

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 6, 2016
PROJECT:	Lot 16A, 5764 Yaupon Road – New Construction: Single-Family Residential
APPLICANT:	Southern Coastal Homes
PROJECT MANAGER:	Katie Peterson, Planning Assistant

APPLICATION REQUEST: The Applicant, Southern Coastal Homes, requests that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9538.** A Certificate of Appropriateness to construct a new single family residence of approximately 2,479 SF and Carriage House of approximately 727 SF on the property which is identified as 5764 Yaupon Road (Lot 16A) in the Stock Farm Development and is zoned as Neighborhood General-HD.

INTRODUCTION: The Applicants are proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,479 SF, has attributes of multiple building types, but does not fully meet the lot requirements or dimensional requirements, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 465 SF which meets the design standards for a Carriage House.

The main house structure is a 2 story gabled form with a front tower projection and a single story gabled wing that extends to the rear. The front façade features a full porch. The carriage house is a single story gabled roof structure with a shed roof extending off the west elevation. The carriage house is attached by the south elevation to the main structure by an unconditioned breezeway.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a variety of roof types including a gable roof, front and rear porches, and a combination of horizontal lap siding, board and batten siding and cedar shake siding. Additional materials that are in keeping with the vernacular of Bluffton are the use of square columns with bases and capitals, corner board trim, and tabby stucco at the foundation wall and chimney.

This project was presented to the Historic Preservation Review Committee for conceptual review at the March 14, 2016 meeting and comments were provided to the Applicant (See attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new single family residence within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures

located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request is in conformance with those standards.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
 3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter from the Stock Farm Habitat and Architectural Review Committee of Stock Farm must be supplied to Town Staff. As well, it appears at there are a number of large trees on the lot. As

no tree removal plan was supplied for review, please note that any tree over 14" in diameter that is required to be removed for the placement of the structure will require a Town of Bluffton tree removal permit prior to any site clearing.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.
2. Per the Applications Manual, a letter of approval from the Stock Farm HARB must be submitted, and any conditions addressed, before the issuance of the Certificate of Appropriateness.

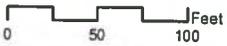
ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report

**Lot 16A, Stock Farm
5764 Yaupon Road
Location Map**

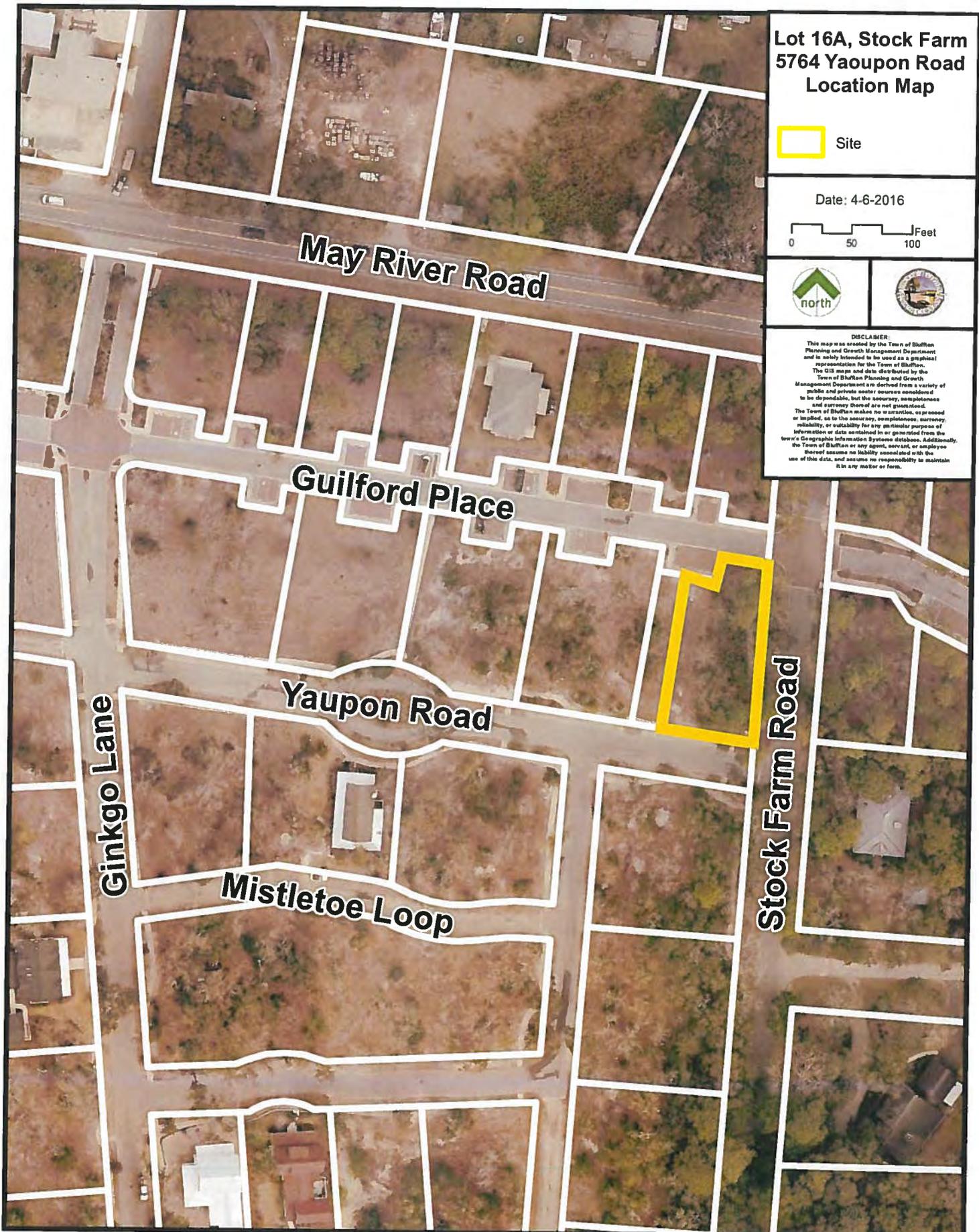
 Site

Date: 4-6-2016

 Feet
0 50 100



DISCLAIMER:
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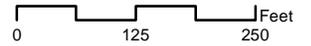


