

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 6, 2016
PROJECT:	45 Calhoun Street – Renovation
APPLICANT:	Mike Vaccaro
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Mike Vaccaro on behalf of Bob Clarkson, requests that the Historic Preservation Commission approve the following application:

1. **COFA-3-16-9550.** A Certificate of Appropriateness to allow for the renovation of an existing structure to include an addition to the front porch and a new egress at the rear on the property identified as 45 Calhoun Street in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. (COFA-3-16-9550)

INTRODUCTION: The existing structure, located at 45 Calhoun Street, is located on 0.308 acres within the Old Town Bluffton Historic District in the Neighborhood Center-HD zoning District (NCE-HD). The property was designated as a contributing historic resource in the 2008 Survey of Historic Properties and was then designated locally as a historic structure within the Old Town of Bluffton Historic District.

The main portion of the structure is a single story side gable cottage on CMU block foundation. The building has a small front stoop on the west elevation with a small rear addition and ADA access ramp at the rear that was added at a later date. The exterior walls are constructed with weatherboard siding with 6/6 windows and a metal roof.

The current owner has future plans to use the property for a two unit commercial structure with a professional office and personal services establishment in compliance with the NCE-HD Zoning District as set forth in Article 4, Zoning Districts of the Unified Development Ordinance

The proposal includes the removal of two pairs of windows on the front elevation and the replacement of these windows with French doors. It also includes the expansion of the front stoop into a porch wide enough to cover the new entrances. At the rear a new exit door is proposed at an existing window location and the rear deck and ADA ramp is to be enlarged.

This project was presented to the Historic Preservation Review Committee for conceptual review at the March 14, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Finding. The Secretary of the Interior’s Standards for Rehabilitation consist of ten standards for rehabilitation supported by additional information provided in the Secretary of the Interior’s Guidelines for Rehabilitating Historic Buildings. For this application, the Standards for Rehabilitation apply because the building is a Contributing Structure in the Bluffton Historic District. Overall, Town Staff finds that these requirements, with the conditions noted, have been met. In particular standards 1, 2, 3, 4, 5, 6, 9, and 10 apply as stated below:

- Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Finding. The new use will require minimal change to the existing structure with the exception to the points of egress. The new configuration utilizes existing window openings to reduce the amount of change and proposes additions in areas that will minimally impact the spatial relationships.

- Standard 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding. The proposal includes the reuse and rehabilitation of the structure in a way that will require minimal changes to the distinctive materials, features, and spaces. The proposed doors will impact the windows, but have been proposed in a manner that is reminiscent of the window design.

- Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Finding. The proposal's intent is not to create a false sense of historical development. The new features proposed are similar in design as those that exist and the overall design meets the purpose of retaining the structure to preserve its history and reusing it as a commercial structure with minimal modifications.

- Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding. The age of the front stoop, rear porch and rear addition are unknown and it is unclear if these components are in their original configuration or if they have acquired historic significance in their own right. As such, the proposed changes require minimal modifications.

- Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Finding. The Applicant has indicated that the two pairs of windows on the front elevation and a single window at the rear will be replaced with doors of a similar design. As well the existing stoop is to be extended. While the existing windows are characteristic of the cottage, the proposed French doors will retain a similar design aesthetic to preserve the character of the property.

- Standard 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Finding. While the existing windows are in a deteriorated state the choice to replace them is based on functional need for the structure

rather than simply out of convenience. As such, a similarly paned pair of French doors has been proposed at the location of the existing windows on the front elevation.

- Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment

Finding. The proposed exterior alterations are compatible with the massing, size, scale and architectural features currently existing at the site. Although the removal of the windows on the primary façade will change the character defining features (windows), the proposed doors are similar in sympathetic in the design.

- Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding. As the proposed new points of egress are at current window locations, if they were removed in the future, windows could be placed back into the façade in their previous locations and the essential form would be unimpaired. The same is true of the porch expansion. It too could be removed with little or no impact.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced."

The Applicant proposes to renovate an existing historic Contributing Structure within the Old Town Bluffton Historic District. The proposed renovation will provide an opportunity to protect the history of the structure by remediating the currently deteriorated physical condition and allow it to evolve for a contemporary use.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the items addressed in the following section are revised.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. The UDO notes the permitted finish materials as concrete masonry units with stucco, reinforced concrete with stucco, brick and stone. As proposed, two new CMU piers are noted beneath the corner of the expanded porch. No finish material is noted. To conform to the UDO, stucco must be applied to the CMU block. As well a number of wood piers (to match existing) are proposed at the back deck area. This formation is not noted as a permitted configuration nor is it proposed with permitted materials for piers. To meet the requirements of the UDO, the piers must be revised to a permitted configuration with a permitted finish material.

4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the renovations are appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

5. Section 3.18.3.E. Consistency with the preservation of the existing building's character and architecture.

Finding. The Applicant seeks to renovate the existing structure sympathetically. The proposed changes will cause minor modifications to the character of the building and its architecture. The Applicant has made reasonable efforts to mitigate the impact, but the appropriateness of these changes, particularly those to the primary façade require a determination from the HPC.

6. Section 3.18.3.F. Impact on the historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the renovation of a Contributing Structure to allow for the structure to house two tenants. The intent of the proposal is to introduce additional entrances/egress in a manner that requires as few modifications to the structure as possible. As such, the alteration to the historic, architectural, and aesthetic features shall be minimal and not a substantial detriment to the public interest.

7. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the criteria described in the previous sections and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.H. of the UDO, the CMU block piers must be finished with stucco.
2. Per Section 5.15.6.H. of the UDO, the wooden piers must be revised to a permitted configuration with a permitted finish material.

ATTACHMENTS:

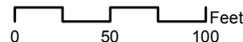
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Plans
5. HPRC Report
6. Historic Resource Survey Sheet

45 Calhoun Street Location Map

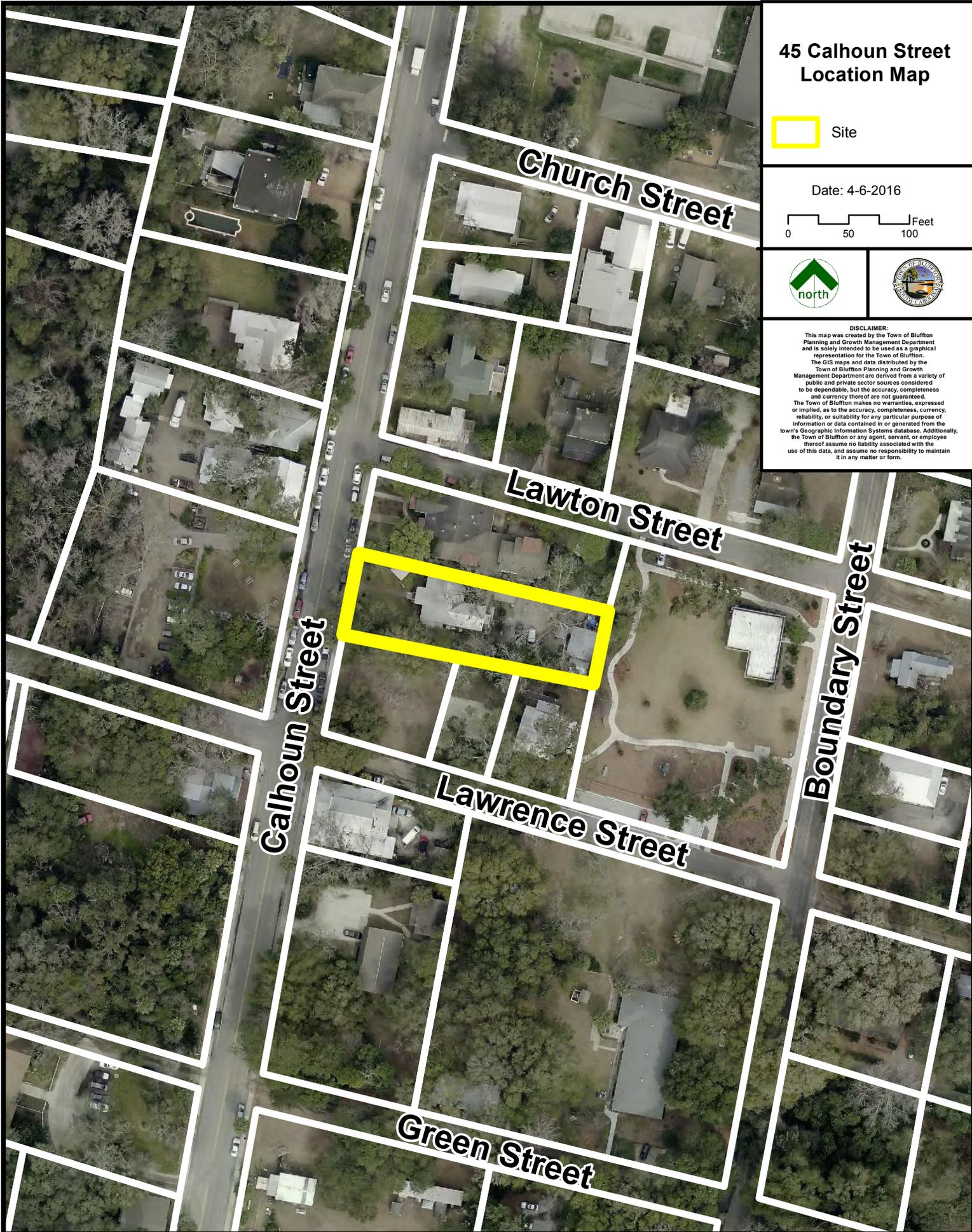


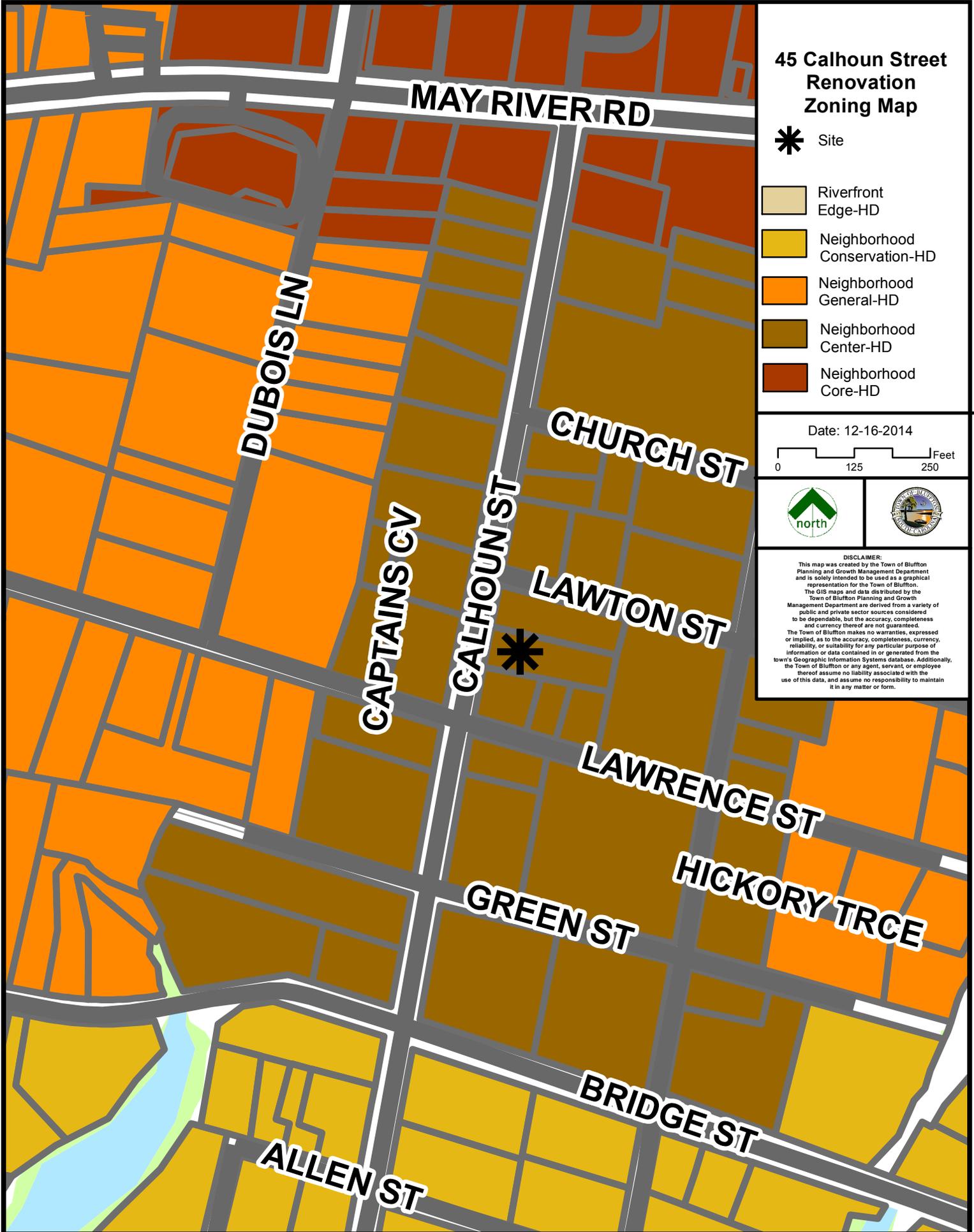
Site

Date: 4-6-2016



DISCLAIMER:
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The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.



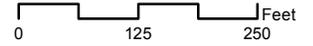


45 Calhoun Street Renovation Zoning Map

✱ Site

- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD

Date: 12-16-2014



DISCLAIMER:
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Applicant Narrative for 45 Calhoun Street

45 Calhoun St. project is a renovation and front porch addition to the existing commercial property. It involves addition of two new doors in the front and widening of the existing porch. All existing details on match.

Michael A. Vaccaro, AIA, NCARB
President

Vaccaro Architecture, Inc.
(843)290-3076
www.VACCAROarchitecture.com

LUDTKE & VACCARO
 ARCHITECTS, LLC
 14 NEW ORLEANS ROAD, SUITE 16
 HILTON HEAD ISLAND, SC 29928
 phone 843.686.2468
 fax 843.686.2462
 e-mail mikevaccaro@hargray.com

No.	Description	Date

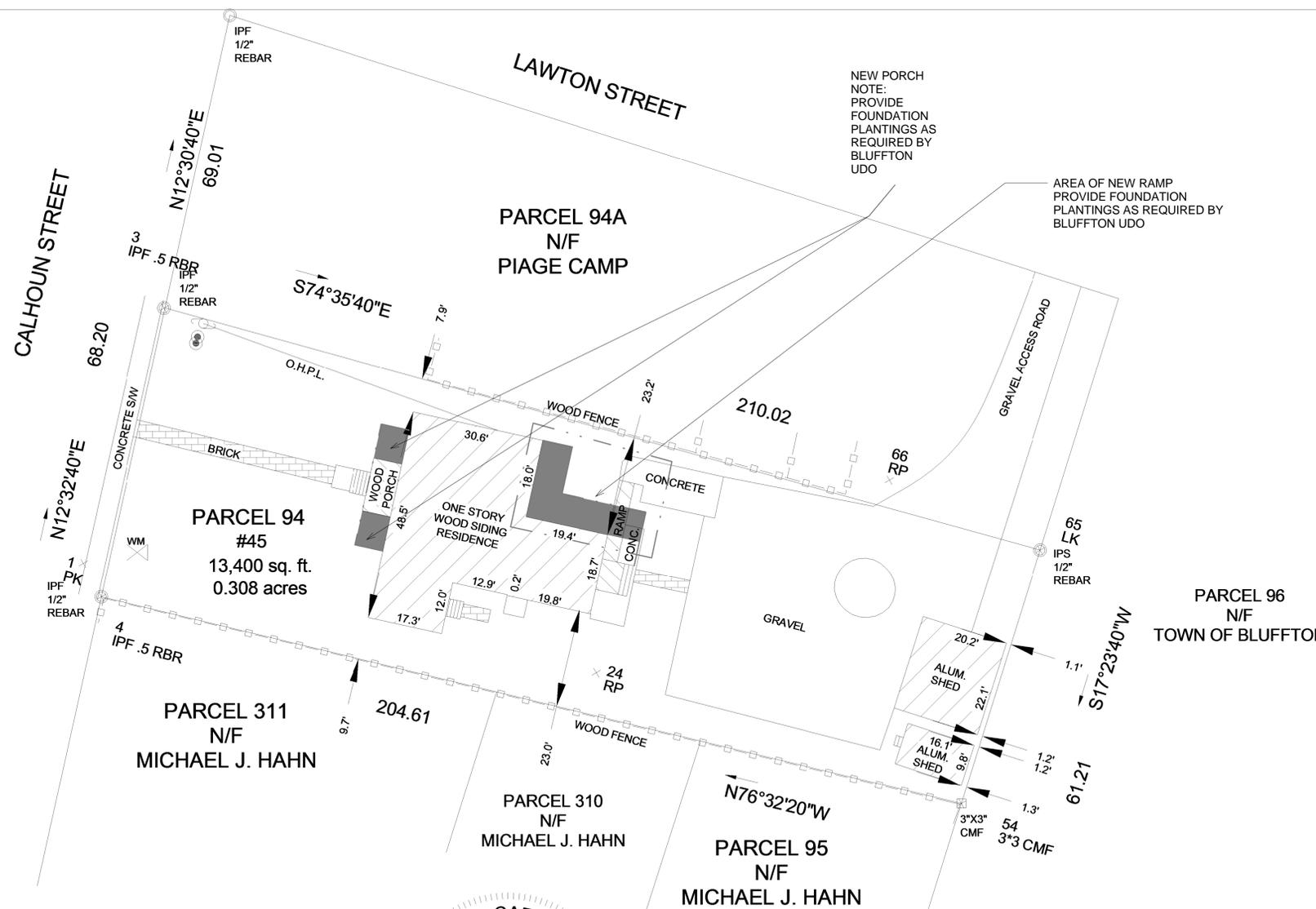
CLARKSON
 45 Calhoun St.
 Site Plan

Project number	
Date	4/8/10
Drawn by	Author
Checked by	Checker

A001

Scale 1/16" = 1'-0"

LOCATION MAP NOT TO SCALE

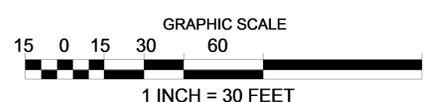


NEW PORCH
 NOTE:
 PROVIDE
 FOUNDATION
 PLANTINGS AS
 REQUIRED BY
 BLUFFTON
 UDO

AREA OF NEW RAMP
 PROVIDE FOUNDATION
 PLANTINGS AS REQUIRED BY
 BLUFFTON UDO

LEGEND

□ CMS - CONCRETE MONUMENT SET	▨ XFMR - TRANSFORMER
□ CMF - CONCRETE MONUMENT FOUND	WL - WATER LATERAL
○ IPS - IRON PIN SET	WM - WATER METER
○ IPF - IRON PIN FOUND	WM - WATER METER
# - INDICATES STREET ADDRESS	ICV - IRRIGATION CONTROL VALVE
TBM - TEMPORARY BENCH MARK	⊕ - FIRE HYDRANT
BSL - BUILDING SETBACK LINE	⊕ - GRATE INLET
⊙ - TELEPHONE PEDESTAL/COMMUNICATOR	⊕ - POWER POLE
SL - SEWER LATERAL	⊕ - OVER HEAD POWER LINE
S - SANITARY SEWER MANHOLE	⊕ - GUY LINE
⊕ - ELECTRIC BOX	⊕ - LIGHT POLE
⊕ - GUY LINE	D - STORM DRAIN MANHOLE
⊕ - LIGHT POLE	F - FIBEROPTICS MANHOLE
D - STORM DRAIN MANHOLE	
F - FIBEROPTICS MANHOLE	



DATE: MARCH 8, 2016

PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.
 ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED.

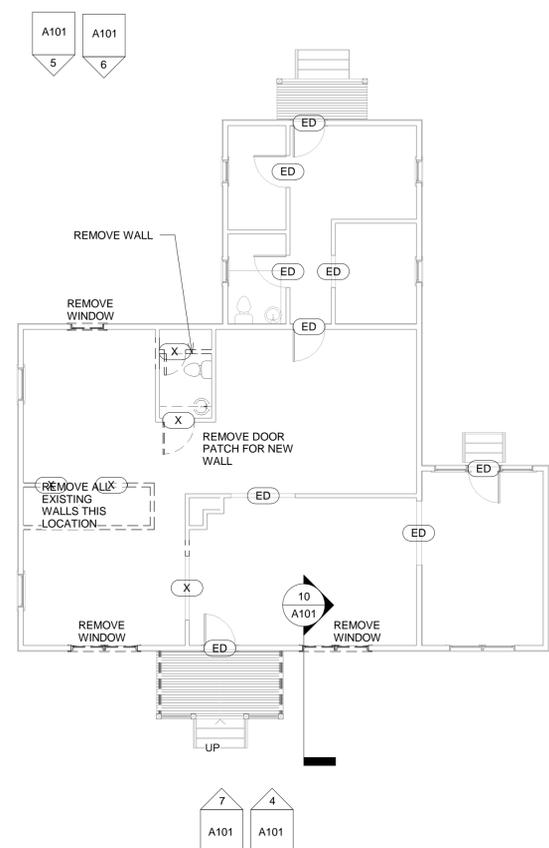
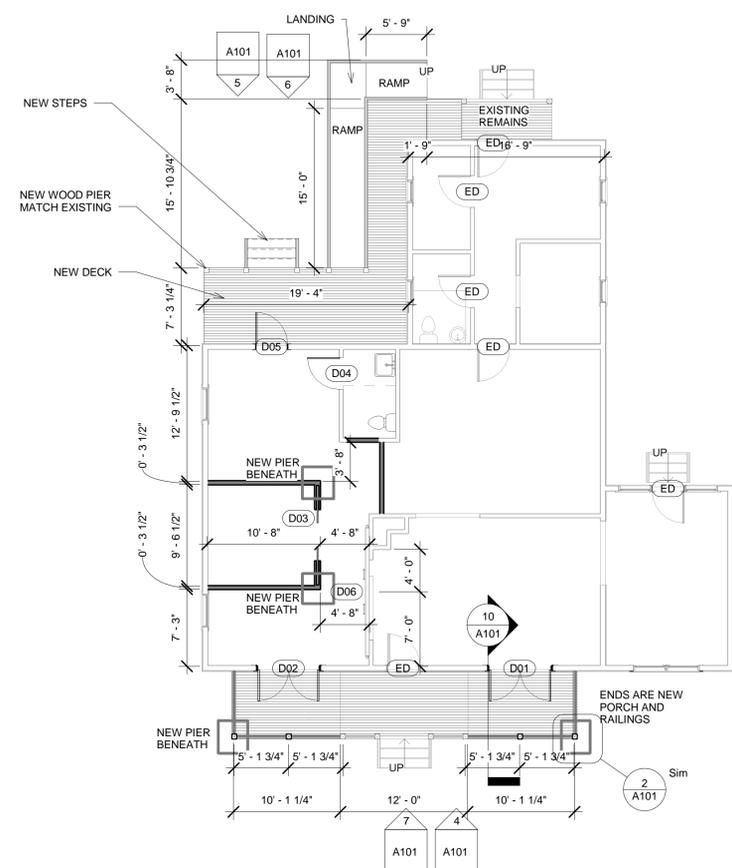
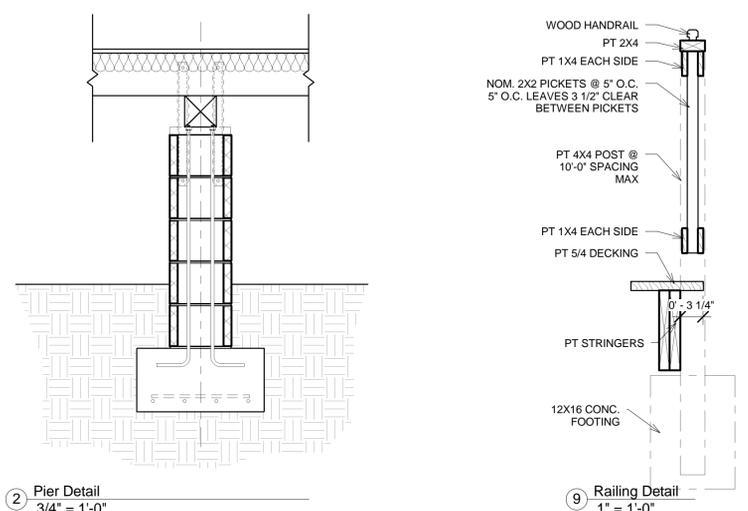
WILLIAM J. SMITH, PLS # 26960



- NOTES: 1. According To FEMA Flood Insurance Rate Map # 450251 0001 A This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A Ft. NGVD29
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
- DIST. 610, MAP 39A, PARCEL 94
 REFERENCE PLAT(s):
 DEED BOOK 611 AT PAGE 837

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
MIKE VACCARO
 AN AS-BUILT SURVEY OF PARCEL 94 CALHOUN STREET,
 DISTRICT 610, TAX MAP 39A,
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

JOB # 16-102A

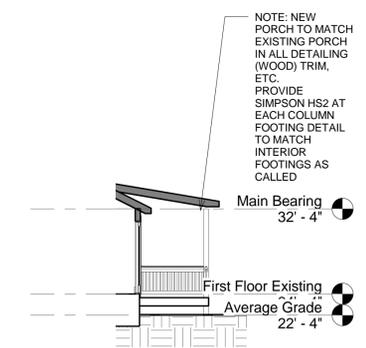
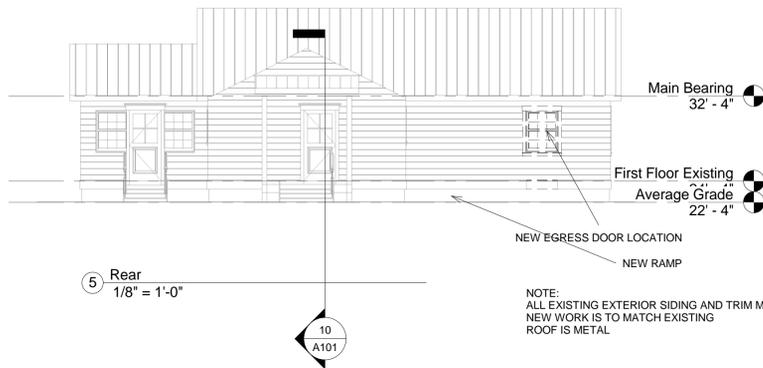
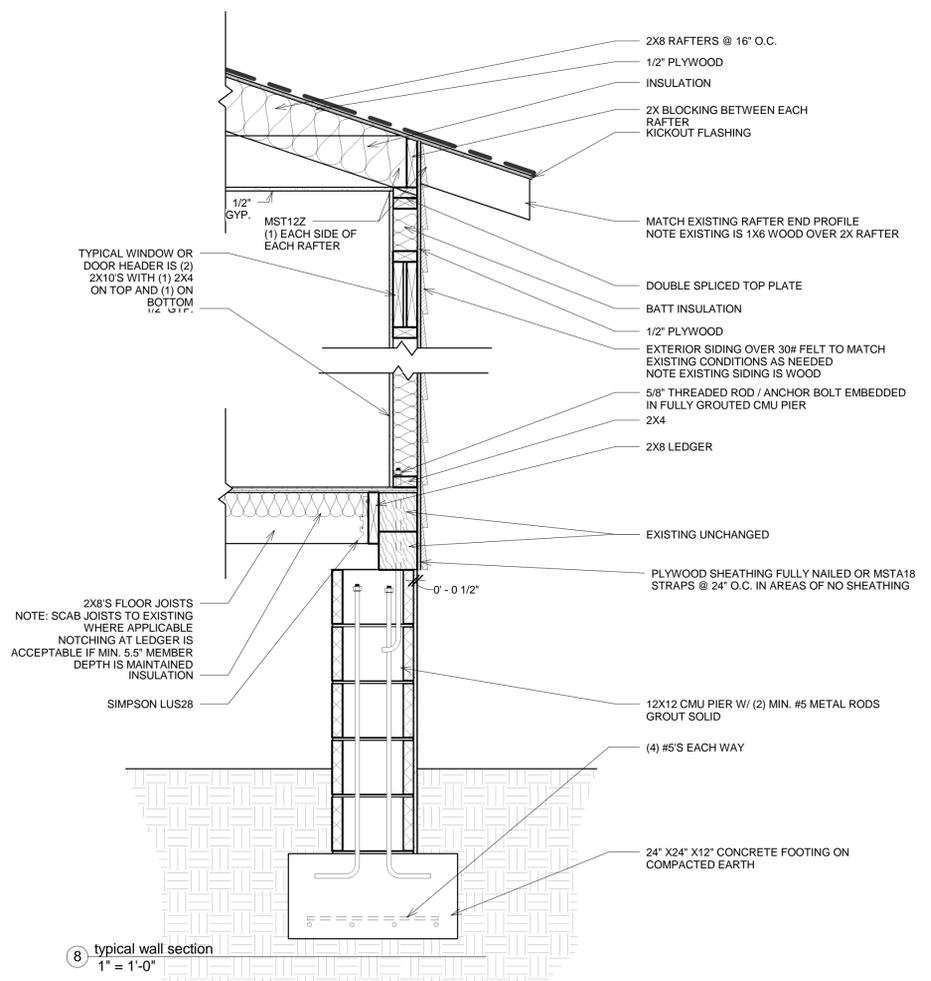


Door Schedule

Door Number	Door Type	Door Size	Details	Finish
D01	88	CUOFD6068	Sill	Comments
D02	88	CUOFD6068		
D03	92	28"		
D04	78	36x80		
D05	77	3'-0" x 6'-8" half light		
D06	94	6' Opening		

NOTE: DOORS MARKED "ED" ARE EXISTING TO REMAIN
DOORS MARKED "X" ARE TO BE REMOVED

NOTE: REPLACE ROTTED AND/OR MALFUNCTIONING WINDOWS AS REQUIRED WITH THE SAME SIZE, TYPE, LITE PATTERN, ETC. MATCH ALL SILL HEAD JAMB DETAILS.



The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such; it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

CLARKSON
45 Calhoun St.
Plans

Project number
Print Date 3/16/2016 3:31:25 PM Issue Date 4/8/10
Drawn by Author
Checked by Checker

A101

Scale As indicated



PLAN REVIEW COMMENTS FOR COFA-03-16-009550

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District Apply Date: 03/07/2016
Plan Status: Active Plan Address: 45 Calhoun St
Case Manager: Erin Schumacher Plan PIN #:
Plan Description: A request by Mike Vaccaro, of Vaccaro Architects, for review of a Certificate of Appropriateness to allow for the renovation of an existing structure to include an addition to the front porch and a new egress at the rear on the property identified as 45 Calhoun Street in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the March 14th meeting

Staff Review (HD)

Submission #: 1 Received: 03/07/2016 Completed: 03/10/2016

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Engineering Department Review - HD, 03/10/2016, Karen Jarrett, Approved with Conditions

Comments:

1. There is no site plan or location map to clarify the orientation of the structure and associated driveways/parking or where the property is in the real world. Provide this information.

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: Growth Management Dept Review (HD), 03/10/2016, Erin Schumacher, Approved with Conditions

Comments:

- 1. With the final application, provide a landscape plan noting and tree removal required, foundation plantings, and street trees. (Applications Manual and UDO Section 5.3)
2. For the final application, provide architectural details of the proposed railings, typical window/door detail, the materials for the proposed doors/window and roofing, and a section through the porch showing the configuration of the eave materials as not enough information was provided in this application to review for conformance the requirements of the UDO. (Applications Manual)
3. The proposed column spacing of the new porch addition does not meet the spacing requirement of "no farther apart than they are tall" and must be revised to meet the requirements of the UDO. (UDO Section 5.15.6.H.1.a.)

Table with 4 columns: Reviewing Dept., Complete Date, Reviewer, Status. Row 1: HPRC Review, 03/10/2016, Erin Schumacher, Approved with Conditions

Comments:

- 1. Provide additional information regarding the existing materials. A what is existing might not been an approved material, this information must be provided to complete the review. (Applications Manual)
2. The revised/new rear elevation does not appear to be represented correctly in the elevations. Based on the site plan, there appears to be a new rear porch being added with a handicap ramp. Provide additional information or revised drawings to clarify the intent. (Applications Manual)
3. For the final application, provide a section and details for the new rear porch, the ramp and railing and a typical wall sections for the front covered porch. As well a side elevation showing the new front and rear porch, would be helpful. (Applications Manual)
4. Provide a scalable site plan, showing that the proposed addition will fit on the lot and within the permitted setbacks. (Applications Manual)
5. Provide material information on the pier detail and note their placement. (Applications Manual)
6. In general the plans are somewhat incomplete and therefore more detailed review was not possible. As the application proceeds to final, provide final drawings that are dimensioned, with materials noted, and that clearly depict the intent of the design. (Applications Manual)

Stormwater Review	03/10/2016	William Baugher	Approved with Conditions
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Comments:

1. The Town will require as a minimum, implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual.

Addressing Review	03/09/2016	Theresa Thorsen	Approved
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Comments:

1. No comments.

Beaufort Jasper Water and Sewer Review	03/10/2016	Dick Deuel	Approved
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Comments:

1. No comments.

Plan Review Case Notes:

Statewide Survey of Historic Properties

State Historic Preservation Office
South Carolina Department of Archives and History
301 Parklane Road
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 13 / 046-0051

Status County No. Site No.

Quadrangle Name: Bluffton

Tax Number: 39A-94

Intensive Survey Form

Identification

Historic Name: _____

Common Name: _____

Address/Location: 45 Calhoun Street

City: Bluffton

County: Beaufort

Vicinity of: _____

Ownership: **1 Private** 5 State
2 Corporate 6 Federal
3 City 0 Unknown/Other
4 County

Category: **1 Building**
2 Site
3 Structure
4 Object

Historical Use: **1 single dwelling** 3 commercial
2 multi dwelling 4 other

Current Use: 1 single dwelling **3 commercial**
2 multi dwelling 4 other

SHPO National Register Determination of Eligibility:

- 1 Eligible
- 2 Not Eligible
- 3 Contributes to Eligible District
- 4 Contributes to Listed District
- 5 Potentially Eligible
- 6 Listed
- 7 Determined Eligible/Owner Objection
- 8 Removed from NR

Other Designation: _____

Property Description

Construction Date: _____

Alteration Date: _____

Commercial Form: _____

Stories:
1 1 Story
2 1 ½ Stories
3 2 Stories
4 2 ½ Stories
5 3 Stories
0 Other: _____

Construction Method:
1 Masonry
2 Frame
3 Log
4 Steel
0 Other: _____

Historic Core Shape:

- 1 Rectangular** 6 H
- 2 Square 7 Octagonal
- 3 L 8 Irregular
- 4 T 0 Other: _____
- 5 U

Exterior Walls:

- 1 Weatherboard**
- 2 Beaded Weatherboard
- 3 Shiplap
- 4 Flushboard
- 5 Wood Shingle
- 6 Stucco
- 7 Tabby
- 8 Brick
- 9 Brick Veneer
- 10 Stone Veneer
- 11 Cast-Stone
- 12 Marble
- 13 Asphalt roll
- 14 Synthetic siding
- 15 Asbestos shingle
- 16 Pigmented Structural Glass
- 17 Other: _____

Roof Features

Shape: Gable

Materials: Raised seam metal

Foundation:

- 1 Not Visible
- 2 Brick Pier
- 3 Brick Pier with Fill
- 4 Brick**
- 5 Stuccoed Masonry
- 6 Stone Pier
- 7 Stone
- 8 Concrete Block
- 9 Slab Construction
- 10 Basement
- 11 Raised Basement
- 12 Other: _____

Porch Features

Width: Entrance

Shape: shed

Significant Architectural Features: _____

