

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	March 2, 2016
PROJECT:	55 Calhoun Street – Vent/Exhaust
APPLICANT:	Earl Nightingale
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Earl Nightingale, requests that the Historic Preservation Commission approve the following application:

1. **SFHD-12-15-8521.** A request by Earl Nightingale, for the approval of a Site Feature Permit-HD to add an exhaust vent concealed to appear like a chimney at the north elevation of the existing structure located on the property identified as 55 Calhoun Street in the Old Town Historic District and zoned Neighborhood Center-HD.

INTRODUCTION: Section 3.19 of the Unified Development Ordinance (UDO) authorizes Staff to review and approve Site Feature proposals, provided the application is in conformance with Article 5 and the intent is to preserve the outward appearance of a building or structure while allowing for exterior non-structural work of a minor nature. While Site Features are typically reviewed and approved at Staff level, the proposed exterior work on the principle façade requires a determination from the Historic Preservation Commission (HPC).

The Applicant previously submitted a Site Feature-HD permit in December to construct the exhaust fan/enclosure at the rear side of the building (east elevation). At that time, the application was approved by Town Staff as submitted because it met the requirements of the UDO and was located on a secondary façade. The current request is to locate the exhaust vent/enclosure at the North elevation along Lawrence Street which is a principle façade and adjacent to a right-of-way, Town Staff is requesting a determination from the HPC on the appropriateness of the location and design solution.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

REVIEW CRITERIA & ANALYSIS: Town Staff are required to consider the criteria set forth in Section 3.19.3 of the Unified Development Ordinance in assessing an application for a Site Feature – Historic District (HD). These criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.19.3.A. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

Finding. As proposed, the exhaust vent is designed to appear similar to a chimney and is proposed to be clad in a material similar to the roof material. While Article 5 does not specifically address vents or hood systems, it does allow *Traditional Construction Patterns* to be referenced for additional information. Per Section 93, Roof Penetrations, roof penetrations on sloped roofs shall not be permitted where visible from rights-of-way and that all roof penetrations should match the color of the roof. Further, the text states that creative methods should be used to conceal roof clutter and notes the use of a chimney form as an appropriate method of concealment.

1. Section 3.19.3.B. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete, meeting all requirements of the Applications Manual.

STAFF RECOMMENDATION: The Town Staff requests a determination from HPC regarding the appropriateness of the proposed exhaust vent and enclosure located on the north elevation of the existing structure.

ATTACHMENTS:

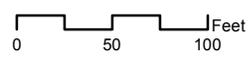
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Plans
5. Previous Approval



55 Calhoun Street Location Map

 Site

Date: 3-2-2016



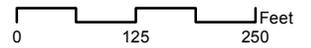
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**55 Calhoun Street
New Construction
Zoning Map**

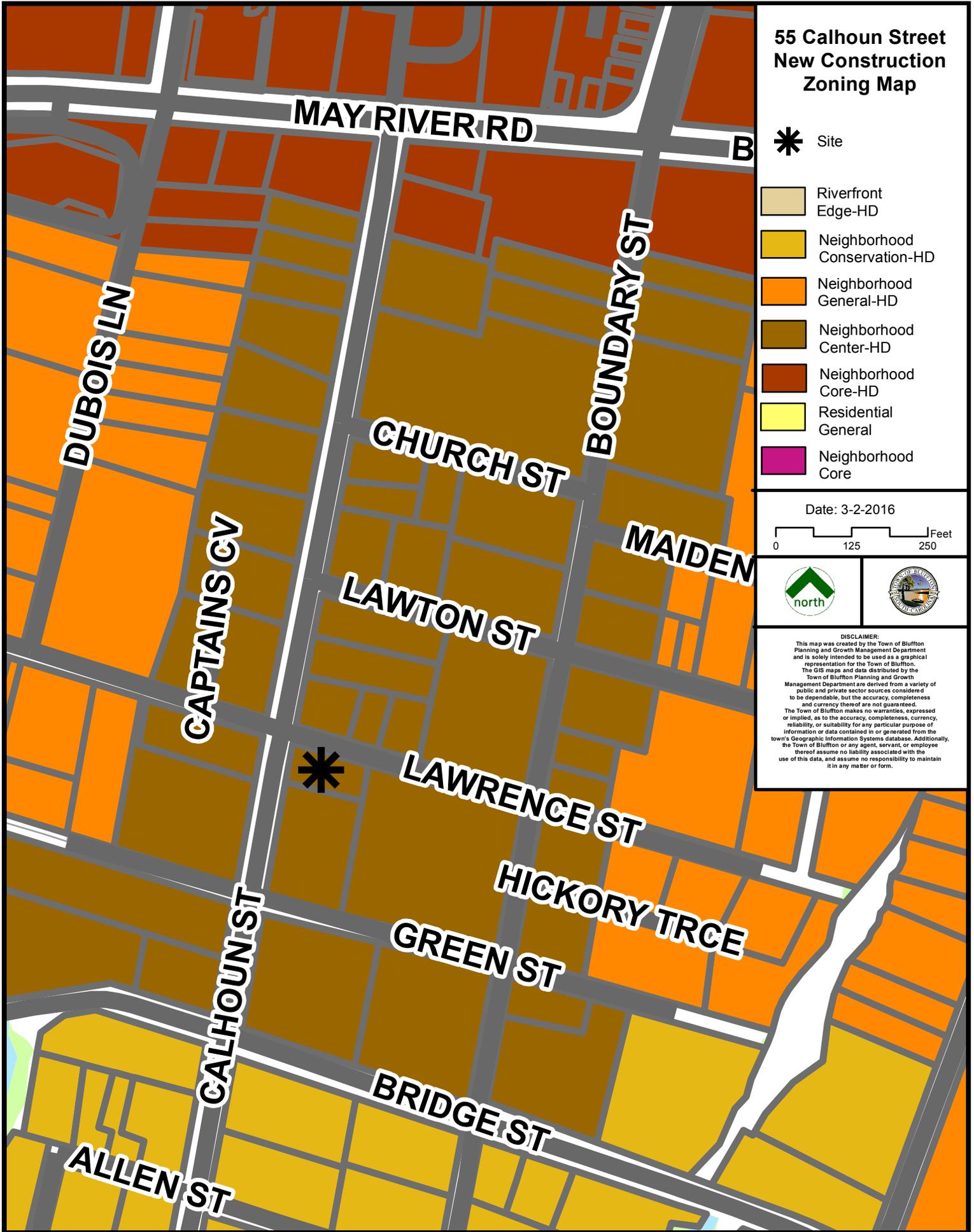
 Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 3-2-2016



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EARL NIGHTINGALE

President

H 2 R 2 Solutions, Inc.



Dear Historic Review Board:

Please accept the following documents as a request to alter the approved hood vent installation at 55 Calhoun Street Project "The Pearl".

We are requesting a change to our hood vent installation from the rear of the building to the north side center building. At the direction of the building code compliance officer we were required to submit an ASHRE load calculation to accompany the hood & vent installation. We retained Howell Chase to do the engineering ASHRE report which indicate we will need an addition 5,000 pounds of air conditioning to accommodate the hood and radiant heat. After reviewing the report we were advised the 24 foot heat vent duct work to extend to vent to the back of the building through the kitchen ceiling to comply with the historical district new hood installation code Number ??, that this extensive interior exposed hood is contributing to the radiant heat in the kitchen. A more efficient system of a direct exhaust straight above the hood would reduce the interior heat and reduce the required HVAC.

We are formally requesting the hood vent be installed on the north side of the building with a decorative chimney surround thus enhancing our internal heat issues and maintaining a historic look and feel to the installation and appearance of the building.

We have submitted all the appropriate drawing and photos to assist you in this decision and appreciate your response and consideration of our request.

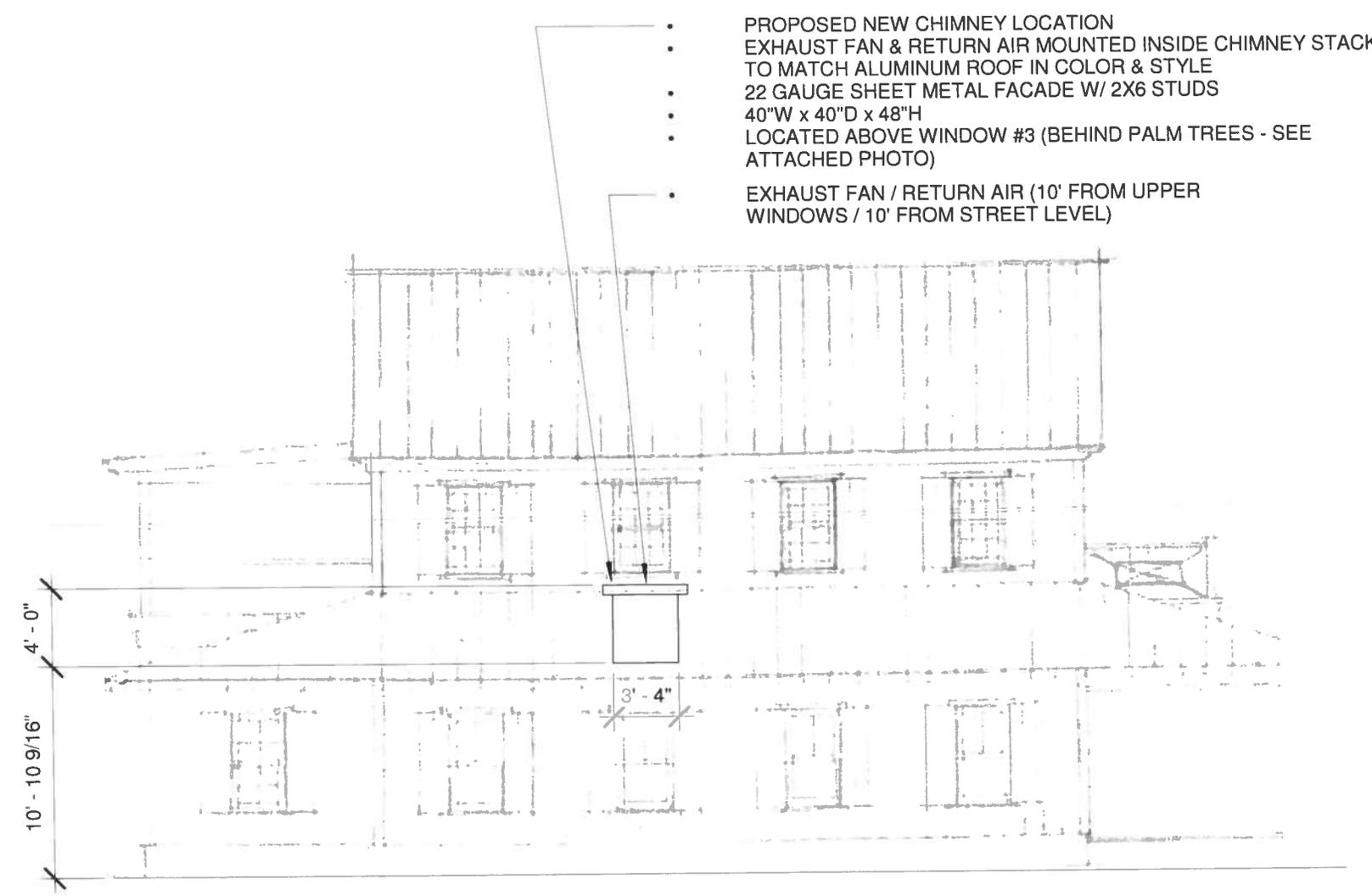
Sincerely,

Earl Nightingale



16 CHINA COCKLE WAY HILTON HEAD ISLAND SOUTH CAROLINA 29926

earlnightingale@hotmail.com 847.815.8204



- PROPOSED NEW CHIMNEY LOCATION
- EXHAUST FAN & RETURN AIR MOUNTED INSIDE CHIMNEY STACK TO MATCH ALUMINUM ROOF IN COLOR & STYLE
- 22 GAUGE SHEET METAL FACADE W/ 2X6 STUDS
- 40"W x 40"D x 48"H
- LOCATED ABOVE WINDOW #3 (BEHIND PALM TREES - SEE ATTACHED PHOTO)
- EXHAUST FAN / RETURN AIR (10' FROM UPPER WINDOWS / 10' FROM STREET LEVEL)

1 EXHAUST / RETURN AIR LOCATION - OPTION 3
1/8" = 1'-0"

<p>EXHST SHIELD - OPT 3</p>		Project number	1501
		Date	12/16/2015
<p>NHG INC. 55 CALHOUN, BLUFFTON</p>		Author	A115
		Checked by	Checker
<p>AUTODESK</p> <p>www.autodesk.com/revit</p>		Scale	1/8" = 1'-0"



Lisa Sulka
Mayor

Ted Huffman
Mayor Pro Tempore

Marc Orlando
Town Manager



Council Members

Fred Hamilton
Karen Lavery
Larry Toomer

Sandra Lunceford
Town Clerk

December 11, 2015

Earl Nightingale
16 China Cockle Way
Hilton Head Island, SC 29926

Re: Site Feature Permit

Mr. Nightingale,

On December 11, 2015, the Town of Bluffton Growth Management Staff **approved** the subject application for the exhaust chimney to be located at 55 Calhoun Street. The proposed chimney was found to be in conformance with the applicable standards set forth in the Town of Bluffton Unified Development Ordinance. This approval is for Historic Site Feature only. All applicable building permits must be obtained before construction begins.

All colors, materials, and dimensions present on the exhaust chimney will appear exactly as they exist on the documents submitted to the Town of Bluffton with the changes made to match existing signage. A copy of the submitted and approved sign is enclosed for your files.

Please contact me at 843.706.4574 if you have questions or concerns.

Sincerely,

Katie Peterson
Planning Assistant
Department of Growth Management



**TOWN OF BLUFFTON
SITE FEATURE HISTORIC DISTRICT APPLICATION**

Privacy Shield
RECEIVED
DEC 03 2015
DEC 07 2015
BY: updated
kg

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4510
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: EARL Nightingale / NHG inc.		Name: NHG Inc. Alex Nightingale	
Phone: 847-815-8204		Phone: 317-652-0326	
Mailing Address: 16 China Cackle way Hilton Head Island, SC 29926		Mailing Address: 16 China Cackle way Hilton Head Island, SC 29926	
E-mail: earlnightingale		E-mail: alexnight3@gmail.com	
Town Business License # (if applicable): 11-15-017656			
Project Information			
Project Name: NHG INC. "The Pearl"			
Project Location: 55 Calhoun street			
Zoning District: Historic Dist		Acreage: .25	
Tax Map Number(s): 610 039 00A 098A 0000			
Project Description: Restaurant Remodel			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) copies of the Site and/or Architectural Plans. <input checked="" type="checkbox"/> 2. Material samples and color swatches for all proposed materials. <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>[Signature]</i>		Date: 12-3-15	
Applicant Signature: <i>[Signature]</i>		Date: 12-3-15	
For Office Use			
Application Number: SFHD-12-15-8521		Date Received: 12/7/15	
Received By: <i>[Signature]</i>		Date Approved:	

Town of Bluffton

DEC 11 2015

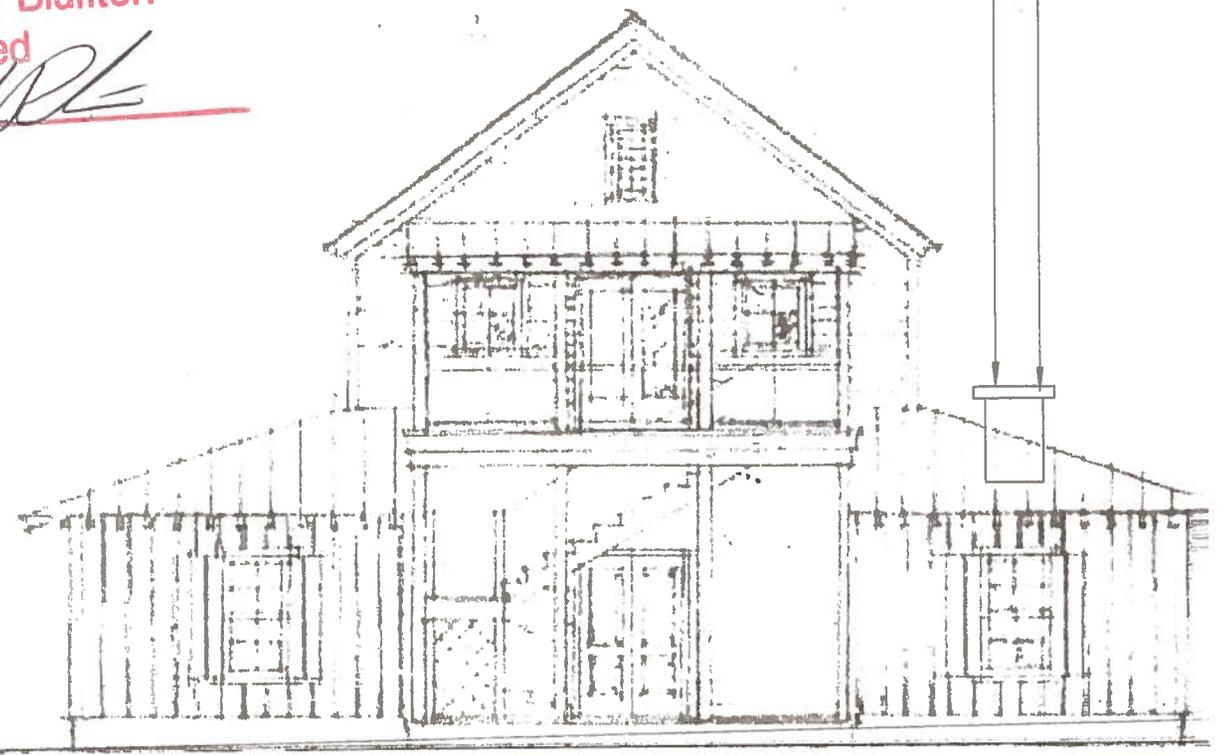
Planning & Growth Mgmt

Town of Bluffton
Approved



CHIMNEY TO BE LOCATED AT BACK OF BUILDING
EXHAUST FAN & RETURN AIR MOUNTED INSIDE 30X30" CHIMNEY
STACK TO MATCH ALUMINUM ROOF IN COLOR & STYLE
22 GAUGE SHEET METAL FACADE W/ 2X6 STUDS

CHIMNEY STACK MEETS 10' REQUIREMENTS FROM
STREET & UPPER WINDOWS)



EXHAUST / RETURN AIR LOCATION -
OPTION 1 - BACK ELEVATION
1/8" = 1'-0"

EXHST SHIELD - OPT 1

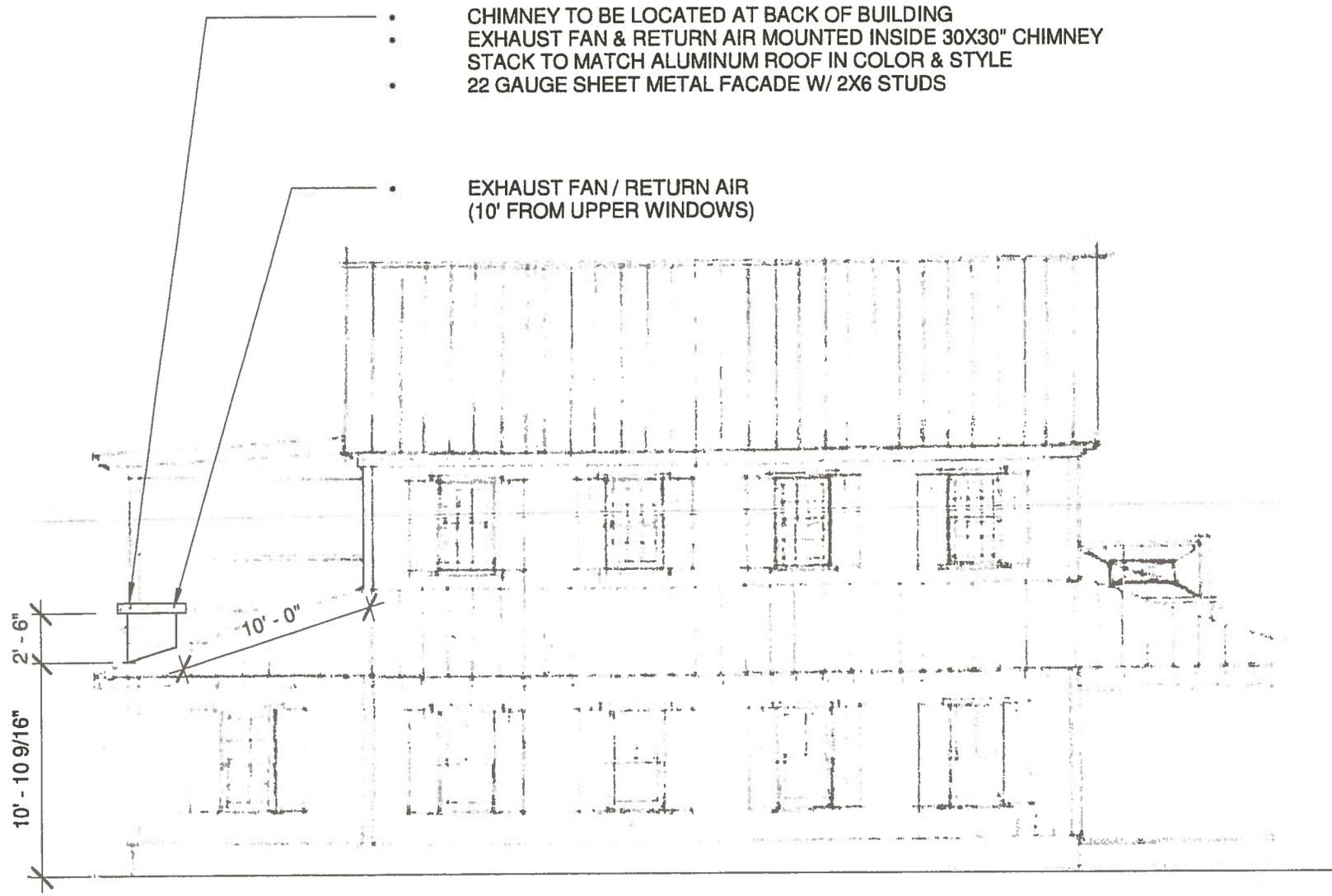
Project number	1501	A111
Date	11/23/2015	
Drawn by	ECW	
Checked by	ECW	Scale 1/8" = 1'-0"

NHG INC.

BLUFFTON

 AUTODESK

www.autodesk.com/revit



① EXHAUST / RETURN AIR LOCATION -
OPTION 1 - SIDE ELEVATION
1/8" = 1'-0"

Town of Bluffton
Approved
Kat

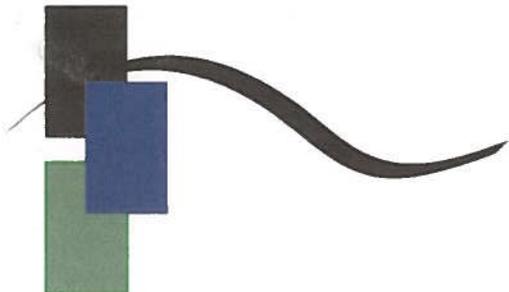
Town of Bluffton
DEC 11 2015
Planning & Growth Mgmt

AUTODESK	NHIG INC.		EXHST SHIELD - OPT 1	
	BLUFFTON		Project number 1501	A110
www.autodesk.com/revit		Date 11/23/2015	Drawn by ECW	Checked by ECW
		Scale 1/8" = 1'-0"		

EARL NIGHTINGALE

President

H 2 R 2 Solutions, Inc.



NARRATIVE DESCRIPTION

The Pearl restaurant wishes to install a hood system for cooking equipment which will require an exhaust fan and return air fan to be located on the north end of the building. The fan and return air location meets the Town of Bluffton building guidelines.

It has been recommended by the Town of Bluffton to install a privacy shield or surround to hide the visual appeal of this equipment from the pedestrians and general public. This application is to install the shield and meet the Town of Bluffton's request.



16 CHINA COCKLE WAY HILTON HEAD ISLAND SOUTH CAROLINA 29926

earlnightingale@hotmail.com 847.815.8204