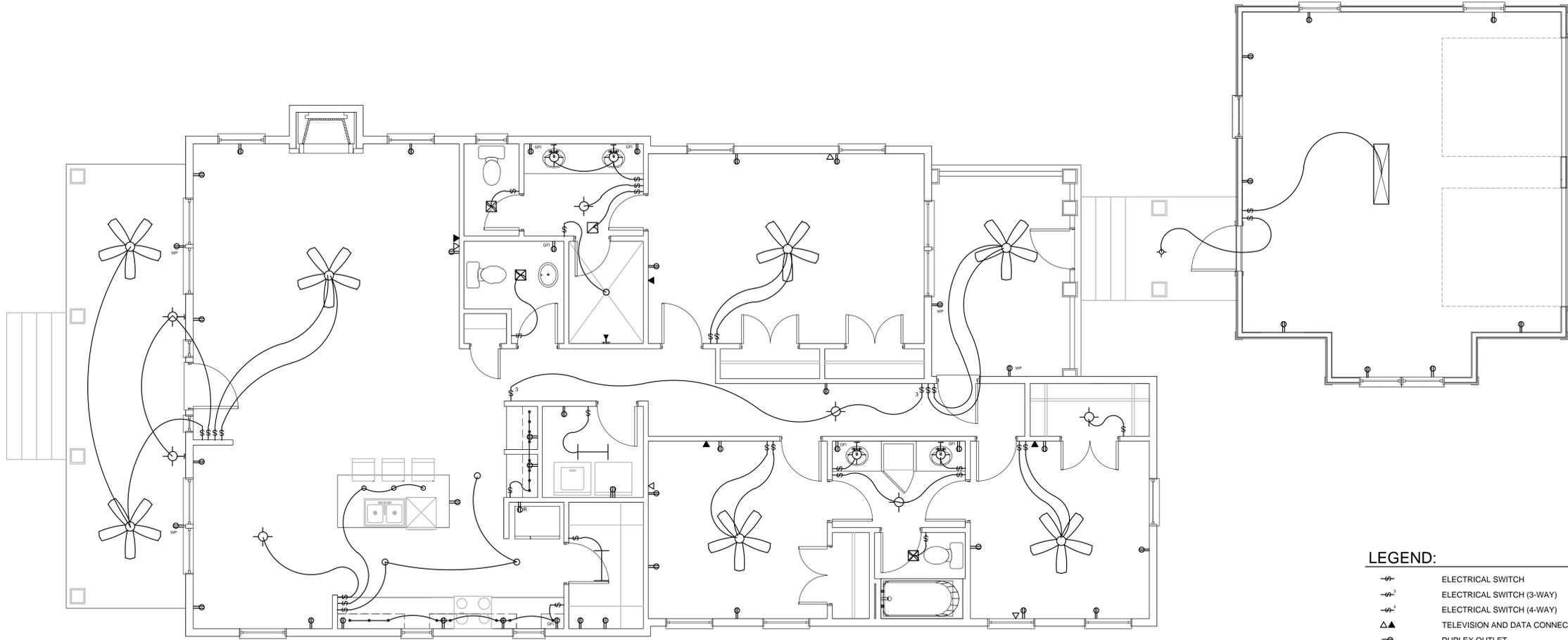
REVISIONS:

DATE: 02-23-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: 1/4" = 1'-0"
PROJECT #:
SHEET NUMBER:
A-5



SOUTHERN COASTAL HOMES - PROTOTYPE 1
LOT 18A
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
ELECTRICAL PLAN - FIRST FLOOR