**Lot 16A, Stock Farm
5764 Yaupon Road
New Construction
Zoning Map**

 Site

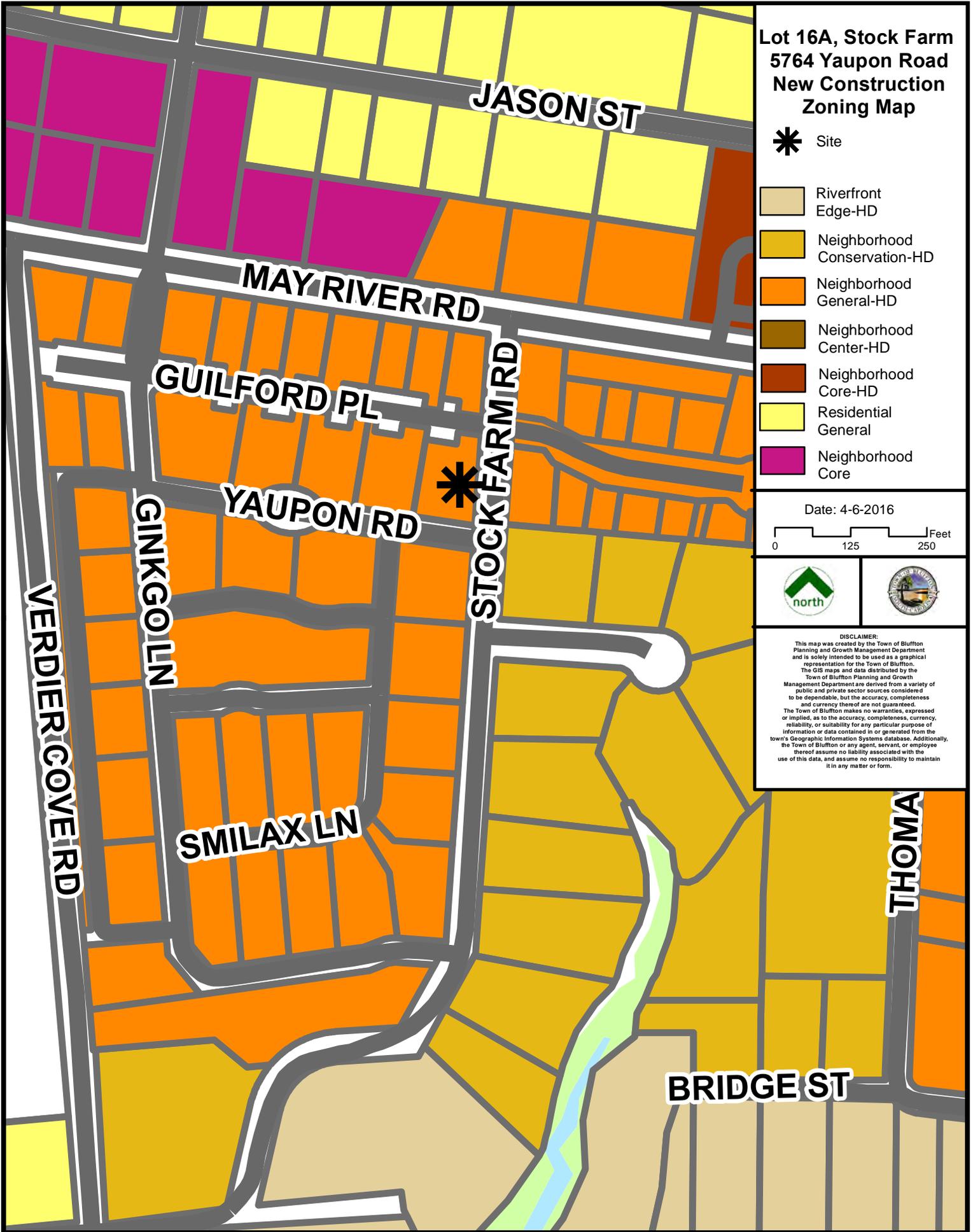
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 4-6-2016

 Feet
0 125 250



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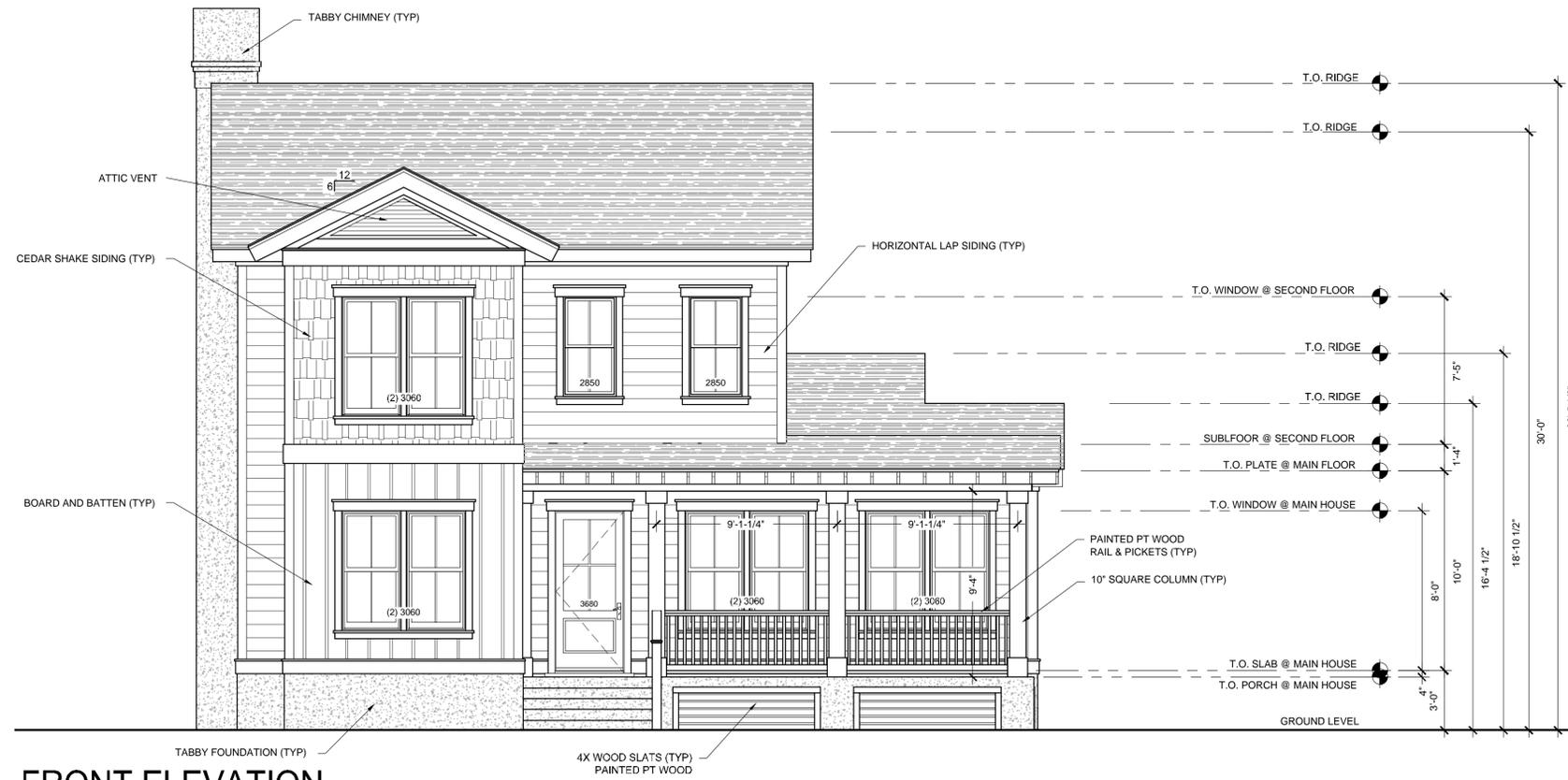
Project Narrative

Stock Farm
Lot 16A

Project

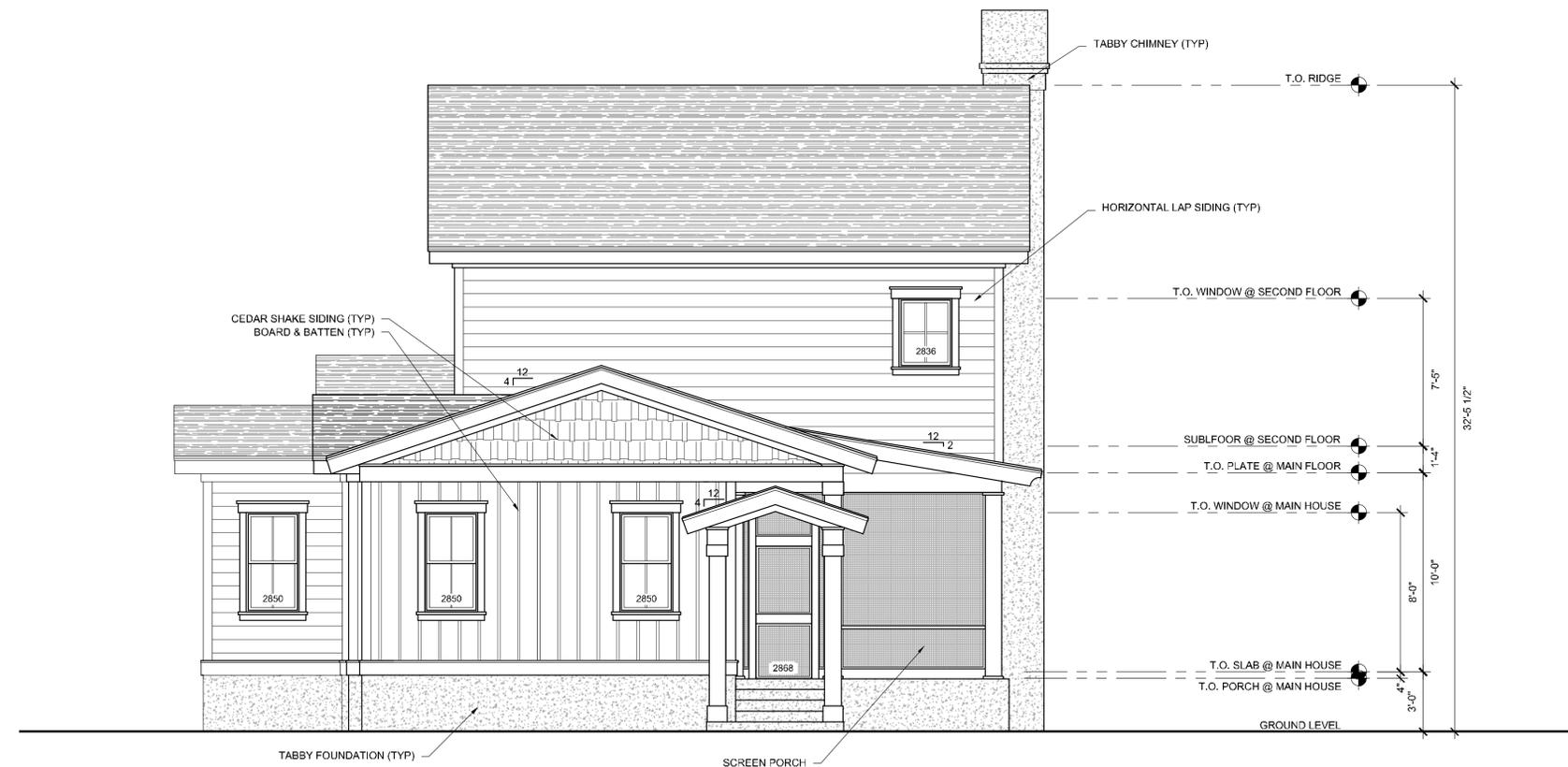
This lot is situated on the east side of the sidewalk at the middle of Yaupon Road among other residential structures built or in the process of being built by the applicant. It is applicant's desire to build residential structures which conform to the Town's Unified Development Ordinance.

This home includes a separate detached carriage house and breezeway connecting the house and carriage house. The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

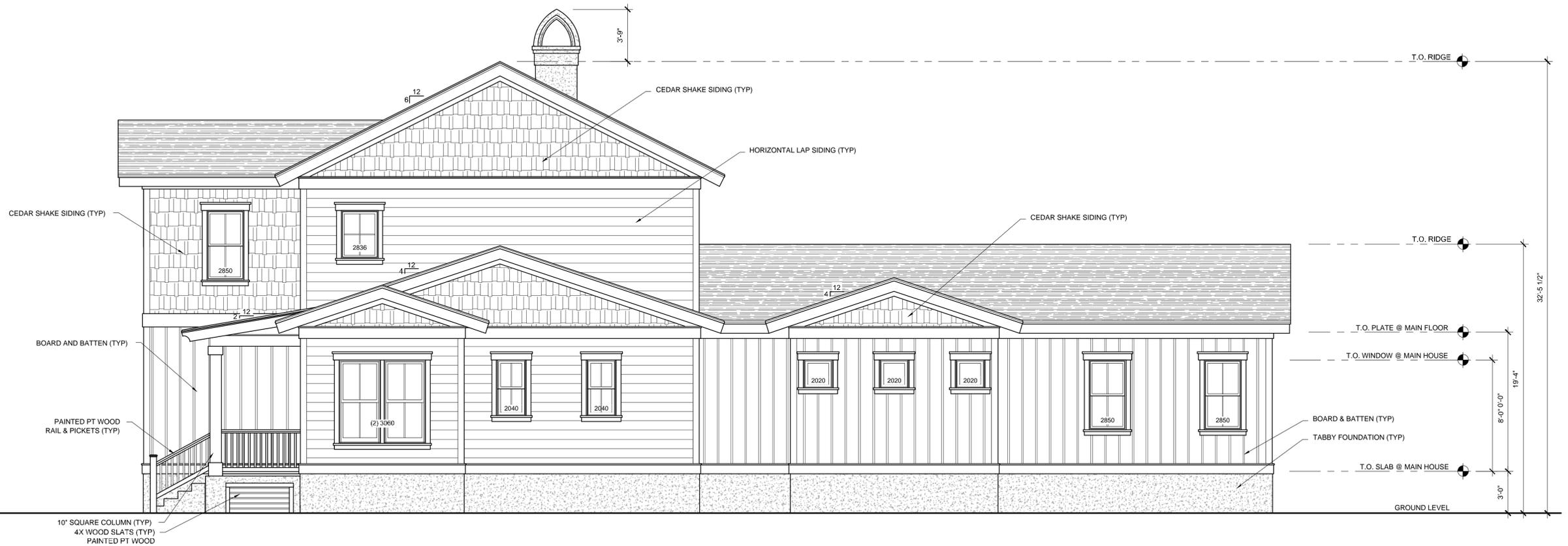
SCALE: 1/4" = 1'-0"

OVERALL SQ. FT. CALCULATIONS	
MAIN LEVEL:	1,848 SF
SECOND LEVEL:	822 SF
TOTAL HEATED:	2,670 SF
SCREEN PORCH:	185 SF
FRONT PORCH:	181 SF
GARAGE:	540 SF
TOTAL NON-HEATED:	906 SF

REVISIONS:

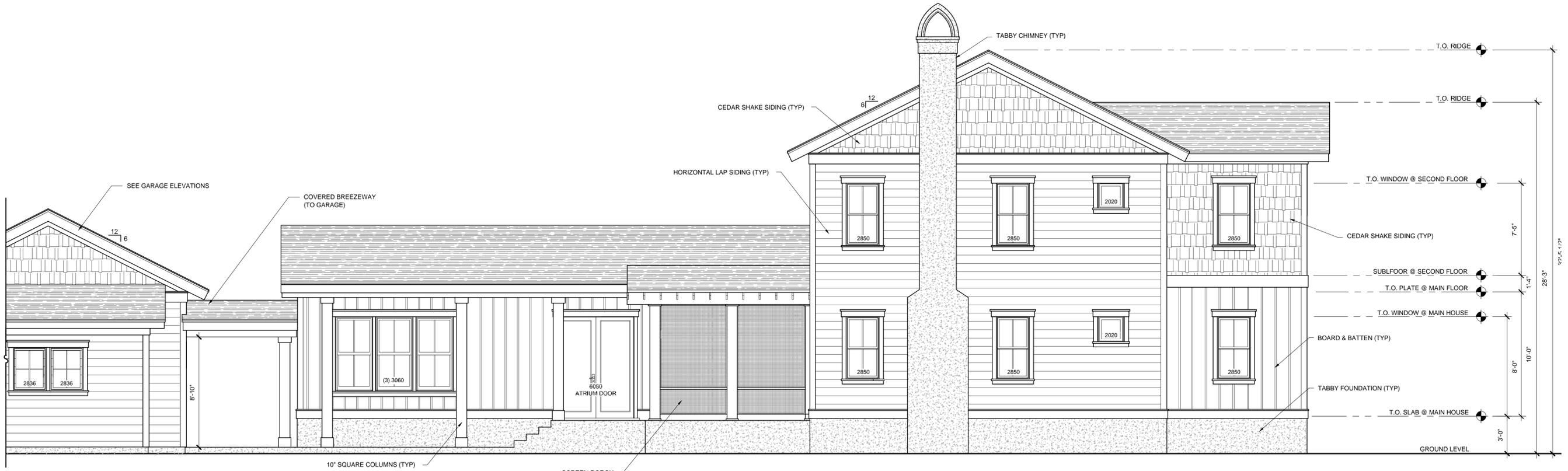
SOUTHERN COASTAL HOMES
LOT 16A
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
FRONT AND REAR ELEVATIONS

DATE: 03-15-2016
 DESIGNED BY: KBJ
 DRAWN BY: KBJ
 CHECKED BY: KBJ
 C.O.P.: AS SHOWN
 SCALE: AS SHOWN
 PROJECT #:
 SHEET NUMBER:
A-1



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



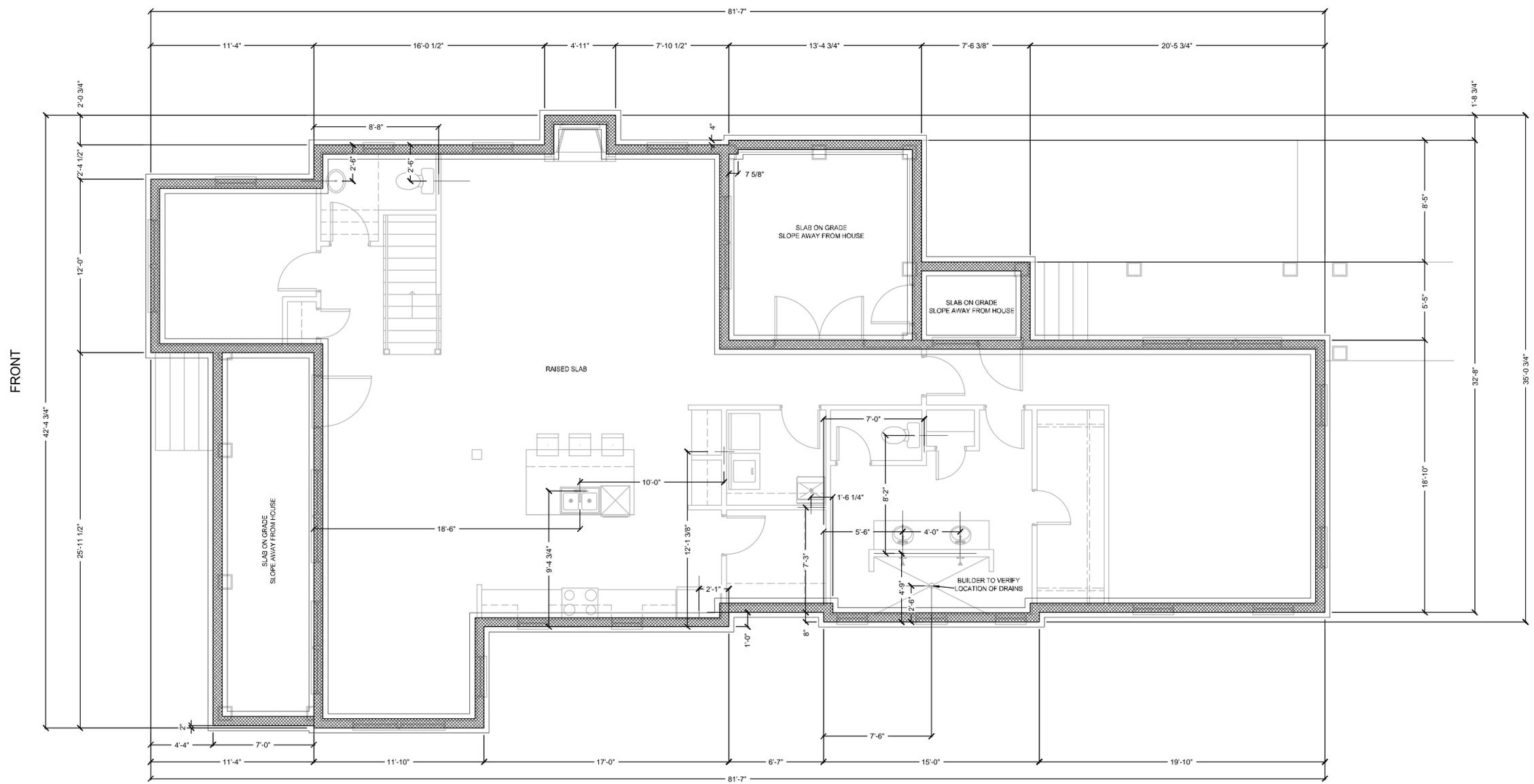
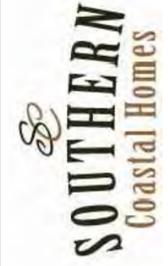
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
RIGHT AND LEFT SIDE ELEVATIONS

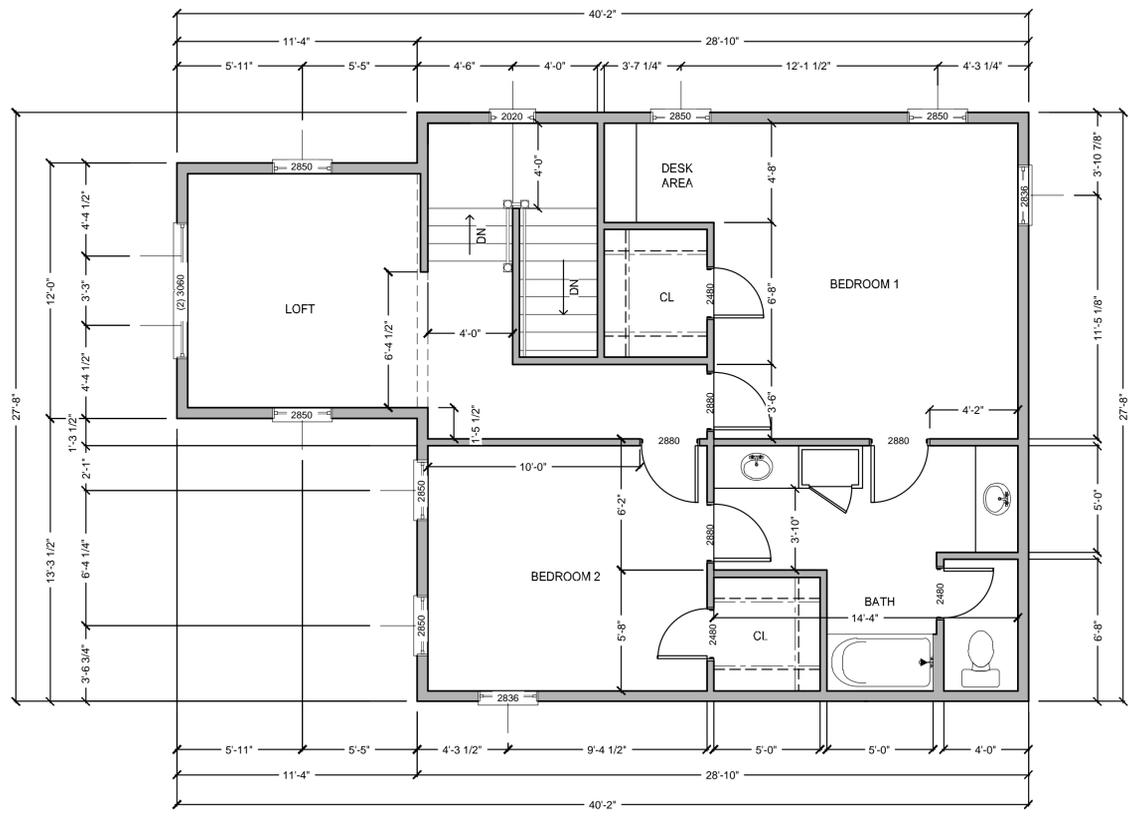
DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-2



REVISIONS:

SOUTHERN COASTAL HOMES
LOT 16A
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
SLAB/FOUNDATION PLAN

DATE: 03-15-2016
 DESIGNED BY: KBJ
 DRAWN BY: KBJ
 CHECKED BY: KBJ
 SCALE: 1/4" = 1'-0"
 PROJECT #:
 SHEET NUMBER:
A-3



REVISIONS:

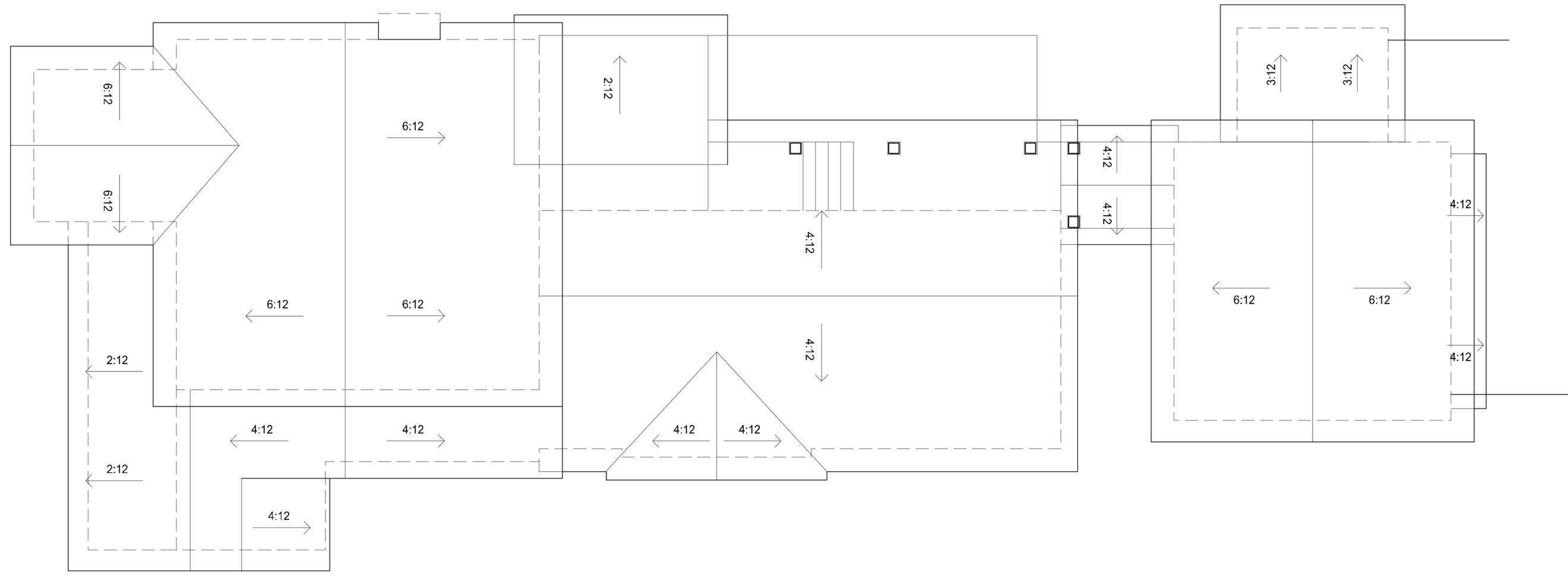
SECOND FLOOR
SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
FLOOR PLAN - SECOND FLOOR

DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-5



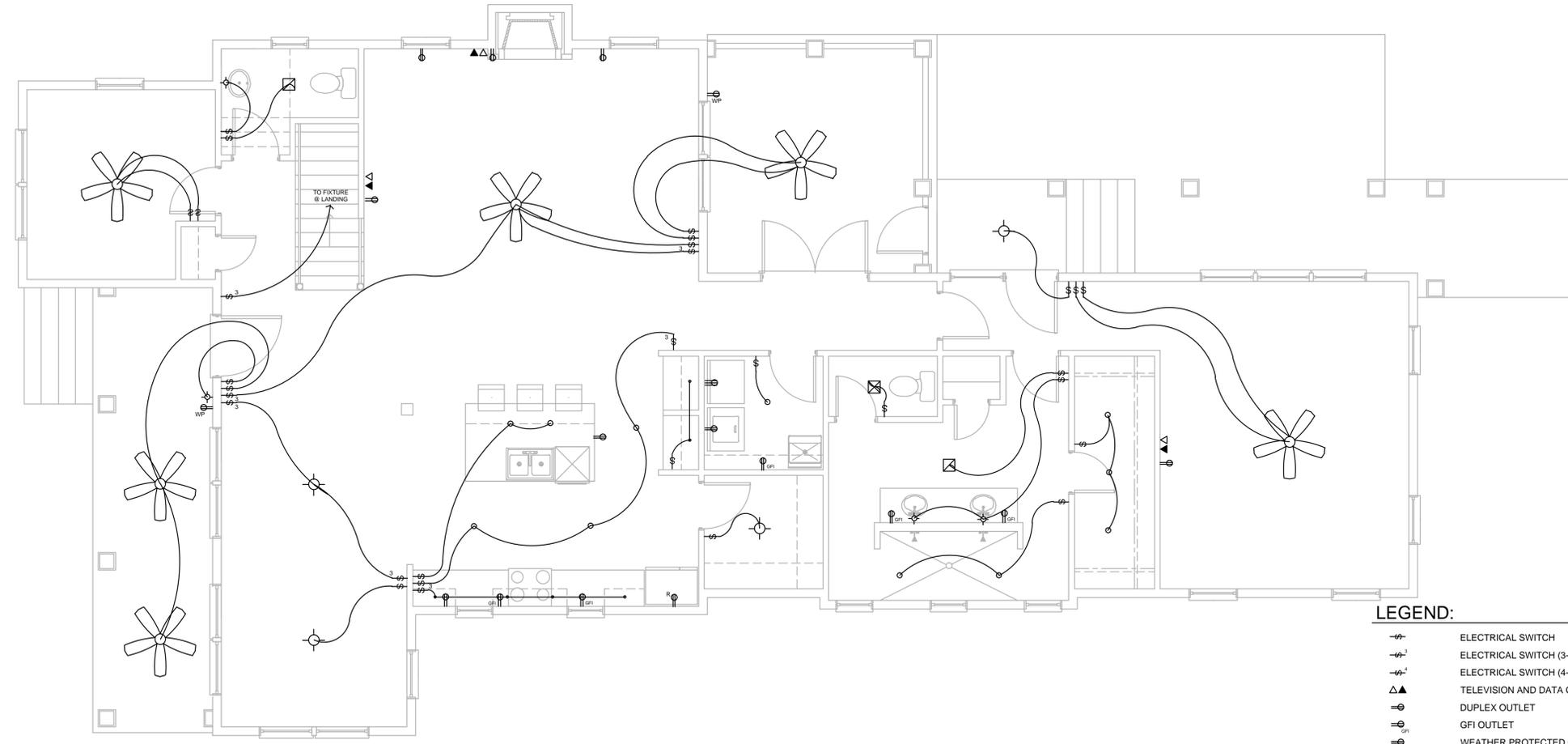
REVISIONS:



ROOF PLAN
SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
ROOF PLAN

DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-6



LEGEND:

	ELECTRICAL SWITCH
	ELECTRICAL SWITCH (3-WAY)
	ELECTRICAL SWITCH (4-WAY)
	TELEVISION AND DATA CONNECTIONS
	DUPLEX OUTLET
	GFI OUTLET
	WEATHER PROTECTED OUTLET
	DRYER RECEPTACLE
	RECESSED LIGHTING
	WALL SCONCE
	SURFACE / PENDANT FIXTURE
	LIGHT / EXHAUST FIXTURE
	4' FLUORESCENT GARAGE FIXTURE
	CEILING FAN / LIGHT FIXTURE

GENERAL NOTES:

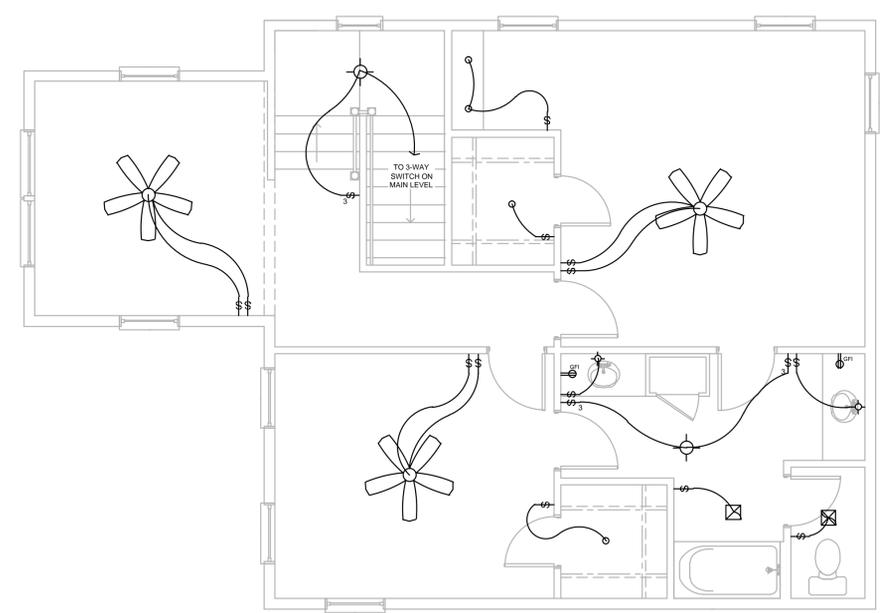
1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.

FIRST FLOOR
SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
ELECTRICAL PLAN - FIRST FLOOR

DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-7



REVISIONS:

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
ELECTRICAL PLAN - SECOND FLOOR

DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-8

SECOND FLOOR
SCALE: 1/4" = 1'-0"

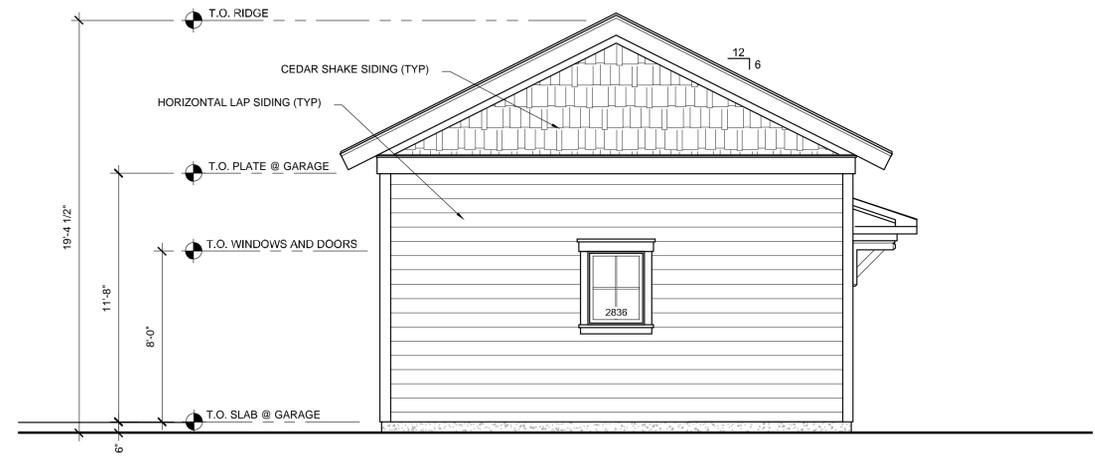
GENERAL NOTES:
1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.

LEGEND:

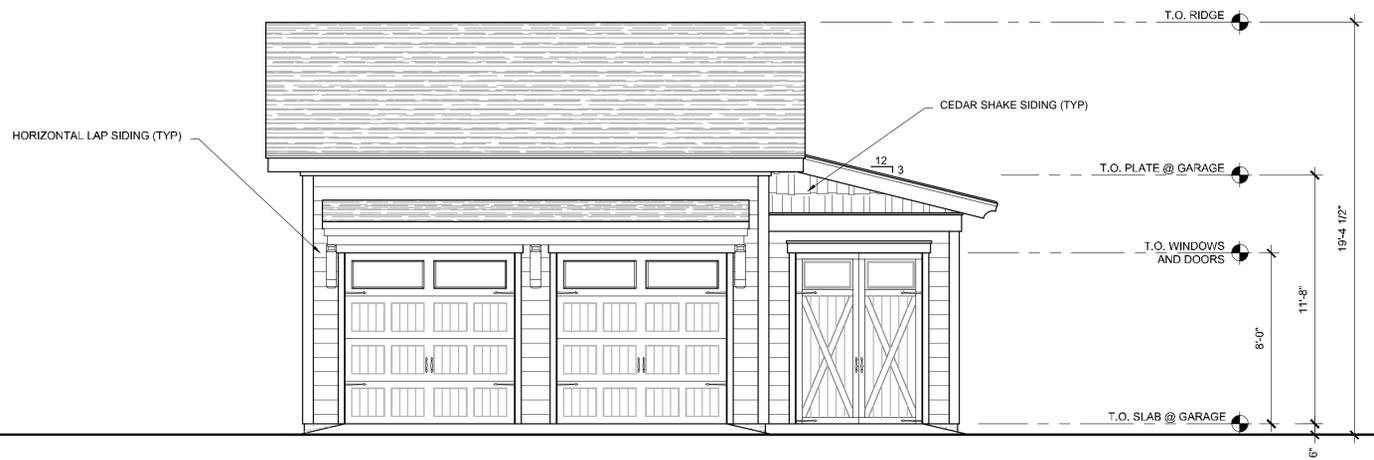
	ELECTRICAL SWITCH
	ELECTRICAL SWITCH (3-WAY)
	ELECTRICAL SWITCH (4-WAY)
	TELEVISION AND DATA CONNECTIONS
	DUPLEX OUTLET
	GFI OUTLET
	WEATHER PROTECTED OUTLET
	DRYER RECEPTACLE
	RECESSED LIGHTING
	WALL SCONCE
	SURFACE / PENDANT FIXTURE
	LIGHT / EXHAUST FIXTURE
	4' FLUORESCENT GARAGE FIXTURE
	CEILING FAN / LIGHT FIXTURE



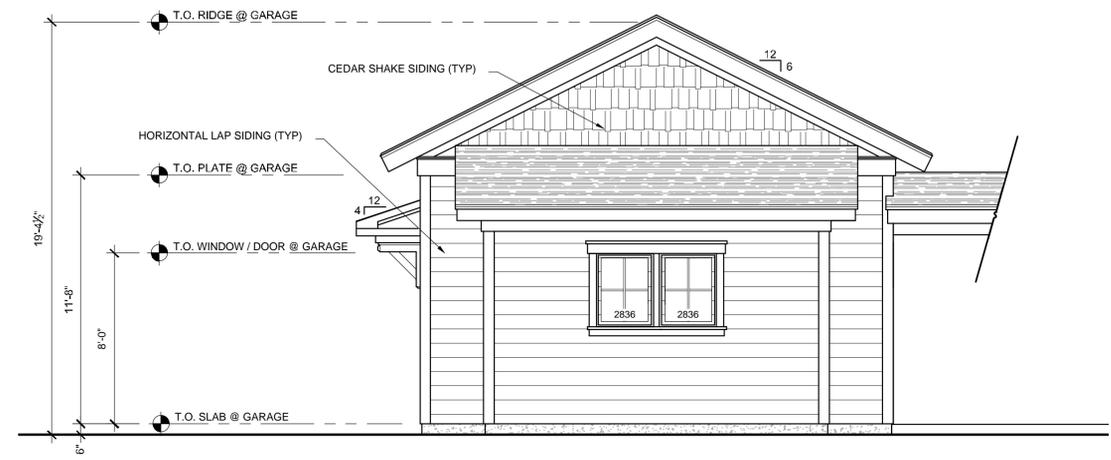
FRONT ELEVATION



RIGHT-SIDE ELEVATION



REAR ELEVATION



LEFT-SIDE ELEVATION

GARAGE ELEVATIONS

SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES
LOT 16A
STOCK FARM | BLUFFTON, SOUTH CAROLINA
GARAGE ELEVATIONS

DATE: 03-15-2016
DESIGNED BY: KBJ
DRAWN BY: KBJ
CHECKED BY: KBJ
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-9



PLAN REVIEW COMMENTS FOR COFA-03-16-009538

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 STOCK FARM

Plan Type: Historic District **Apply Date:** 03/01/2016
Plan Status: Active **Plan Address:** 5764 Yaupon Rd
 BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1492 0000
Plan Description: The applicant is requesting a Certificate of Appropriateness for a new Single Family Residential with Detached Carriage House.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the March 14th meeting.

Staff Review (HD)

Submission #: 1 Received: 03/01/2016 Completed: 03/11/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Engineering Department Review - HD	03/02/2016	Karen Jarrett	Revisions Required

Comments:

- 1) A pedestrian access easement will be required for the portions of the sidewalk within this property's boundary. The access easement will eliminate the potential of any future property owner removing the sidewalk. It should also clarify maintenance responsibilities for the sidewalk.
- 2) The site plan and the drawing plans do not appear to represent the same structure.

Growth Management Dept Review (HD)	03/11/2016	Katie Peterson	Approved with Conditions
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Comments:

- 1) Columns and porch post shall be spaced no farther apart than they are tall. The columns on the rear breezeway are spaced further apart than they are tall. Additional columns must be added or the configuration of the breezeway modified to meet this requirement (UDO 5.15.6.H.1.a.).
- 2) As the project moves toward Final submittal, provide architectural details for the typical window, railing, water table, corner board, attic louvre, trim and landscape plan as not enough information was provided in the submittal to review for conformance with the UDO (Applications Manual).
- 3) A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal. If any of the trees meet the requirement above, a tree removal permit must be submitted. (UDO Section 3.22.2.A.).
- 4) The windows shown on the left side elevation noted as 2040 have a different pane configuration than the windows on the rest of the house. As this is not a traditional design, consider revising to have better consistency throughout the house. (UDO Section 5.15.6.A, Traditional Construction Patterns Section 32)
- 5) Garages are limited to 2 cars, with maximum garage door widths of 12' each. The garage has three bays. Ensure the third bay is clearly differentiated as a golf cart bay. (UDO Section 5.15.8.F)
- 6) Access must be provided to a public or private roadway through a curb cut and recorded (if necessary) via a cross or shared access easement. The proposed driveway crosses the private sidewalk. Provide access to the property. (UDO Section Section 5.7.4.A.56)
- 7) For the Final submittal, a letter of approval from the Stock Farm HARC is required per the Applications Manual.

HPRC Review	03/11/2016	Katie Peterson	Approved with Conditions
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Comments:

- 1) Recommendation: Have the new side walk flow more rectilinear and tie into the existing to create a more uniform final product.
- 2) For the final submission, update the plans to reflect the reversed floor plan and match the foundation plan and site plan. Accurately represent location of garage and breezeway with correct floor plan on the site plan. (Applications Manual)

Beaufort Jasper Water and Sewer Review	03/11/2016	Dick Deuel	Approved
Comments: 1) No Comments by reviewer.			
Addressing Review	03/02/2016	Theresa Thorsen	Approved
Comments: 1) No Comments by reviewer.			
Stormwater Review	03/03/2016	William Baugher	Approved
Comments: 1) Small Construction Activities, the SCDHEC Erosion and Sediment Reduction and Stormwater Management regulations and its most current version of standards, where applicable. The Town will require as a minimum, implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual.			

Plan Review Case Notes: