

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

| | |
|-------------------------|--|
| MEETING DATE: | March 2, 2016 |
| PROJECT: | Lot 20B, (32 Dr. Mellichamp) Calhoun Street Promenade – New Construction |
| APPLICANT: | Vaccaro Architects, LLC. |
| PROJECT MANAGER: | Erin Schumacher, Senior Planner |

APPLICATION REQUEST: The Applicant, Vaccaro Architects, LLC. on behalf of Bill Herbkersman, requests that the Historic Preservation Commission approve the following application:

1. **COFA-2-16-9490.** A Certificate of Appropriateness to construct a mixed use building of approximately 2,075 SF on the property identified as 32 Dr. Mellichamp (Lot 20B in the Calhoun Street Promenade) in the Old Town Historic District and zoned as Neighborhood Core-HD.

INTRODUCTION: The Applicant is proposing the construction of a mixed use building in the Calhoun Street Promenade development in the Old Town Bluffton Historic District. The proposed building, of approximately 2,075 SF, is designed as an Additional Building Type as permitted by the Neighborhood Core-HD district.

The lot was previously approved on the September 1, 2010 development plan for the Calhoun Street Promenade which was most recently amended May 4, 2015.

The building is composed of a gabled 2-1/2 story structure with shed dormers on the third floor. The building is clad in horizontal lap siding on the upper two stories, with stucco on the first floor. The Applicant has proposed a building that reflects and relates to the vernacular characteristic of Bluffton and the other buildings found in the Calhoun Street Promenade by integrating simple architectural volumes housed under a main gable roof and adding simple architectural detailing such as a colonnade and second floor porch, storefront design on the first floor level, and shutters and typical trim details.

This project was presented to the Historic Preservation Review Committee for conceptual review at the February 8, 2016 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is to be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). These criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced."

The Applicant proposes to construct a new structure within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the adjacent historic structures in both scale and architectural form, so the addition to the site and the neighborhood's architectural diorama will both protect and enhance the neighboring historic structures.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed commercial structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of an Additional Building Type as allowed in the Neighborhood Core Historic District per Section 5.15.5.A. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.

As the project is located within the Calhoun Street Promenade development, the site is required to meet the front, rear, and side setbacks prescribed by the Calhoun Street Promenade development plan. Portions of the building envelope and building appurtenances, such as staircases and porches extend over the building pad, so an exempt plat application must be submitted to Town Staff for review and approval. As well, the approved development plan notes a sidewalk from Promenade Street that leads to this building. This sidewalk is required to be installed as part of this application.

- b. *Finding.* Town Staff finds that if the condition noted below is met, the design of the proposed structure will be in conformance with the other applicable provisions provided in Article 5:

- 1) Per Section 5.7.6.A.1. Pedestrian walkways away from roadway frontages. The UDO notes that the Town may require dedicated and improved pedestrian walkways in locations away from roadways frontages where necessary to provide safe and convenient pedestrian access. The development plan notes a pedestrian walkway from Promenade Street that leads to this building, but it is not noted in these plans. This sidewalk must be provided to allow pedestrian access to the building.
- 2) Per Section 5.15.6.E.3. Colonnades/Arcades. The UDO states that the minimum depth of a colonnade is 8' from the build to line to the inside column face. The proposed colonnade is shown as 5' on the floor plans and elevations, but as 8' on the building section noted as detail 2 on sheet A301. The drawings must be revised to meet the minimum dimensional requirements for a colonnade to meet the requirements of the UDO.
- 3) Per Section 5.15.6.G. Building Walls. The UDO permits the use of stucco over concrete masonry units or reinforced concrete. The elevations and project analysis note the use of stucco on the first floor, but the building section noted as detail 2 on sheet A301 notes the construction of the first floor as typical wood stud framing with hardi-plank siding. This information is inconsistent and the wall detail must be updated to correlate with the elevations and be comprised of a permitted construction method for the use of stucco as a finish material to meet the requirements of the UDO.

- 4) Per Section 5.15.6.H.3.d. Columns, Arches, Piers, Railings, Balustrades. The UDO allows balusters to have a minimum of 4" o.c. to a maximum spacing of 5" o.c. Not enough information was provided in the materials supplies to ensure that the baluster spacing meets the requirements of the UDO. A railing detail, noting the baluster spacing must be submitted for review.
 - 5) Per Section 5.15.6.J. Roofs and Gutters. The UDO allows metal roofing, 5-V crimp or standing seam, and also allows for asphalt shingles. From the materials provided it is unclear what roofing material is proposed. The project analysis says metal and the drawing depict metal, but the building section notes asphalt shingle. The drawings/project information must be revised to clearly depict an allowable roofing material.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A landscape plan must be submitted for review. Foundation plantings eight (8) feet in width along the building elevation, and street trees are required to meet the requirements of the UDO.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the criteria described in the previous sections and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 3.12 of the UDO, an exempt plat application must be submitted to Town Staff for review and approval to accommodate the building envelope and appurtenances that extend beyond the building pad.
2. Per the approved Calhoun Street Promenade development plan and Section 5.7.6.A.1., a sidewalk must be installed to provide access to the building from Promenade Street.
3. Per Section 5.15.6.E.3. of the UDO, the drawings (elevations/floor plans) must be revised to meet the minimum dimensional requirements for a colonnade.
4. Per Section 5.15.6.G. of the UDO, the building section noted as detail 2 on sheet A301 must be updated to correlate with the elevations and be comprised of a permitted construction method (CMU or reinforced concrete) for the use of stucco as a finish material.
5. Per Section 5.15.6.J. of the UDO, the architectural drawings/project information must be revised to clearly depict an allowable roofing material.
6. Per Section 5.15.6.H.3.d. of the UDO, an architectural detail depicting the railing with the baluster spacing must be provided for review.
7. Per the Applications Manual, a landscape plan noting foundation plantings and street trees must be submitted for review.

ATTACHMENTS:

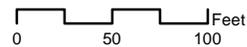
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan and Elevations
5. HPRC Comments
6. Approval Letter



32 Dr. Mellichamp Location Map

 Site

Date: 3-2-2016



DISCLAIMER:
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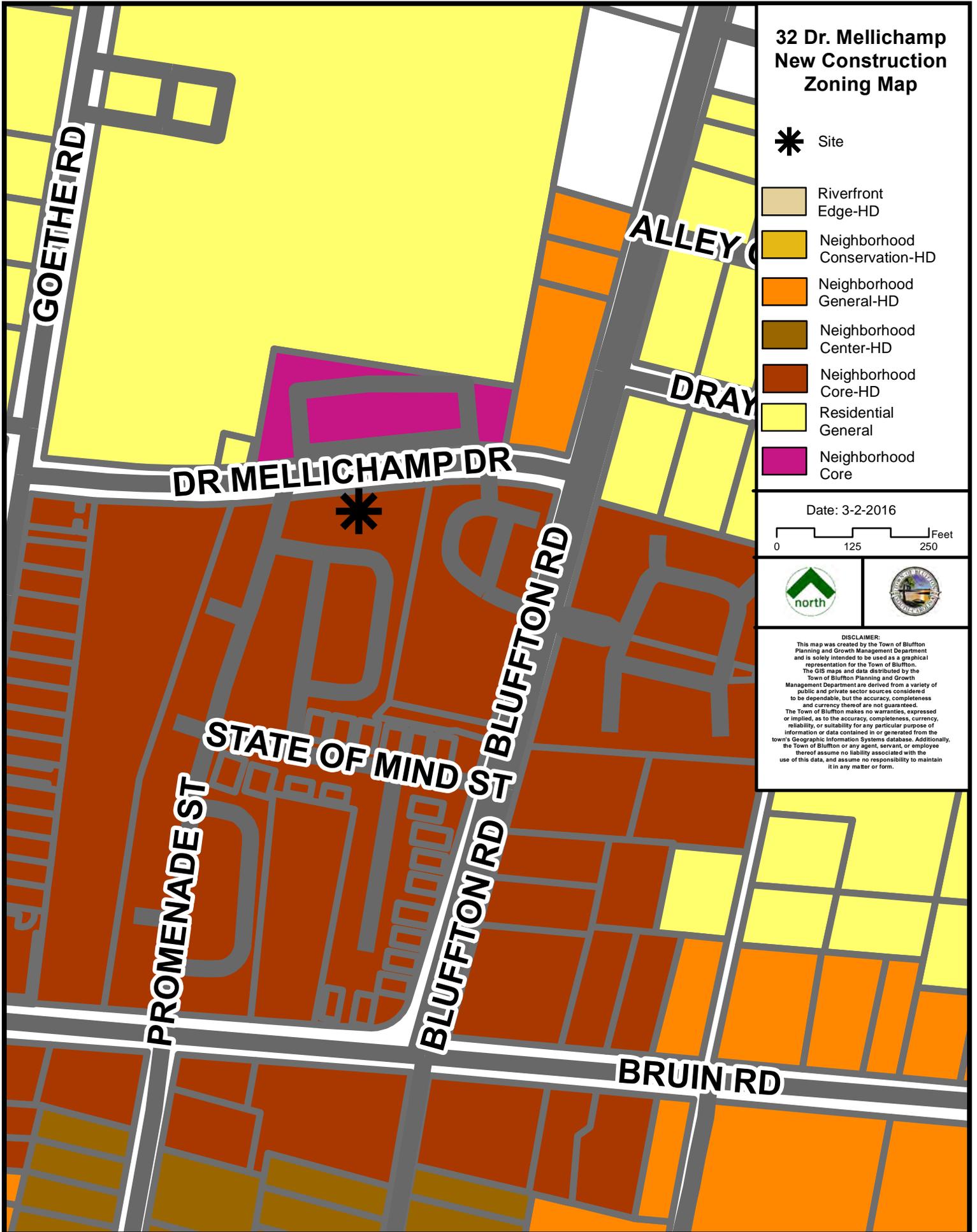


Dr. Mellichamp

Promenade Street

State of Mind Street

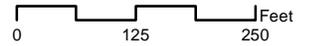
Bluffton Road



32 Dr. Mellichamp New Construction Zoning Map

-  Site
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 3-2-2016



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2/17/2016

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Michael Vaccaro
Ludtke & Vaccaro Architects, LLC
21 Off Shore, Hilton Head Island, SC 29928

Members of the Bluffton Historic Preservation Board
20 Bridge Street, Bluffton, SC 29910

RE: Project Narrative

Dear HPC Members,

I am proud to submit for review the office/ apartment building at lot 20B in the Promenade. I am submitting to gain a Certificate of Appropriateness.

The building has been designed to comply with the standards as described in Article 5 of the Unified Development Ordinance (UDO), and we have followed the application and submittal procedures as described in Article 3.

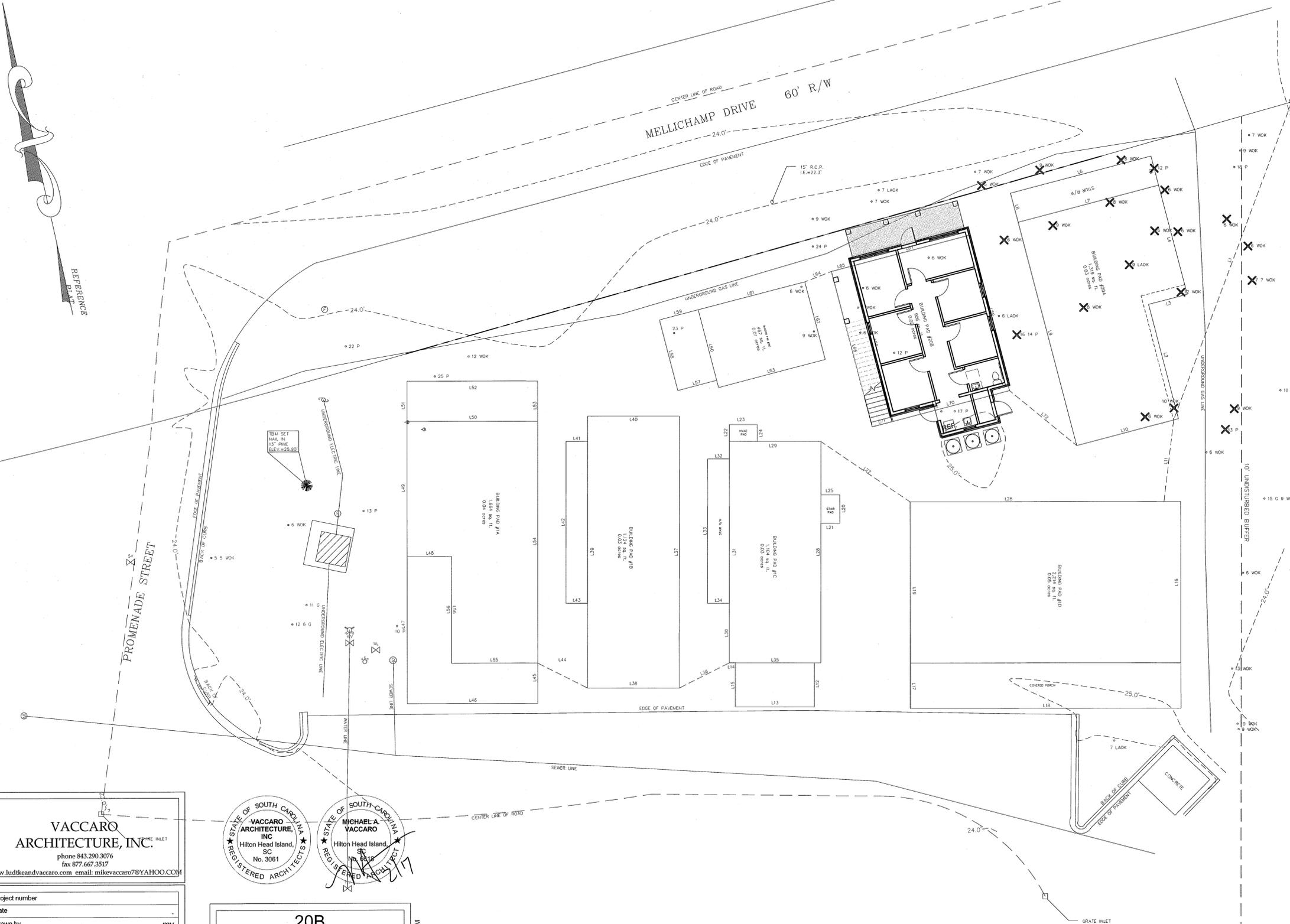
In designing this building I have been mindful of the UDO as well as the needs of my clients. The 2 1/2- Story building's exterior is derived from the floor plan needs. The exterior is designed to fit in with the existing commercial spaces within the Promenade development.

I appreciate your review of this building and am excited to see it underway.

Sincerely,



Michael Vaccaro
Managing Partner
Ludtke & Vaccaro Architects, LLC



LINE TABLE

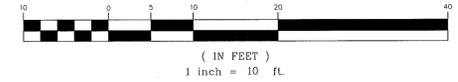
| LINE | LENGTH | BEARING |
|------|--------|----------------|
| L1 | 67.26 | N33° 01' 41" E |
| L2 | 23.49 | S02° 08' 07" E |
| L3 | 8.00 | S87° 51' 53" W |
| L4 | 22.49 | S02° 08' 07" E |
| L5 | 6.00 | S02° 08' 07" E |
| L6 | 28.98 | N87° 51' 53" W |
| L7 | 28.98 | N87° 51' 53" W |
| L8 | 6.00 | N02° 08' 07" W |
| L9 | 45.97 | N02° 08' 07" W |
| L10 | 20.99 | S87° 51' 53" W |
| L11 | 18.43 | S19° 19' 58" W |
| L12 | 6.72 | N02° 34' 03" E |
| L13 | 15.75 | S77° 25' 57" E |
| L14 | 4.33 | N77° 20' 53" W |
| L15 | 8.75 | S12° 34' 03" W |
| L16 | 32.00 | S12° 34' 03" W |
| L17 | 9.00 | S12° 34' 03" W |
| L18 | 24.00 | S77° 25' 57" E |
| L19 | 32.00 | N12° 34' 03" E |
| L20 | 5.83 | S12° 34' 03" W |
| L21 | 3.80 | N77° 25' 57" W |
| L22 | 3.33 | N12° 34' 03" E |
| L23 | 5.24 | S77° 25' 57" E |
| L24 | 3.33 | S12° 34' 03" W |
| L25 | 3.80 | S77° 25' 57" E |
| L26 | 54.00 | S77° 25' 57" E |
| L27 | 21.46 | N43° 24' 11" W |
| L28 | 43.96 | S12° 39' 07" W |
| L29 | 18.24 | S77° 20' 53" E |
| L30 | 11.79 | S12° 39' 07" W |
| L31 | 43.96 | N12° 39' 07" E |
| L32 | 4.33 | S77° 20' 53" E |
| L33 | 28.71 | N12° 39' 07" E |
| L34 | 4.33 | N77° 20' 53" W |
| L35 | 18.24 | N77° 20' 53" W |
| L36 | 11.18 | S16° 04' 28" W |
| L37 | 53.98 | S12° 39' 07" W |
| L38 | 18.24 | N77° 20' 53" W |
| L39 | 53.98 | N12° 39' 07" E |
| L40 | 18.24 | S77° 20' 53" E |
| L41 | 4.33 | N77° 20' 53" W |
| L42 | 32.19 | S12° 39' 07" W |
| L43 | 4.33 | S77° 20' 53" E |
| L44 | 11.10 | N50° 48' 48" W |
| L45 | 8.00 | S12° 34' 01" W |
| L46 | 28.00 | N77° 25' 59" W |
| L47 | 29.16 | N12° 34' 01" E |
| L48 | 6.81 | N77° 25' 59" W |
| L49 | 26.85 | N12° 34' 01" E |
| L50 | 26.00 | S77° 25' 59" E |
| L51 | 6.00 | N12° 34' 01" E |
| L52 | 28.00 | S77° 25' 59" E |
| L53 | 8.00 | S12° 34' 01" W |
| L54 | 48.00 | S12° 34' 01" W |
| L55 | 17.20 | N77° 25' 59" W |
| L56 | 21.16 | N12° 34' 01" E |
| L57 | 6.00 | N87° 51' 53" W |
| L58 | 14.49 | S02° 08' 07" E |
| L59 | 8.00 | N87° 51' 53" W |
| L60 | 15.99 | N02° 08' 07" W |
| L61 | 21.99 | N87° 51' 53" W |
| L62 | 15.99 | S02° 08' 07" E |
| L63 | 21.99 | S87° 51' 53" W |
| L64 | 5.70 | S81° 09' 55" W |
| L65 | 4.33 | S87° 51' 53" W |
| L66 | 31.98 | S02° 08' 07" E |
| L67 | 25.99 | N87° 51' 53" W |
| L68 | 31.98 | N02° 08' 07" W |
| L69 | 31.98 | S02° 08' 07" E |
| L70 | 25.99 | S87° 51' 53" W |
| L71 | 4.33 | N87° 51' 53" W |
| L72 | 17.32 | N38° 14' 00" W |

LOCATION MAP NOT TO SCALE

- LEGEND
- CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - ◊ IFF - IRON PIN FOUND
 - ⊕ - WATER SHUT OFF
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊖ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊗ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⊠ - XFMR - TRANSFORMER
 - ML - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - ⊕ - FIRE HYDRANT
 - - GRATE INLET
 - ⊕ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⊕ - GUY LINE ANCHOR
 - ⊕ - LIGHT POLE
 - ⊕ - STORM DRAIN MANHOLE
 - ⊕ - FIBEROPTICS MANHOLE

- TREE LEGEND
- WHIOK - WHITE OAK
 - LAKK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

GRAPHIC SCALE



VACCARO ARCHITECTURE, INC.
 phone 843.290.3076
 fax 877.667.3517
 www.luttkandtandvaccaro.com email: mikevaccaro7@YAHOO.COM

Project number _____
 Date _____
 Drawn by **mv**
 Checked by **mv**

A001

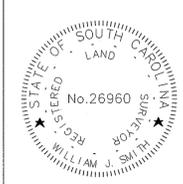
Scale 1" = 10'-0"

20B
 Promenade Pad 20B
 SITE

2/17/2016 2:18:06 PM

NOTE: REVISED 7/16/2014 TO SHOW TO ADD 10' TO BLDG PAD 1B
 NOTE: REVISED 5/19/2014 TO SHOW THE LOCATIONS OF THE PROPOSED NEW BUILDINGS.
 NOTE: REVISED 11/12/2015 TO COMBINE BUILDING 1D & 1E, CHANGE BUILDINGS 1C & 20A.

T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@hargray.com
 Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

MIKE VACCARO

A TREE & TOPOGRAPHIC SURVEY OF BUILDING #1 PROMENADE STREET, A PORTION OF CALHOUN STREET PROMENADE, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 614, MAP 39A, PARCEL 341

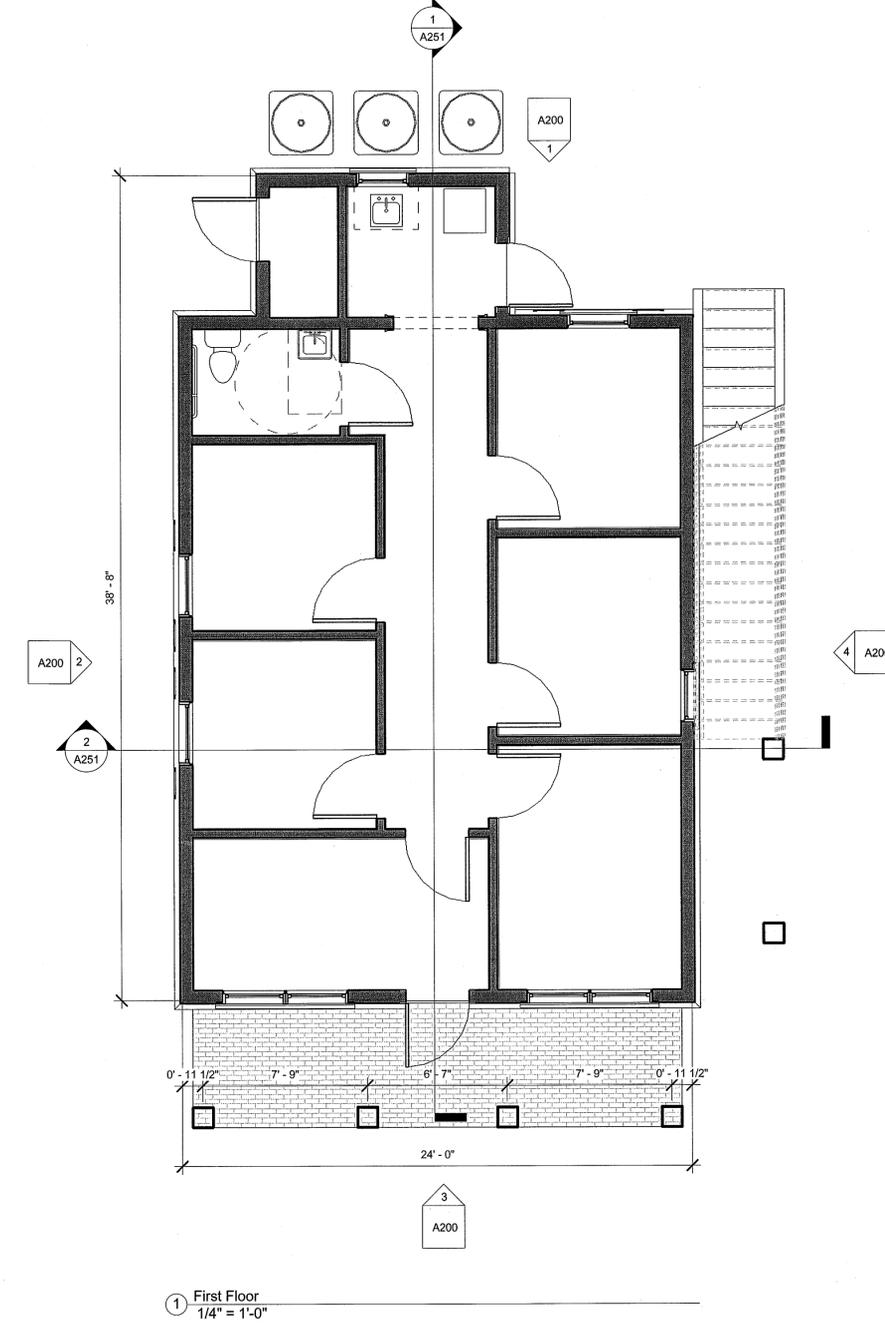
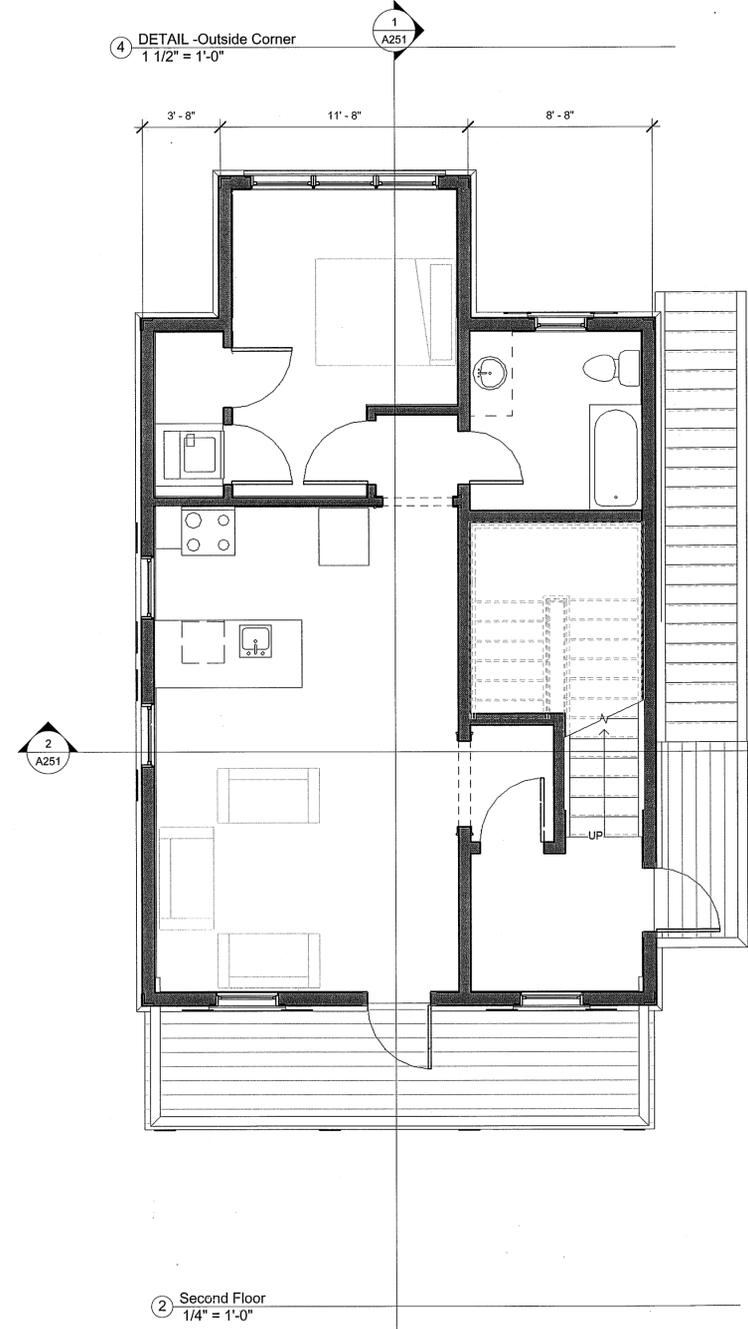
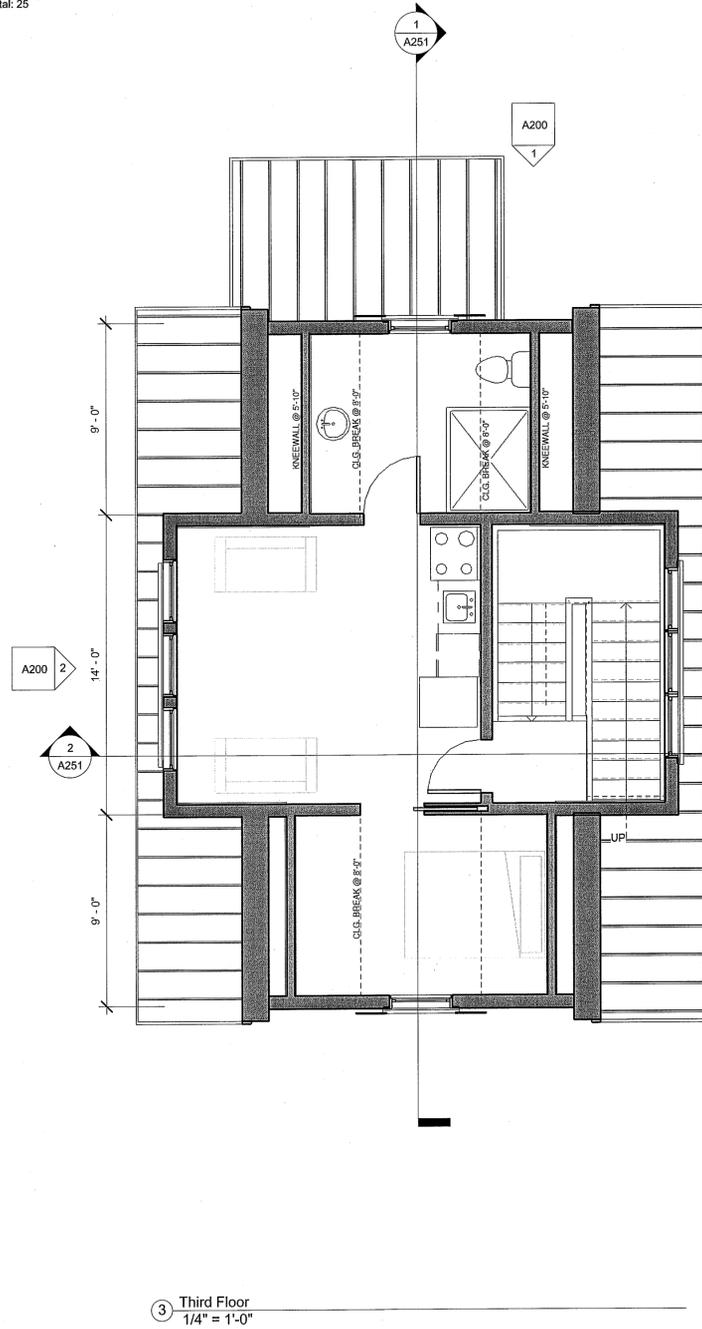
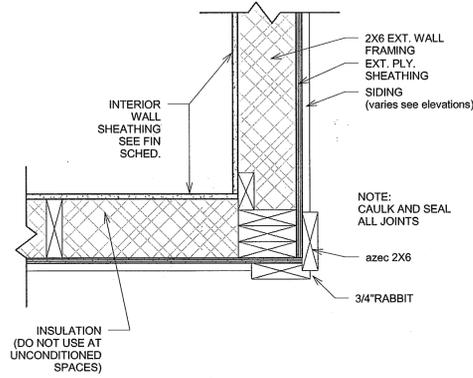
Notes:
 1. According To FEMA Flood Insurance Rate Map # 450251 0001A This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A FL NGVD29
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 Reference Plat(s):
 PLAT BOOK 130 AT PAGE 107

DRAWN BY: **B.M.S**
 APPROVED BY: **W.J.S**
 PARTY CHIEF: **W.J.S**
 DATE: **DECEMBER 23, 2013**

| Window Schedule | | | | |
|-----------------|-----------|-------------|---------------|-----------|
| Mark | Type Mark | Head Height | Rough Opening | |
| | | | Width | Height |
| W245 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W257 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W258 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W282 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W286 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W287 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W293 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W294 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W295 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W297 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W298 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W309 | E | 8'-0" | 2'-5 3/8" | 4'-0 3/8" |
| W310 | I | 8'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W311 | E | 8'-0" | 2'-5 3/8" | 4'-0 3/8" |
| W314 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W316 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W317 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W318 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W319 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W320 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W321 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W322 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W323 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W325 | I | 7'-0" | 2'-11 3/8" | 6'-0 3/8" |
| W326 | E | 7'-0" | 2'-5 3/8" | 4'-0 3/8" |

Grand total: 25

| Door Schedule | | | | | |
|---------------|-----------|--------------------------|--------|-------|----------|
| Door Number | Door Type | Door Size | Finish | | |
| | | | Door | Frame | Comments |
| D226 | XX | 36" x 80" | | | |
| D227 | XX | 36" x 80" | | | |
| D229 | XX | 36" x 80" | | | |
| D231 | AAA | 3'-0" x 6'-8" half light | | | |
| D237 | XX | 36" x 80" | | | |
| D243 | EE | 3'-0" x 8'-0" half light | | | |
| D249 | AAA | 3'-0" x 6'-8" half light | | | |
| D252 | WW | 30" x 80" | | | |
| D263 | EE | 3'-0" x 8'-0" half light | | | |
| D264 | XX | 36" x 80" | | | |
| D265 | XX | 36" x 80" | | | |
| D266 | XX | 36" x 80" | | | |
| D268 | XX | 36" x 80" | | | |
| D270 | XX | 36" x 80" | | | |
| D271 | WW | 30" x 80" | | | |
| D272 | QQQQ | 3'-0" x 6'-8" | | | |
| D273 | RRR | 32" x 80" | | | |
| D276 | XX | 36" x 80" | | | |
| D277 | YY | 34" x 80" | | | |
| D278 | YY | 34" x 80" | | | |



NOTES:

| Conditioned Floor Areas | | | |
|-------------------------|--------------|----------|--|
| Area | Level | Comments | |
| 846 SF | First Floor | heated | |
| 846 SF | Second Floor | heated | |
| 448 SF | Third Floor | heated | |
| 2139 SF | | | |

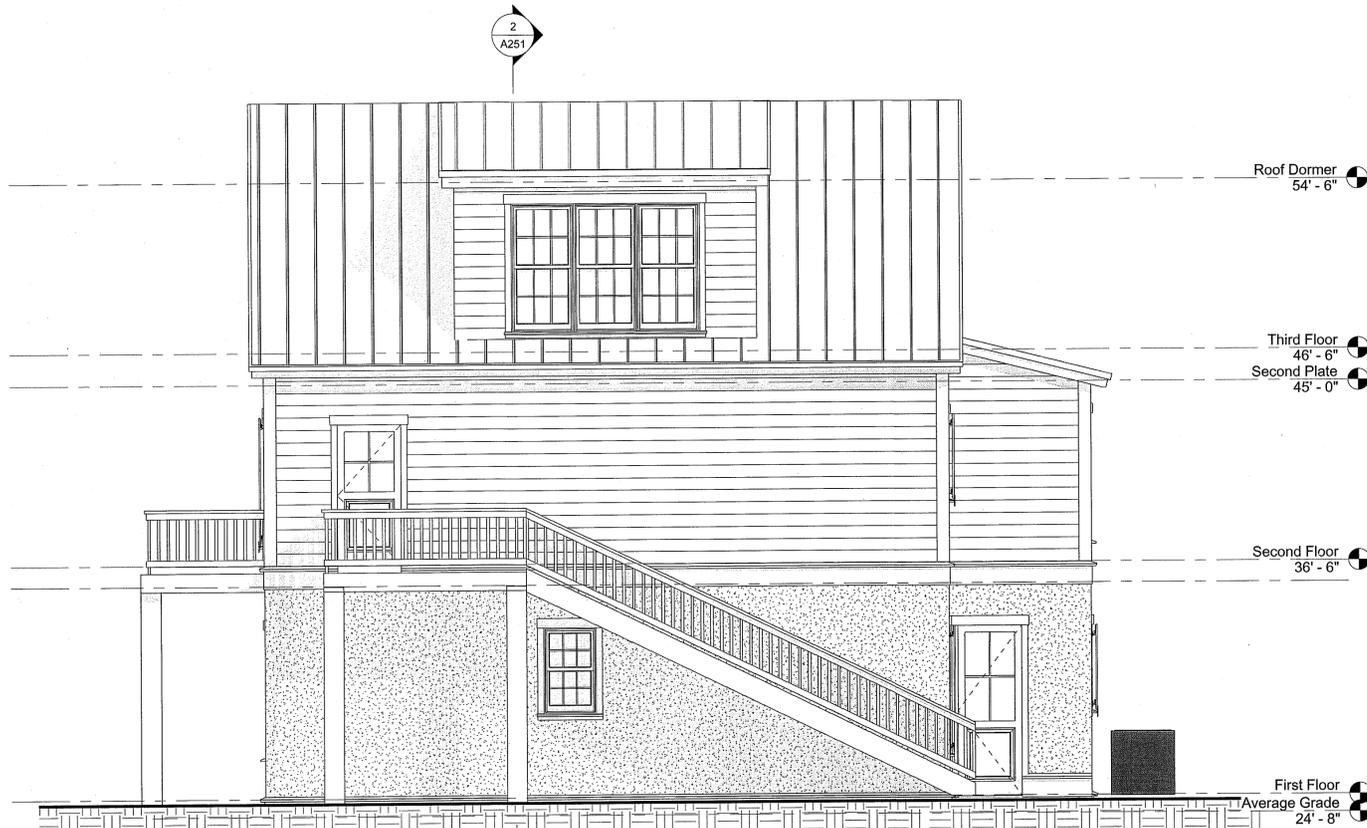
VACCARO ARCHITECTURE, INC.

phone 843.290.3076
fax 877.667.3517
www.VACCAROArchitecture.com
email: mikevaccaro@yahoo.com



| No. | Description | Date |
|-----|-------------|------|
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|-------------------|--|----------------|
| 20B | | Project number |
| Promenade Pad 20B | | Date |
| Plans | | Drawn by |
| | | Author |
| | | Checked by |
| | | Checker |
| | | A101 |
| | | Scale |
| | | As indicated |



Roof Dormer 54' - 6"

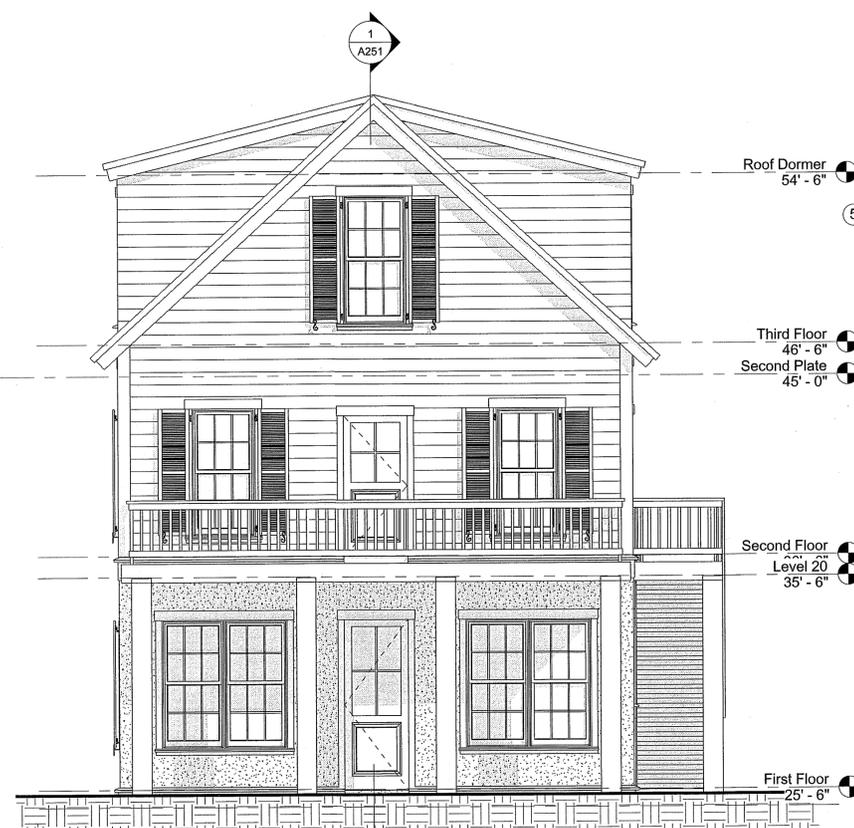
Third Floor 46' - 6"

Second Plate 45' - 0"

Second Floor 36' - 6"

First Floor Average Grade 24' - 8"

4 West 1/4" = 1'-0"



Roof Dormer 54' - 6"

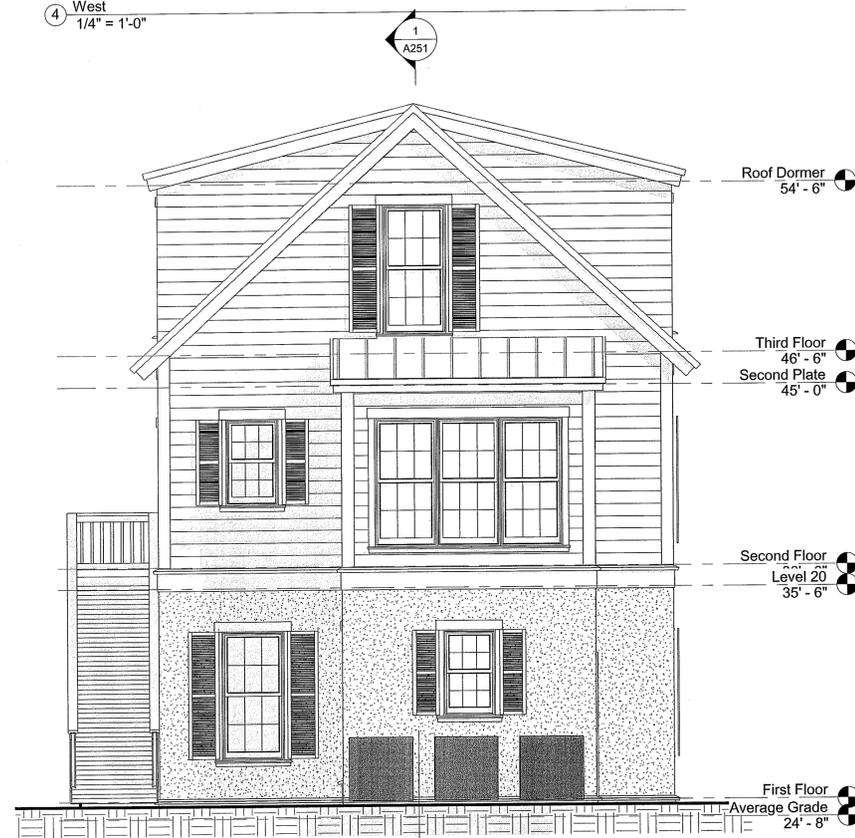
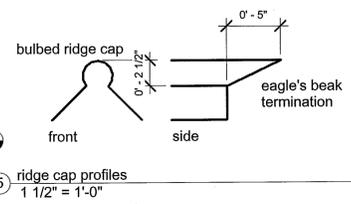
Third Floor 46' - 6"

Second Plate 45' - 0"

Second Floor Level 20 35' - 6"

First Floor 25' - 6"

3 North - Front Streetside 1/4" = 1'-0"



Roof Dormer 54' - 6"

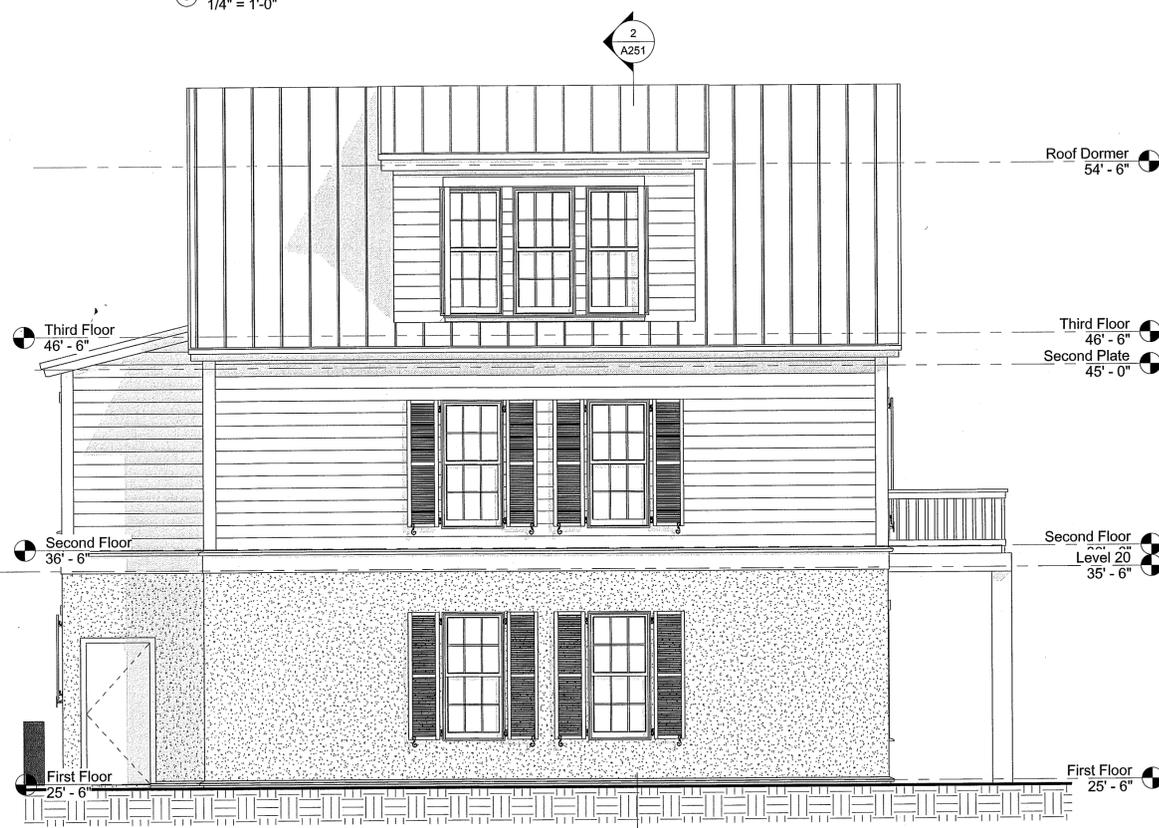
Third Floor 46' - 6"

Second Plate 45' - 0"

Second Floor Level 20 35' - 6"

First Floor Average Grade 24' - 8"

1 South - Rear 1/4" = 1'-0"



Roof Dormer 54' - 6"

Third Floor 46' - 6"

Second Plate 45' - 0"

Second Floor Level 20 35' - 6"

First Floor 25' - 6"

2 East 1/4" = 1'-0"

NOTES:

VACCARO ARCHITECTURE, INC.

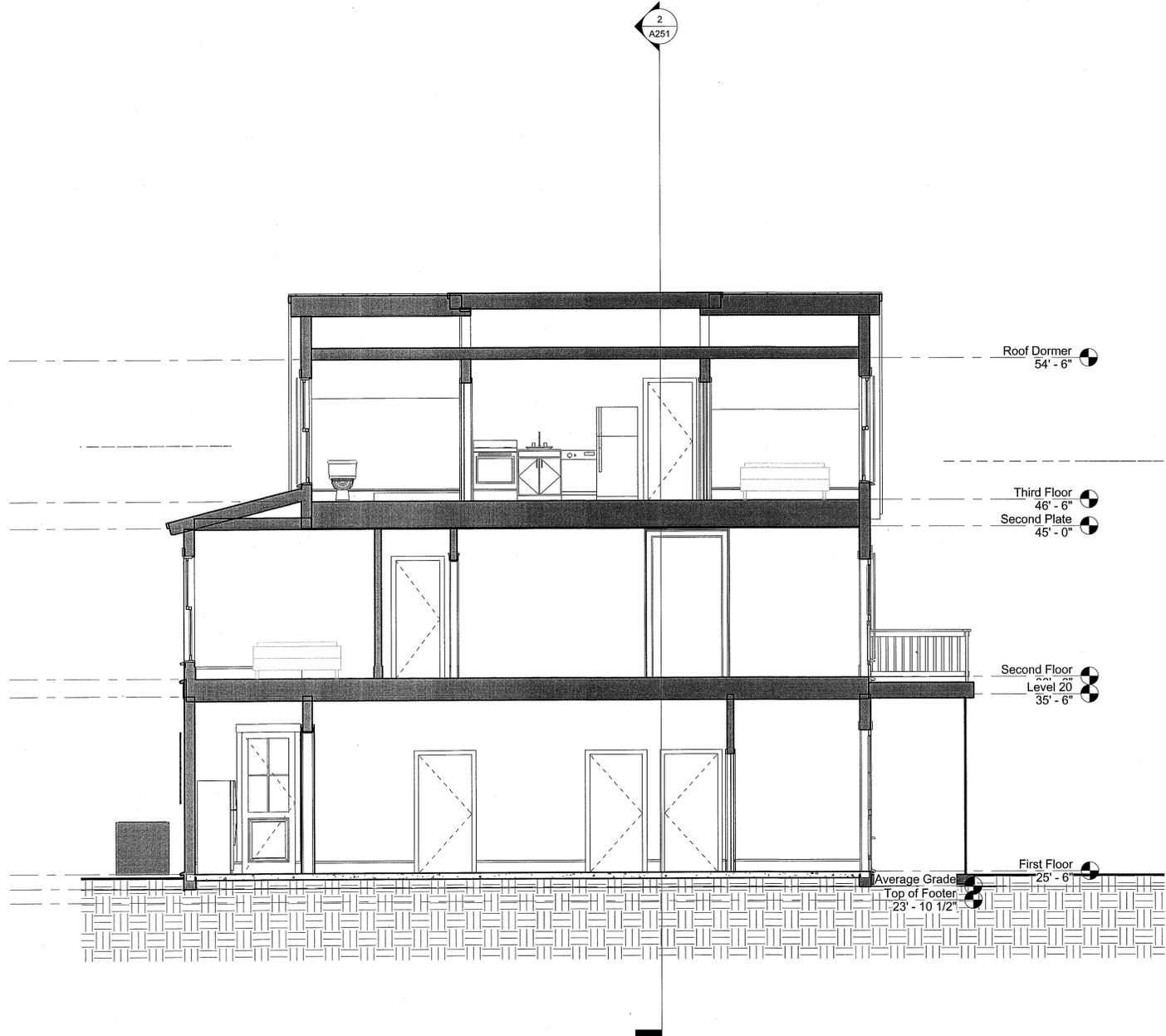
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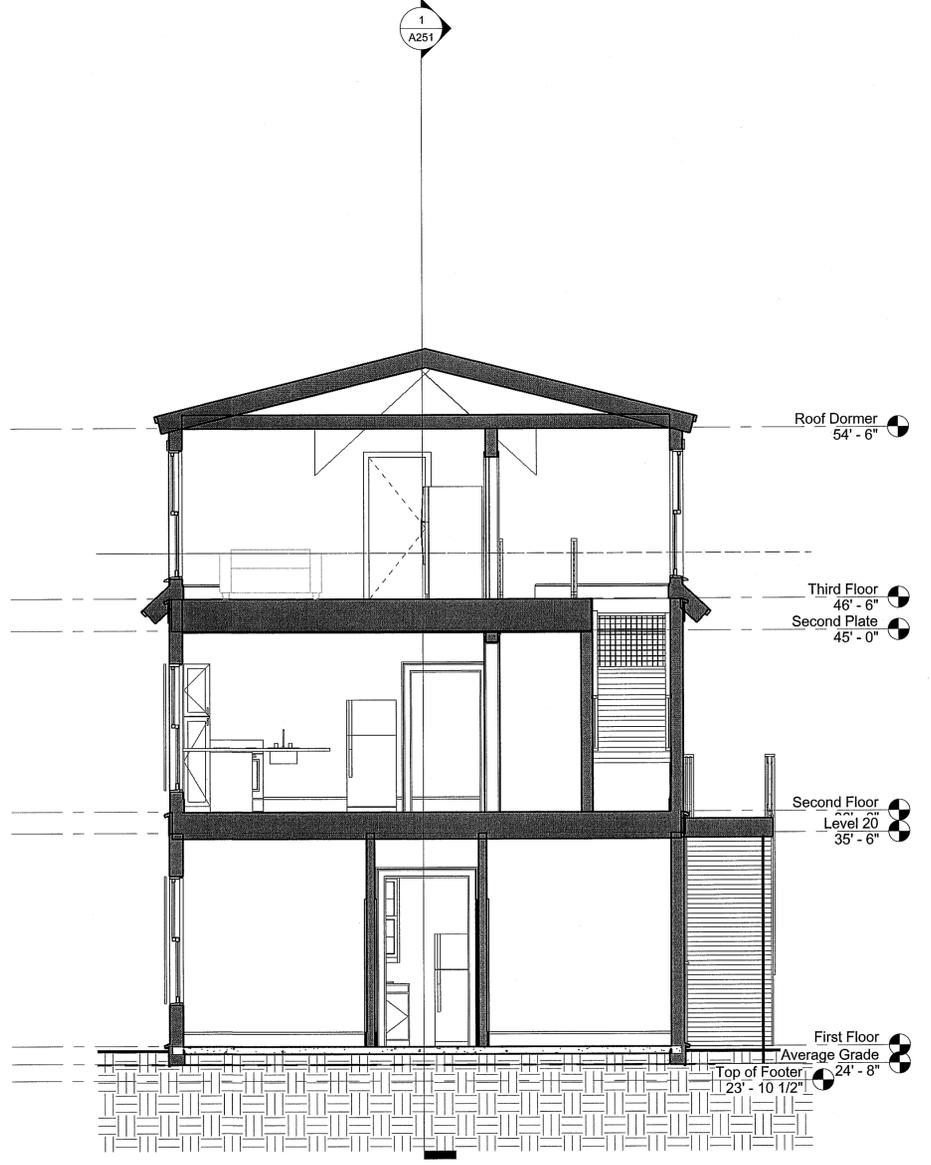
| No. | Description | Date |
|-----|-------------|------|
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20B
Promenade Pad 20B
Elevations

| | |
|----------------|-------------------|
| Project number | |
| Date | |
| Drawn by | Author |
| Checked by | Checker |
| Scale | A200 As indicated |



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

NOTES:

VACCARO ARCHITECTURE, INC.

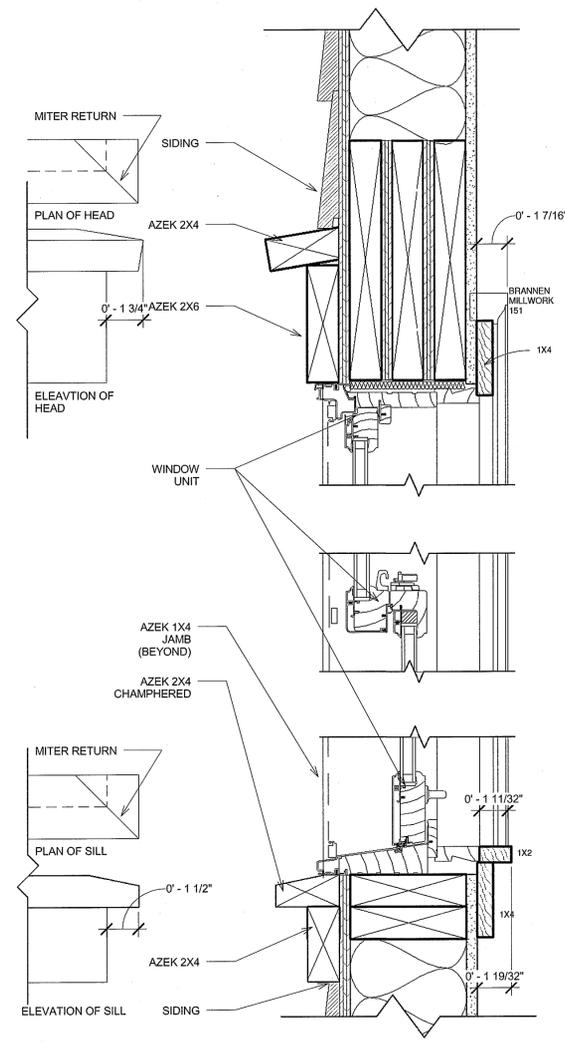
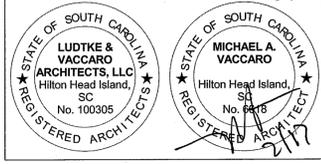
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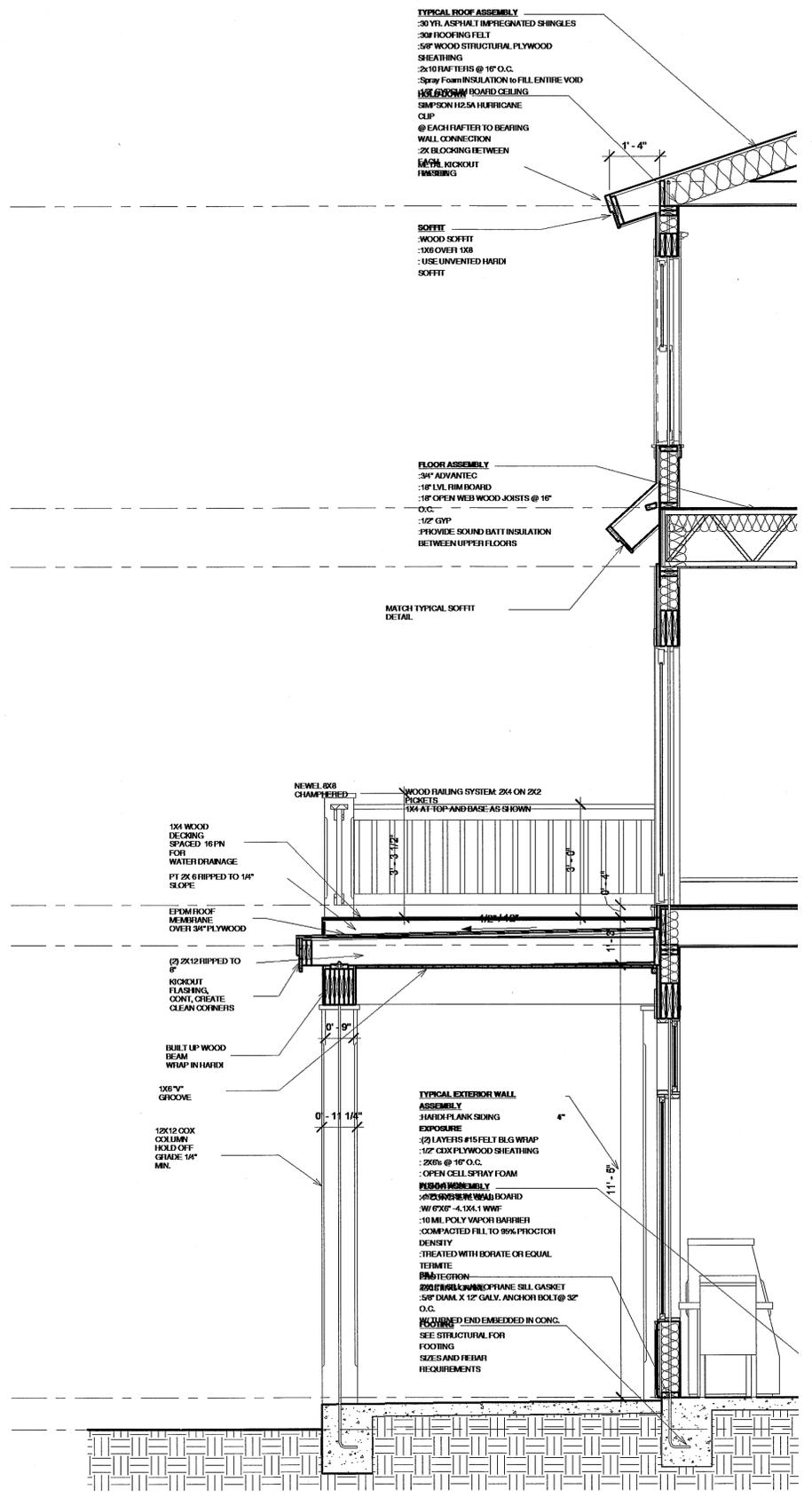
| No. | Description | Date |
|-----|-------------|------|
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20B
Promenade Pad 20B
Sections

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|----------------|--------------|
| Project number | |
| Date | |
| Drawn by | Author |
| Checked by | Checker |
| | A251 |
| Scale | 1/4" = 1'-0" |



1 Typical Window Section
3" = 1'-0"



2 Typ. Section
1/2" = 1'-0"

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |

20B
Promenade Pad 20B
Sections

Project number _____
Date _____
Drawn by _____ Author
Checked by _____ Checker

A301

Scale _____ As indicated



PLAN REVIEW COMMENTS FOR COFA-02-16-009490

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 CALHOUN STREET PROMENADE

Plan Type: Historic District **Apply Date:** 02/01/2016
Plan Status: Active **Plan Address:** 32 Dr Mellichamp
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R614 039 00A 0365 0000
Plan Description: The Applicant is requesting a Certificate of Appropriateness for a 2000 SF mixed use building.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the February 8th meeting.

Staff Review (HD)

| Submission #: | Received: | Completed: | | |
|--|----------------------|-----------------|--------------------------|--|
| 1 | 02/01/2016 | 02/05/2016 | | |
| <i>Reviewing Dept.</i> | <i>Complete Date</i> | <i>Reviewer</i> | <i>Status</i> | |
| Addressing Review | 02/03/2016 | Theresa Thorsen | Denied | |
| Comments: | | | | |
| 1. Resubmit current drawings. The plans submitted were from 2013. | | | | |
| Engineering Department Review - HD | 02/05/2016 | Karen Jarrett | Approved with Conditions | |
| Comments: | | | | |
| 1. Provide a site plan which shows location of ADA accessible walks and parking. | | | | |
| Growth Management Dept Review (HD) | 02/05/2016 | Erin Schumacher | Approved with Conditions | |
| Comments: | | | | |
| 1. As the project moves toward Final submittal, provide proposed materials for the items listed on the project analysis and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. (Applications Manual) | | | | |
| 2. The UDO requires that windows or vents shall occupy the majority of the dormer's surface area. The proposed 3rd floor dormer does not meet this requirement and additional windows would need to be added to satisfy the prerequisite. (UDO Section 5.15.6.E.7) | | | | |
| 3. Also note, that a Town of Bluffton Tree Removal Permit is required for any tree 8" (DBH) or greater or any American holly, dogwood, redbud, southern magnolia, or red buckeye 4" (DBH) or greater and proposed for removal. (UDO Section 3.22.2.A.) | | | | |
| 4. Provide an updated plat to include the areas of the building that encroach in the adjacent area (stairwell) within the property boundaries. (Applications Manual) | | | | |
| 5. A letter of approval from the Calhoun Street Promenade Architectural Standards Committee must be provided stating that the plans have been reviewed and approved. (Applications Manual) | | | | |
| HPRC Review | 02/05/2016 | Erin Schumacher | Approved with Conditions | |
| Comments: | | | | |

1. As the project moves toward final application, additional architectural details will be required. These include a typical window detail, railings and balusters, and a section through the eave showing the material configuration. (Applications Manual)
2. The window trim must consist of a header and sill configuration. All windows need to have the exterior casing added to meet this requirement. (UDO Section 5.15.6.1.)
3. The windows at the ground floor level could have a similar head configuration as that of the door for design consistency. (UDO Section 5.15.6.1.)
3. Recommendation: Consider adding shutters to the structure. Consider adding an additional trim (3") and rake mould to the fascia. Clarify the trim on the gable ends. It appears there looks to be a trim band, but it is unclear if that is the frieze board turning the corner form under the eave or something different.

Stormwater Review

02/05/2016

William Baugher

Approved with Conditions

Comments:

1. The Town will require as a minimum, implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual.

Beaufort Jasper Water and Sewer
Review

02/05/2016

Dick Deuel

Approved

Comments:

1. Comments for this parcel have not yet been provided.

Plan Review Case Notes:

2/17/14

The Building at 20B
is approved.

BILL HERBERSMAN

A stylized handwritten signature consisting of a large, looped 'B' followed by a vertical line and a horizontal stroke, resembling 'BH'.