DATE: 02-23-2016
 DESIGNED BY: KBJ
 DRAWN BY: KBJ
 CHECKED BY: KBJ
 SCALE: 1/4" = 1'-0"
 PROJECT #:
 SHEET NUMBER:
A-6

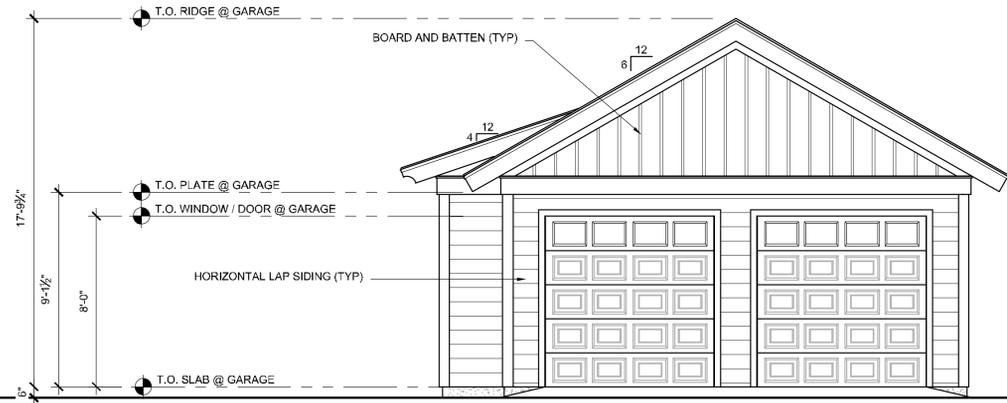


GENERAL NOTES:
 1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
 2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
 3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.

LEGEND:

	ELECTRICAL SWITCH
	ELECTRICAL SWITCH (3-WAY)
	ELECTRICAL SWITCH (4-WAY)
	TELEVISION AND DATA CONNECTIONS
	DUPLEX OUTLET
	GFI OUTLET
	WEATHER PROTECTED OUTLET
	DRYER RECEPTACLE
	RECESSED LIGHTING
	WALL SCONCE
	SURFACE / PENDANT FIXTURE
	LIGHT / EXHAUST FIXTURE
	FLUORESCENT FIXTURE
	CEILING FAN / LIGHT FIXTURE

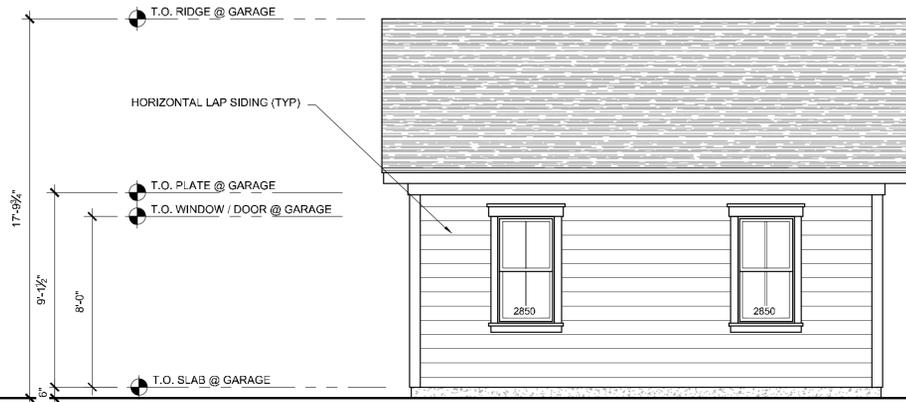
ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



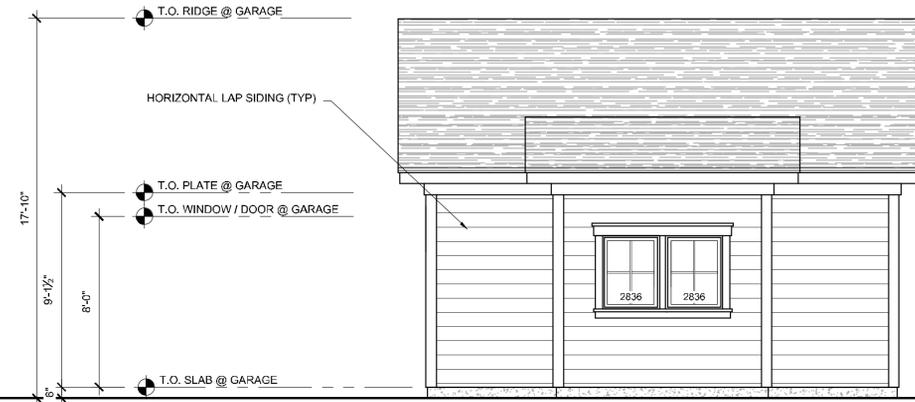
REAR ELEVATION



FRONT ELEVATION



LEFT-SIDE ELEVATION



RIGHT-SIDE ELEVATION

GARAGE ELEVATIONS

SCALE: 1/4" = 1'-0"

REVISIONS:

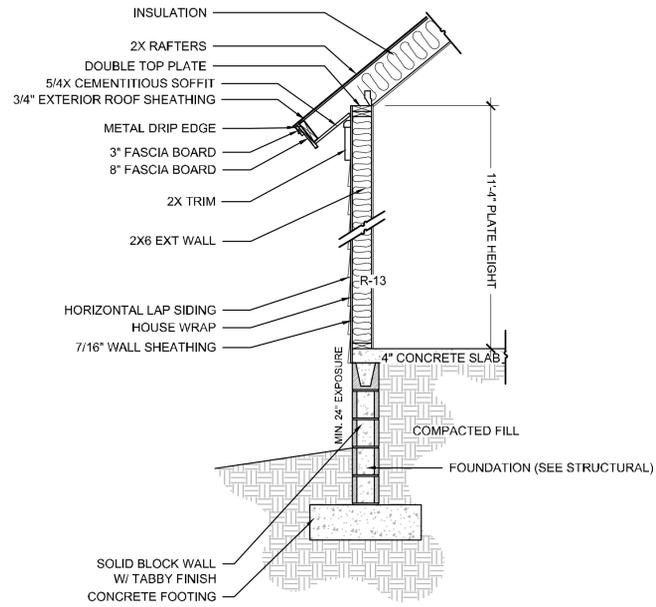
SOUTHERN COASTAL HOMES - PROTOTYPE 1

LOT 18A

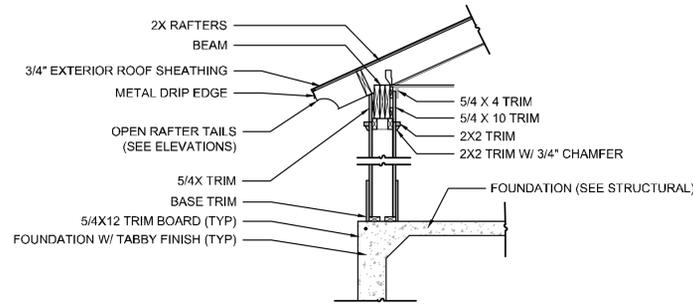
STOCK FARM | BLUFFTON, SOUTH CAROLINA
GARAGE ELEVATIONS

DATE: 02-23-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: 1/4" = 1'-0"
PROJECT #:

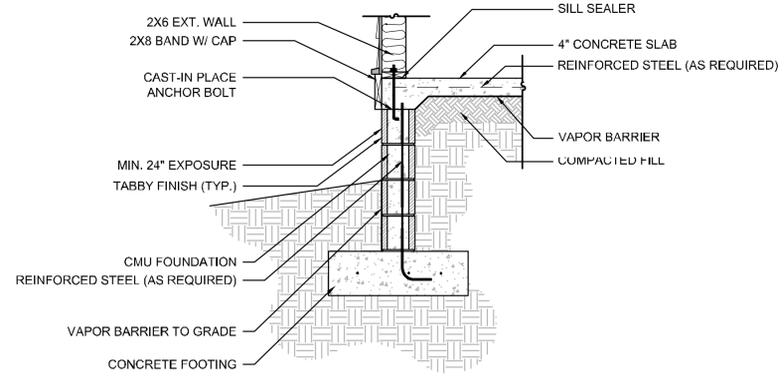
SHEET NUMBER:
A-7



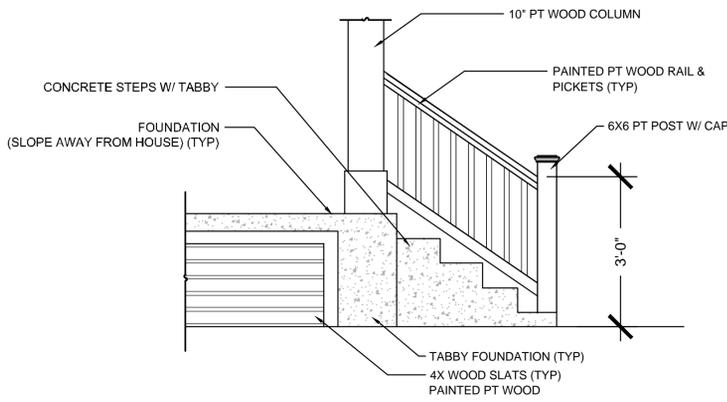
TYPICAL EXT. WALL - SECTION
(NTS)



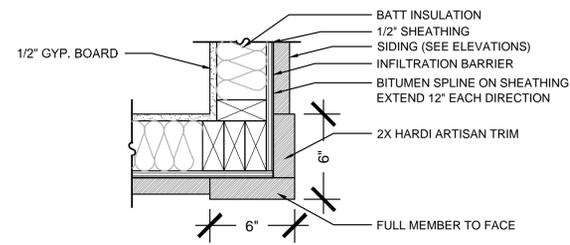
FRONT PORCH COLUMN - SECTION
(NTS)



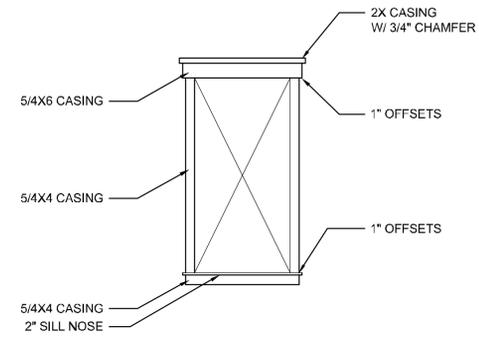
TYPICAL RAISED SLAB - SECTION
(NTS)



TYPICAL RAIL & BALUSTERS
(NTS)



TYPICAL CORNER BOARDS
(NTS)



TYPICAL WINDOW DETAIL
(NTS)

REVISIONS:

SOUTHERN COASTAL HOMES - PROTOTYPE 1
LOT 18A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
CONSTRUCTION DETAILS



PLAN REVIEW COMMENTS FOR COFA-02-16-009505

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 STOCK FARM

Plan Type:	Historic District	Apply Date:	02/11/2016
Plan Status:	Active	Plan Address:	5784 Yaupon Rd BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 000 1494 0000
Plan Description:	The applicant is requesting a Certificate of Appropriateness for a new single family with detached garage.		

Staff Review (HD)

Submission #: 1 Received: 02/11/2016 Completed: 02/19/2016

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	02/19/2016	Katie Peterson	Revisions Required

Comments:

- 1) Residential structures shall have a finished floor height raised a minimum of 3 feet. The finished floor height is shown at 2.5 feet. Foundation must be raised to meet this requirement (UDO 5.15.5.F.1.b.).
 - 2) According to the UDO, columns and porch post shall be spaced no farther apart than they are tall. The front support post and porch posts are spaced 10' on center with columns 9' tall. Additional columns must be added or the configuration of the entry porch modified to meet this requirement (UDO 5.15.6.H.1.a.).
 - 3) As the project moves toward Final submittal, provide architectural details for the typical window, railing, water table, corner board, louvre, trim and landscape plan as not enough information was provided in the submittal to review for conformance with the UDO (Applications Manual).
 - 4) A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal. If any of the trees meet the requirement above, a tree removal permit must be submitted. (UDO Section 3.22.2.A.).
 - 6) For the Final submittal, a letter of approval from the Stock Farm HARC is required per the Applications Manual.
- Recommendation: Rotate the spark arrester 90 degrees to minimize visibility from the primary facade.

HPRC Review	02/19/2016	Katie Peterson	Revisions Required
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Comments:

- 1) Provide detail on the front porch piers as this is not a typical detail. As drawn, the piers are coming right up to the underside of the decking.

Engineering Department Review - HD	02/11/2016	Karen Jarrett	Revisions Required
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Comments:

- 1) It appears the driveway is encroaching into Right Of Way or Open Space as well as over the existing sidewalk right of way. Any encroachment into common open space will need to be placed in an easement. Obtain an easement from the Property Owner's Association for access to the public area. (UDO 5.15.7.)

Addressing Review	02/15/2016	Theresa Thorsen	Approved
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Beaufort Jasper Water and Sewer Review	02/19/2016	Dick Deuel	Approved
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Comments:

No Comments from Reviewer.

Stormwater Review	02/15/2016	William Baugher	Approved
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Comments:

All construction site activities must adhere the SCDHEC General Permit SC0010000 for Large and Small Site Construction Activities. In addition, the Town will require as a minimum, implementation of the following Construction Site BMPs:

1. Silt Fencing buried a minimum of 6 inches below disturbed grade, where applicable,
2. In areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing meeting the requirements of SCDOT must be used.
3. Temporary gravel driveways a minimum of 15 feet by 10 feet, where applicable,
4. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site
4. Flow dissipation devices, such as check dams, in all swales and ditches
5. Temporary seeding shall be placed within 7 days of the end of a land disturbance activity
6. Site inspections must be performed by a CEPSCI individual. Copies of inspection reports shall be provided to the Town within 7 days of inspection

Plan Review Case Notes: