

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	February 3, 2016
PROJECT:	47 Stock Farm Road – New Construction: Single-Family Residential and Carriage House
APPLICANT:	Robert Policy
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Robert Policy, requests that the Historic Preservation Commission approve the following application:

1. **COFA-12-15-9432.** A Certificate of Appropriateness to allow for the construction of a new single family residence of approximately 2,870 SF and a carriage house of approximately 1,035 SF, located on the property identified as 47 Stock Farm Road (Lot 10A) in the Old Town Historic District and zoned as Neighborhood Conservation-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence and carriage house located in the Old Town Bluffton Historic District. The property is currently undeveloped, but the lot has a significant amount of existing tree canopy. The proposed primary structure, of approximately 2,870 SF, is very similar to the Vernacular Building Type, but does not fully meet the maximum allowable square footages. As a result the building falls within the Additional Building classification and the accessory building as a Carriage House in accordance to the allowable building types for the Neighborhood Conservation-HD zoning district.

The structures meet the lot standard requirements of the Additional Building Type and the Carriage House Building Type. The main house is designed as a side gabled Craftsman bungalow. The building features a one and a half story side gable with a center dormer and walk-out porch. The rear elevation, which faces Verdier Cove, is similarly configured with both the front and rear having a full length porch.

The Applicant proposed buildings that reflect the vernacular characteristics of Bluffton by using a variety of architectural features and materials common to Bluffton. Architectural features that are similar to others found in the Historic District include a front and rear porches, triangular knee bracing, use of brick piers at the foundation, and materials such as horizontal lap siding, standing seam metal roofing, and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the December 21, 2015 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence and an ancillary structure within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures

located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and accessory structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of an Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.6.H.1.A. – Columns, Arches, Piers, Railings, Balustrades. The column spacing on the front porch and that of the breezeway are shown wider than the columns are tall. Per the UDO, columns shall be spaced no further apart than they are tall. As proposed, the column spacing does not meet the requirements of the UDO, but upon further research there are three contributing structures of a similar Craftsman style that have wider than permitted column spacing along their front porches. These structures are the Bruin, Guilford, and Cantrell Houses. Per Section 52 of Traditional Construction Patterns, in no case does intercolumniation exceed a proportion of 1:1 except in a few very later traditional styles such as the California Arts & Crafts (also known as Craftsman). To meet the requirements of the UDO the column spacing along the front porch requires modification, but the HPC should consider the style of the house in this determination.

The column spacing at the breezeway must be revised to meet the requirements of the UDO.
 - 2) Section 5.15.6.I. - Windows and Doors. The UDO states that window openings shall be oriented vertically and that permitted

operations include single- and double-hung, casement, industrial, and fixed frame (36 SF max). The windows on the right and left side of the Carriage House are horizontal in orientation. As well, casement window shown in the gable end on the second story is horizontal in orientation. These windows must be modified to meet the requirements of the UDO.

- 1) Section 5.15.6.J. - Roofs and Gutters. The project analysis notes the use of aluminum gutters, but no information of the profile was provided. The UDO notes permitted configurations as rectangular section, square section, and half-round section. Provide additional information to show that the proposed gutters are in conformance with the requirements of the UDO.
- 2) Section 5.15.6.N.7. - Corners and Water Tables Corners. The UDO states that water tables should be 2X stock with a bevel. The current plans note the water table as 1X2 P.T. drip over 1X12 hardi-board. This configuration does not meet the requirement to use 2X material. To meet the requirements of the UDO, the configuration must be revised to use 2X material.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure and an accessory structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. It appears that several trees over 14" in diameter will require removal for the placement of the structure. A Town of Bluffton tree removal permit must be attained prior to any site clearing. Also per the Applications Manual a landscape plan and architectural details for the following must be submitted to Town Staff for review:

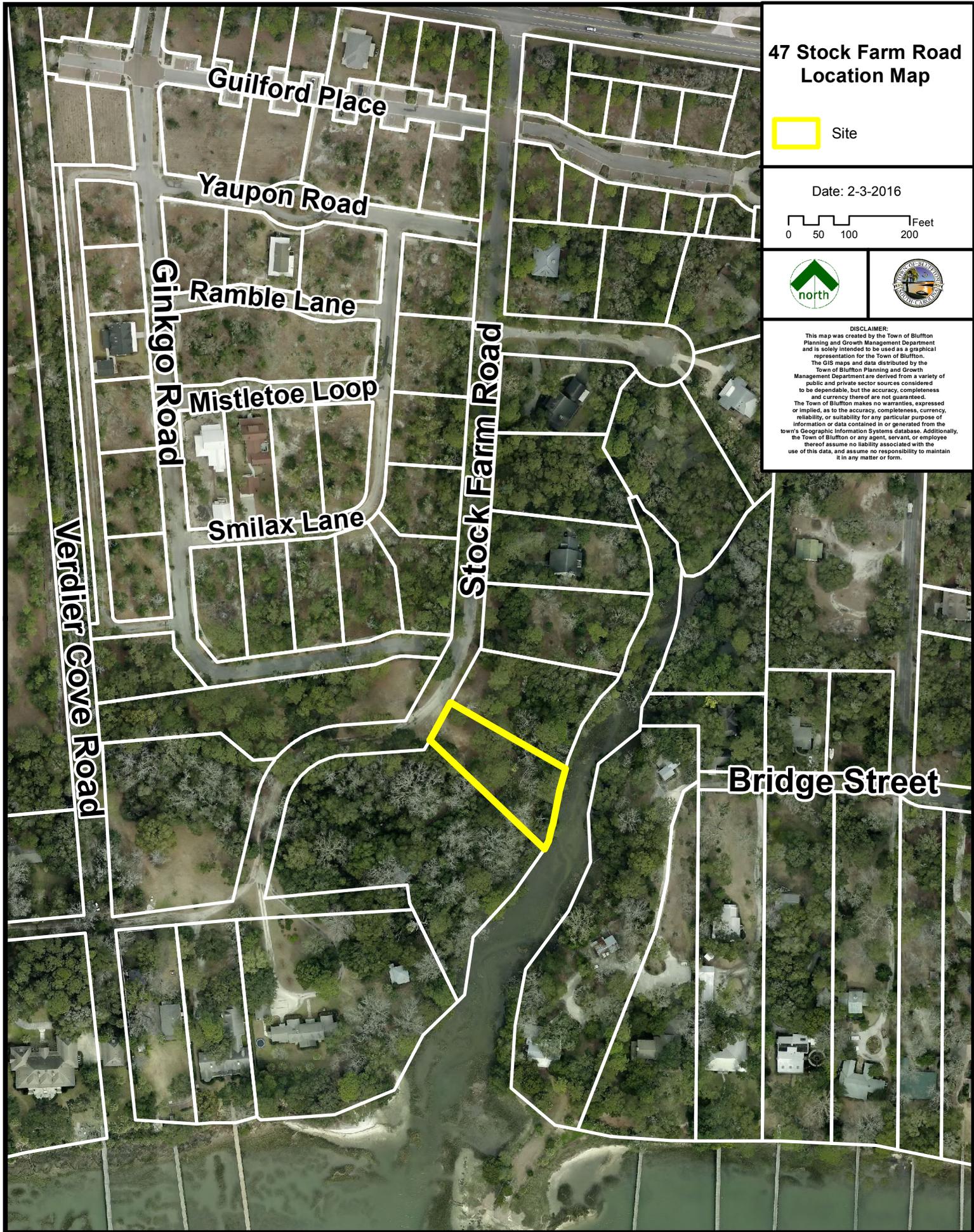
- 1) Typical window detail;
- 2) Railing and baluster detail;
- 3) Corner board detail;
- 4) Water table detail; and,
- 5) A section through the eave to show the configuration of materials.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.H.1.a. of the UDO, the column spacing of the breezeway must be modified to be "no farther apart than they are tall".
2. Per Section 5.15.6.I. of the UDO, the windows on the Carriage House must be modified to meet the requirements of the UDO.
3. Per Section 5.15.6.J. of the UDO, provide additional information on the proposed gutter profile for review to ensure that it is a permitted configuration.
4. Per Section 5.15.6.N.7. of the UDO, the water table material configuration must be revised to use 2X material.
5. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH and any proposed tree removal in river buffer areas.
6. Per the Applications Manual provide a typical window detail, railing and baluster detail, corner board detail, water table detail, and a section through the eave to show the configuration of materials.
7. Per the Applications Manual provide a landscape plan for review.

ATTACHMENTS:

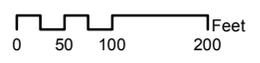
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. Approval Letter



47 Stock Farm Road Location Map

 Site

Date: 2-3-2016



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**Lot 10A, Stock Farm
47 Stock Farm Road
New Construction
Zoning Map**

***** Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 2-3-2016



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BRIDGE ST

Project Narrative

Project 47 Stock Farm Rd. Bluffton SC

Lot 10A is an undeveloped .457 acres lot (Dist. 610 Map 39, parcel 298)

The project consists of a Craftsman style single family House with a two car detached carriage house.

1. The single family Craftsman (2870 sq. ft.) is a 3 bedroom; with the master suite on the first floor and 2 bed rooms and a media room on the second floor, each bedroom having a full bathroom.
2. The detached carriage house (two cars) consists of 634 sq. ft. first floor with a second floor loft (382 sq. ft.)
3. Both House and Carriage house will have metal roof and HardiePlank siding.
4. A cistern irrigation system and in ground swimming pool are planned for future additions.



TIDAL COVE OF THE MAY RIVER

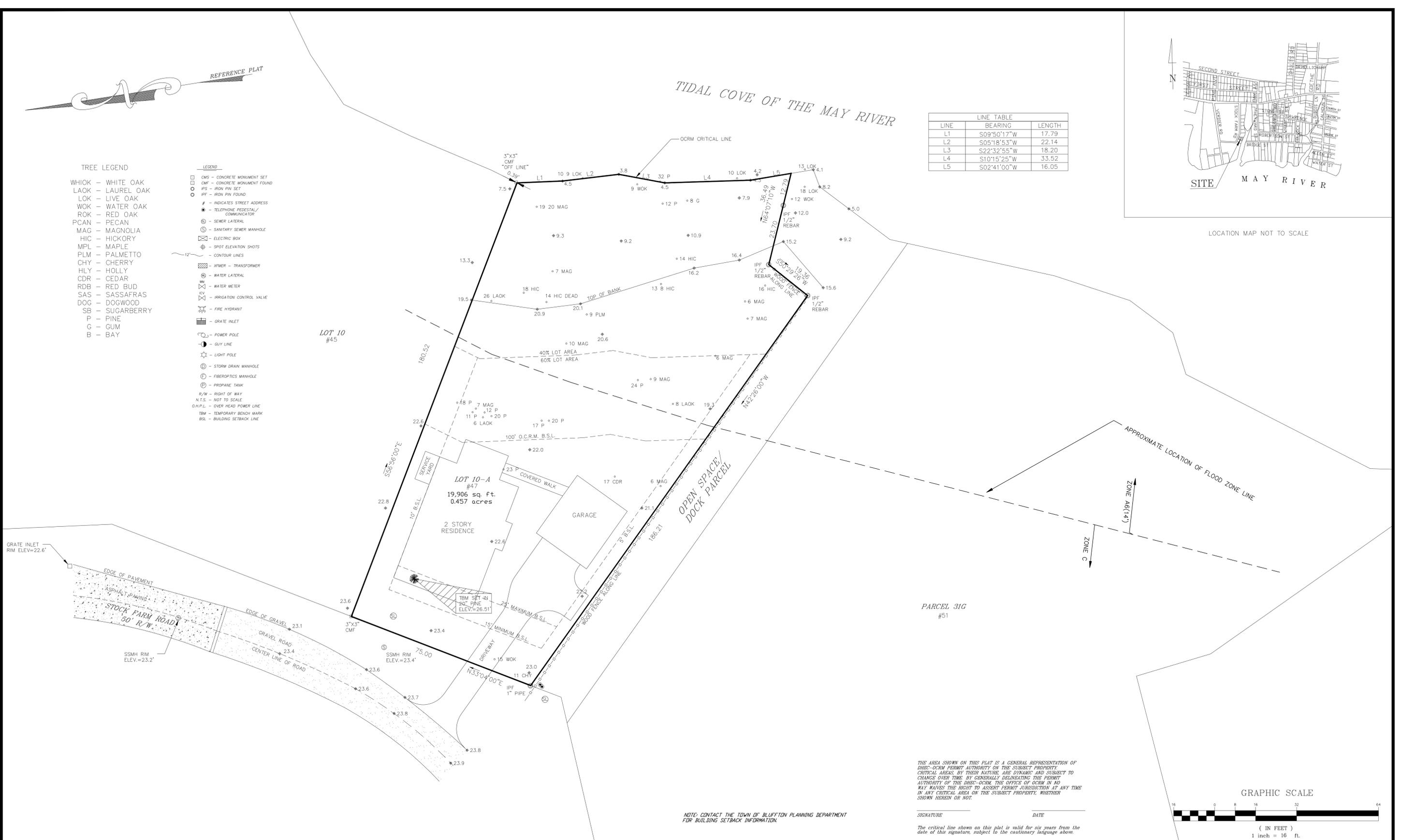
LINE	BEARING	LENGTH
L1	S09°50'17"W	17.79
L2	S05°18'53"W	22.14
L3	S22°32'55"W	18.20
L4	S10°15'25"W	33.52
L5	S02°41'00"W	16.05



LOCATION MAP NOT TO SCALE

- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY
- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPF - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊙ - SPOT ELEVATION SHOTS
 - - CONTOUR LINES
 - ⊘ - XFORMER - TRANSFORMER
 - ⊘ - WATER LATERAL
 - ⊘ - WATER METER
 - ⊘ - IRRIGATION CONTROL VALVE
 - ⊘ - FIRE HYDRANT
 - ⊘ - GRATE INLET
 - ⊘ - POWER POLE
 - ⊘ - GUY LINE
 - ⊘ - LIGHT POLE
 - ⊘ - STORM DRAIN MANHOLE
 - ⊘ - FIBEROPTICS MANHOLE
 - ⊘ - PROPANE TANK
 - R/W - RIGHT OF WAY
 - N.T.S. - NOT TO SCALE
 - O.H.P.L. - OVER HEAD POWER LINE
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE

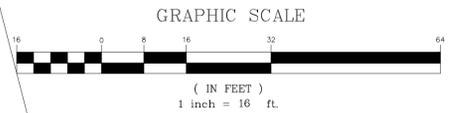
LOT 10 #45



THE AREA SHOWN ON THIS PLAT IS A GENERAL REPRESENTATION OF SHIP-OCCUPY PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME BY GENERALLY DELINEATING THE PERMIT AUTHORITY ON THE SHIP-OCCUPY THE OFFICE OF OCRM IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

NOTE CONTACT THE TOWN OF BLUFFTON PLANNING DEPARTMENT FOR BUILDING SETBACK INFORMATION.

SIGNATURE _____ DATE _____
The critical line shown on this plat is valid for six years from the date of this signature, subject to the cautionary language above.



T-SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@argray.com
Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

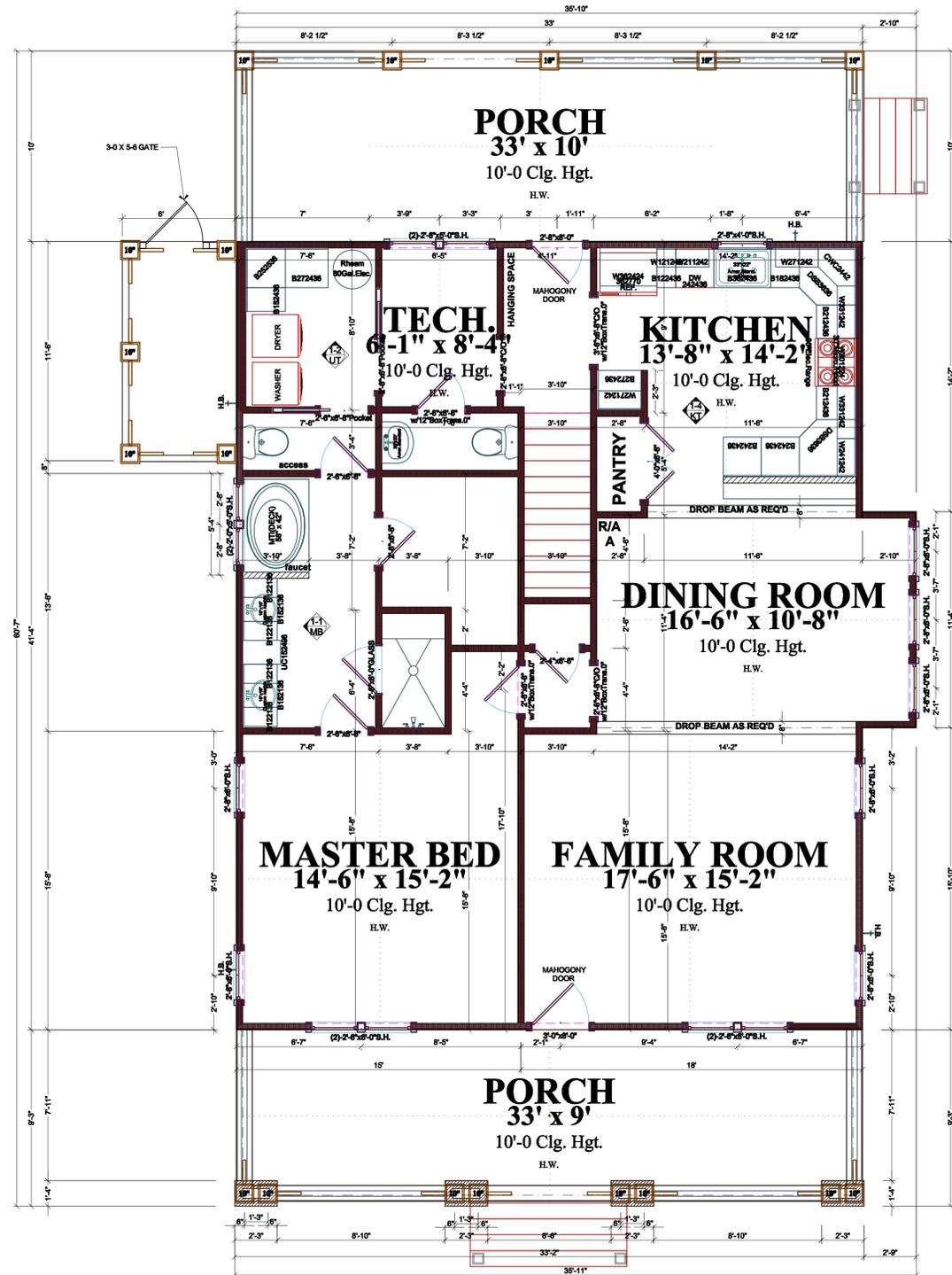
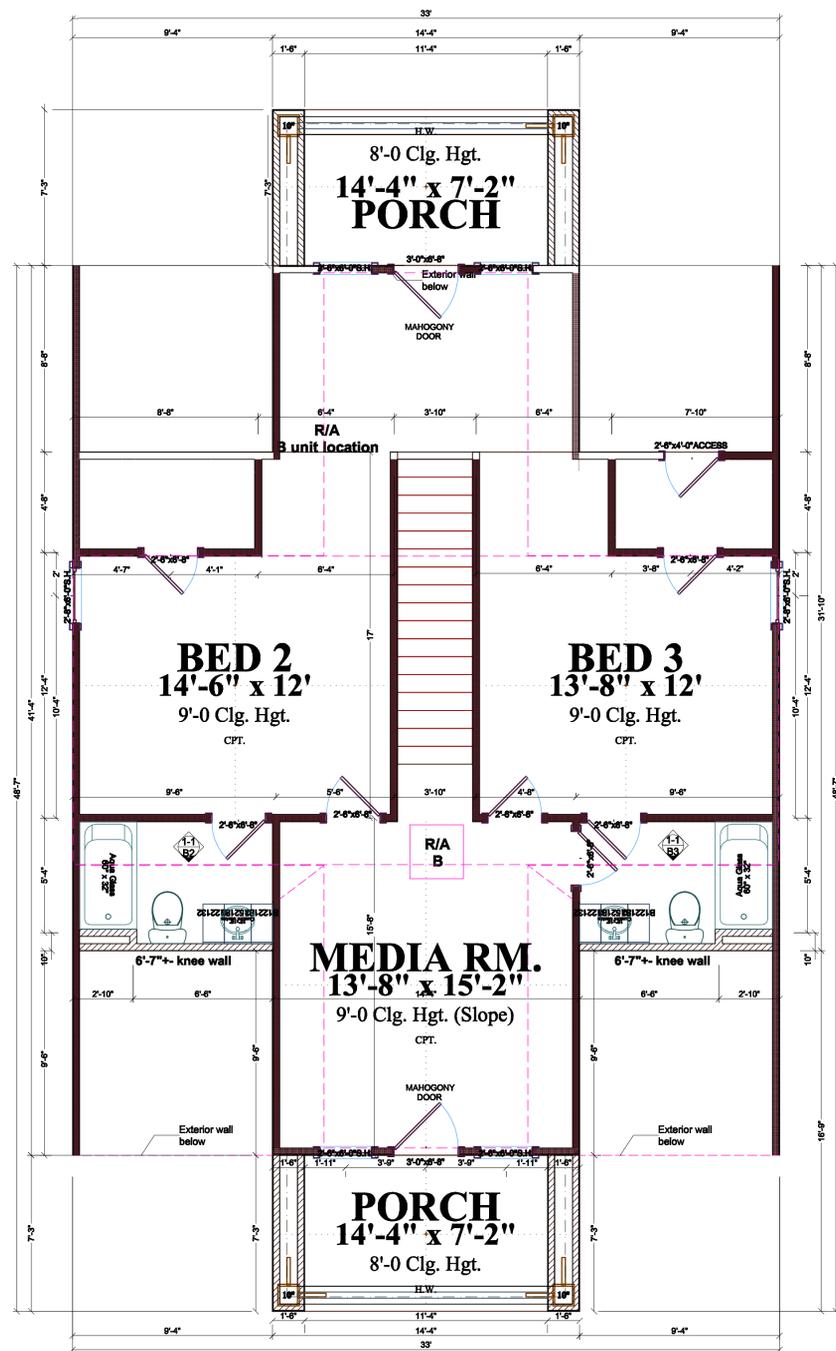
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
WEBB CONSTRUCTION
A TREE & TOPOGRAPHIC SURVEY ON LOT 10A STOCK FARM ROAD,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
DIST. 610, MAP 39, PARCEL 298

Notes:
1. According To FEMA Flood Insurance Rate Map # 450025 0001A This Lot Appears To Lie In A Federal Flood Plain Zones C & A6, Minimum Required Elevation MFA & 14 Ft. NOV1929
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference PLAT # 2
PLAT BOOK 138 @ PAGE 67.

DRAWN BY: B.M.S
APPROVED BY: W.J.S
PARTY CHIEF: W.J.S
DATE: NOVEMBER 24, 2015



ALL DIMENSION AND MEASUREMENTS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

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J. BREWTON DRAFTING
JOHN BREWTON
191 ALLIJOY ROAD
BLUFFTON, SC 29910
843-247-3184

FIRST FLOOR AND SECOND FLOOR PLANS

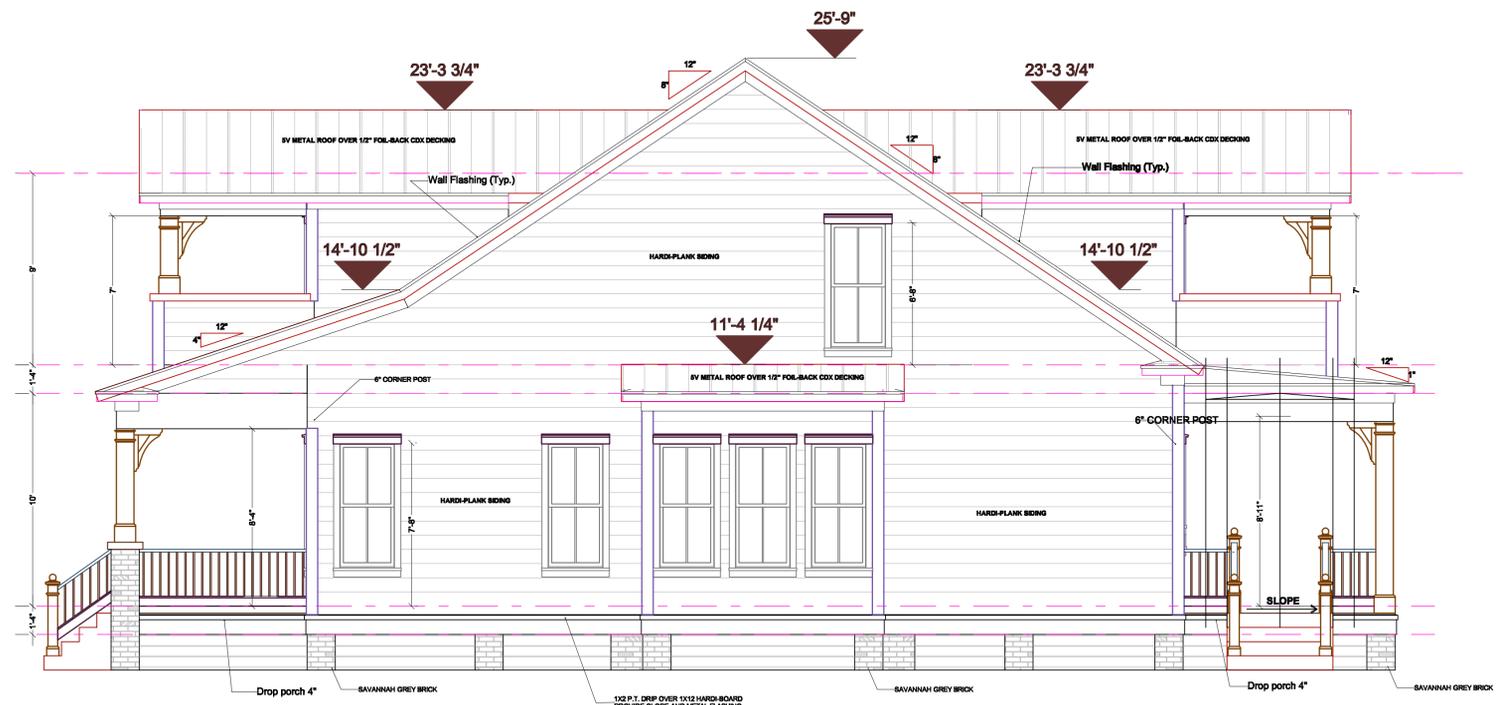
RENOVATION PREPARED FOR:
POLICY RESIDENCE
#47 STOCK FARM ROAD
BLUFFTON, SOUTH CAROLINA

DRAWN BY: JIB
CHECKED BY: JIB
PROJECT NO: 1601

DATE: 01-08-16
SCALE: AS NOTED

ARCHITECTURAL

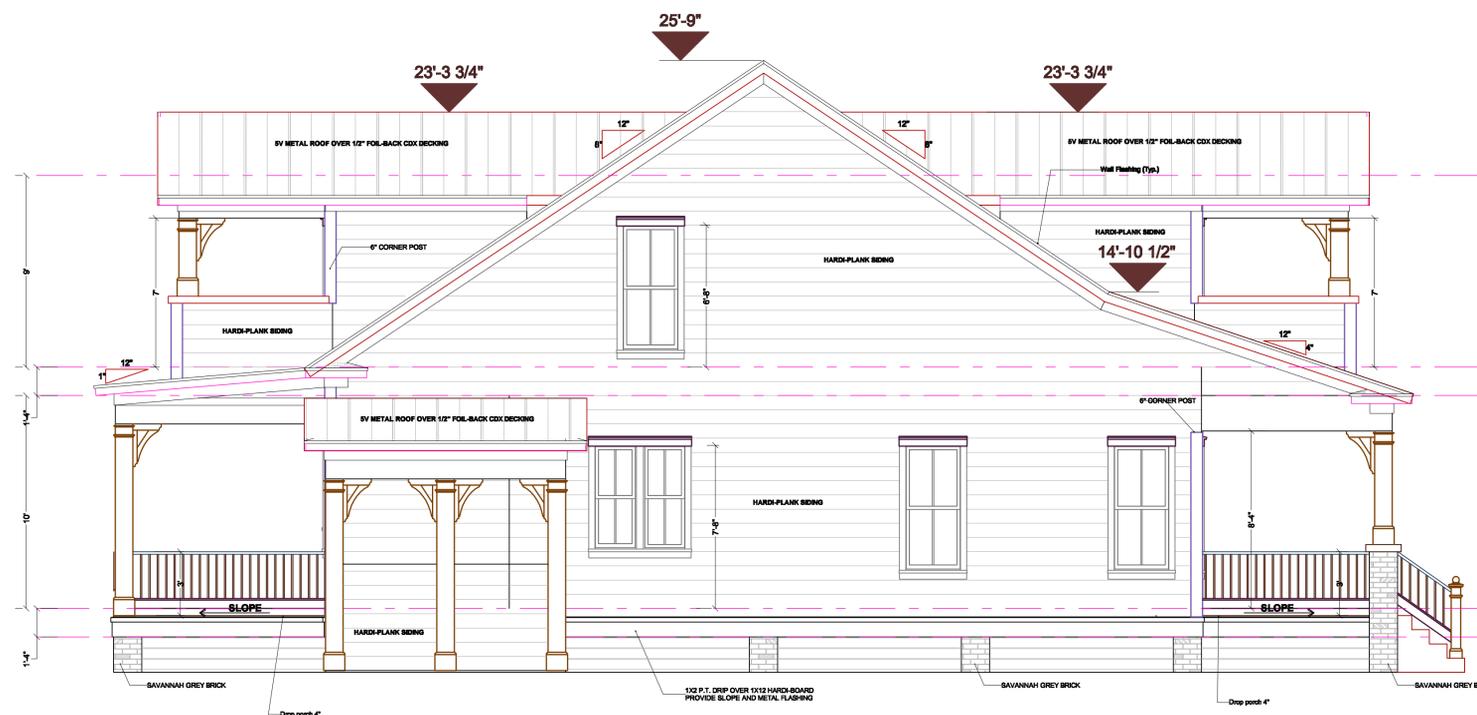
1



RIGHT SIDE ELEVATION

1/4" = 1'-0"

NOTE: ALL DOOR AND WINDOW TRIM TO BE #1 PRESSURE TREATED LUMBER.
 ALL EXTERIOR DOORS TO BE MAHOGONY.
 ALL EXTERIOR BRICK TO BE SAVANNAH GREY.



LEFT SIDE ELEVATION

1/4" = 1'-0"

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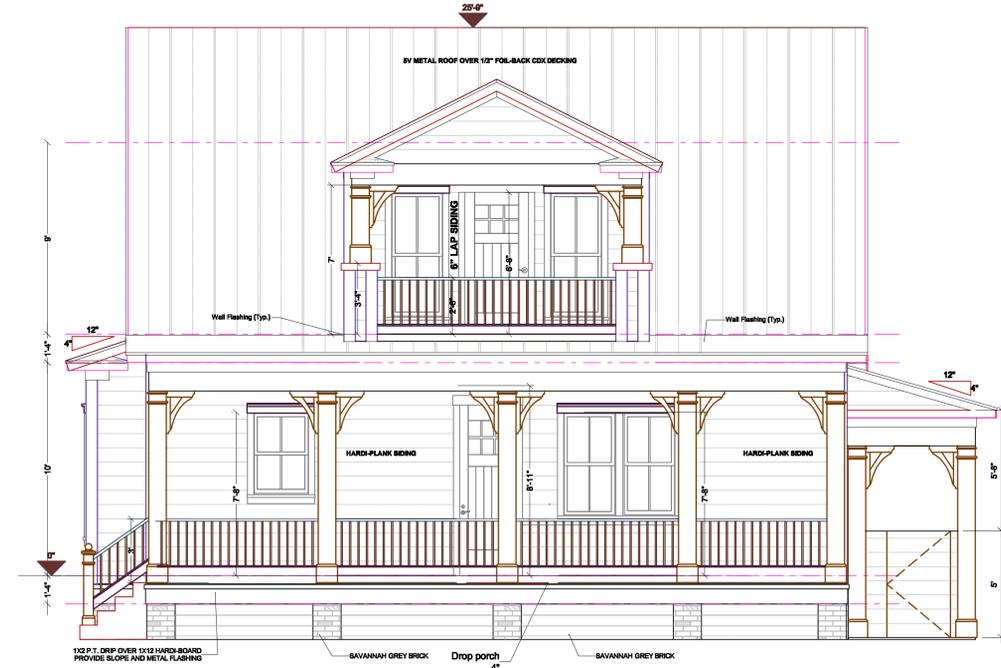
LEFT AND RIGHT SIDE ELEVATIONS

RENOVATION PREPARED FOR:
POLICY RESIDENCE
 #47 STOCK FARM ROAD
 BLUFFTON, SOUTH CAROLINA

DATE: 01-08-16 SCALE: AS NOTED
 DRAWN BY: JIBS PROJECT NO: 1601
 CHECKED BY: JIBS

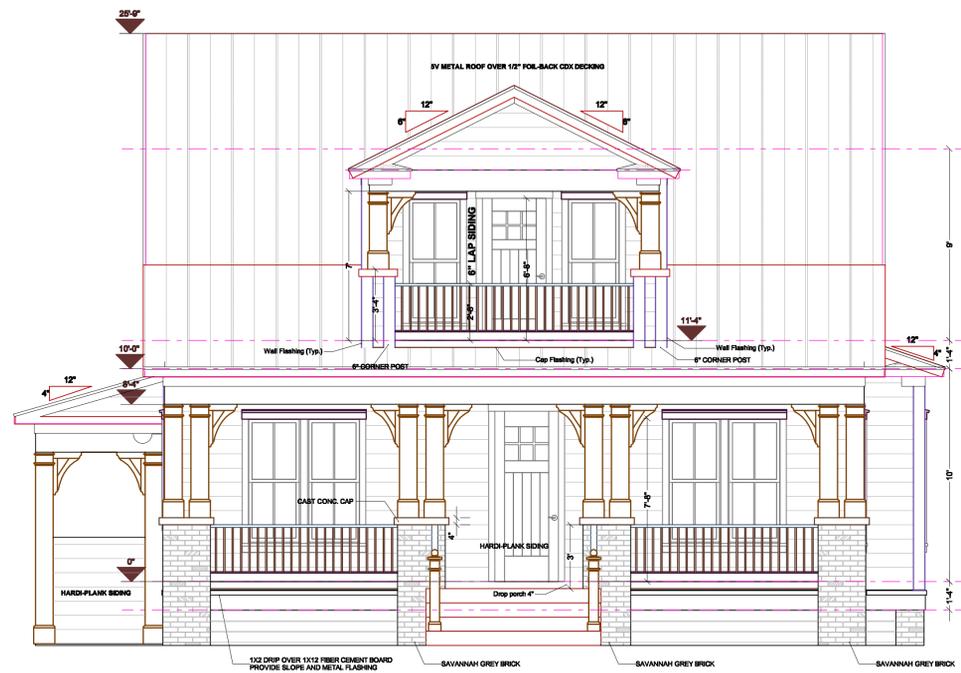
ARCHITECTURAL

2



REAR ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

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FRONT AND REAR ELEVATIONS

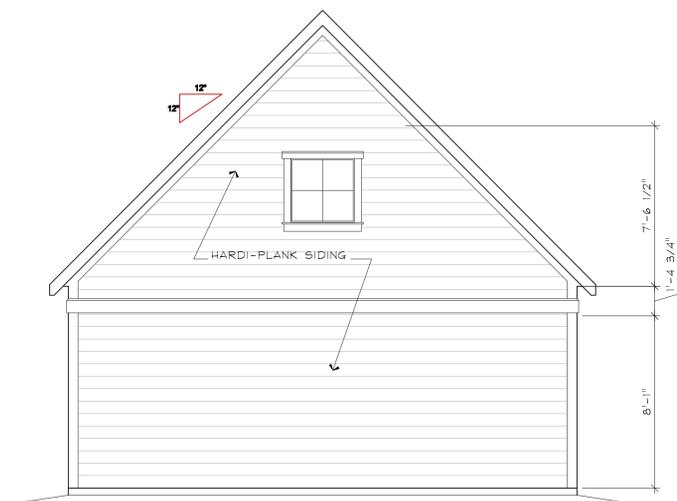
RENOVATION PREPARED FOR:
POLICY RESIDENCE
 #47 STOCK FARM ROAD
 BLUFFTON, SOUTH CAROLINA

DATE: 01-08-16 SCALE: AS NOTED PROJECT NO. 1601

DRAWN BY: JTB
 CHECKED BY: JPB

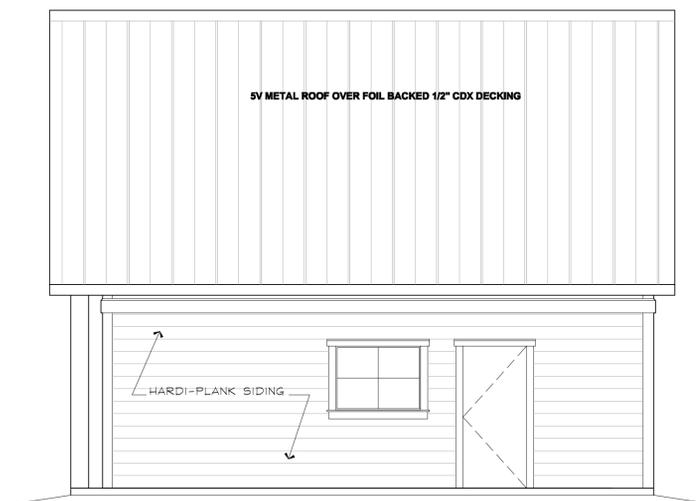
ARCHITECTURAL

3



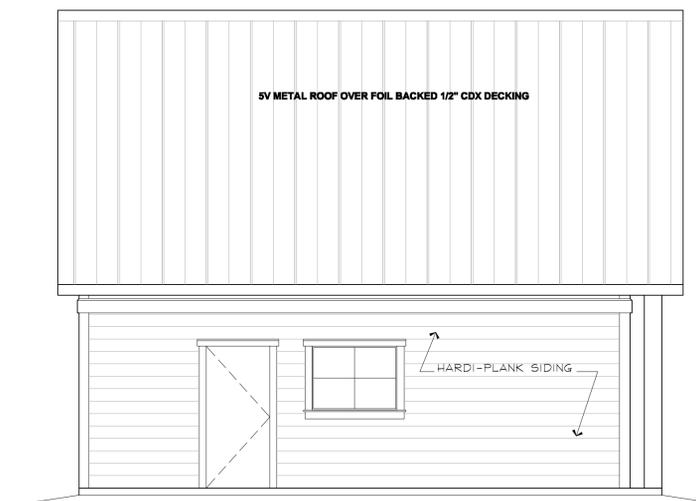
REAR ELEVATION

1/4"=1'-0"



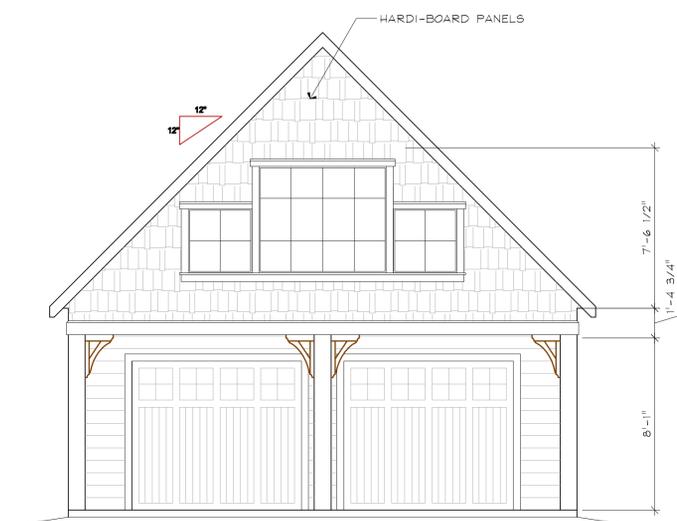
RIGHT SIDE ELEVATION

1/4"=1'-0"



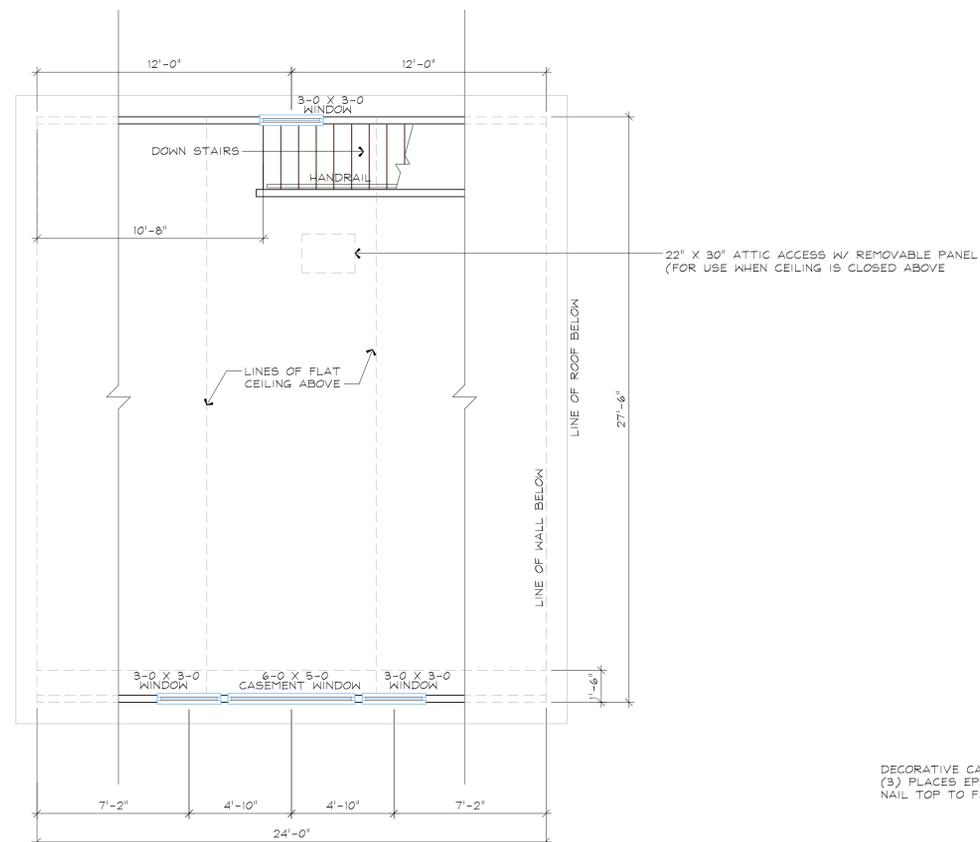
LEFT SIDE ELEVATION

1/4"=1'-0"



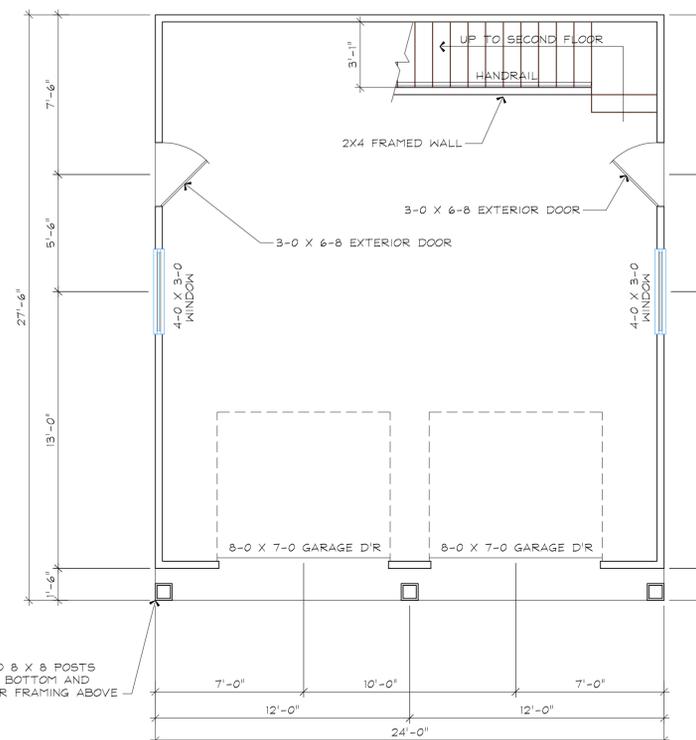
FRONT ELEVATION

1/4"=1'-0"



SECOND FLOOR

1/4"=1'-0"



FIRST FLOOR

1/4"=1'-0"

DECORATIVE CASED 8 X 8 POSTS
(3) PLACES EPB44 BOTTOM AND
NAIL TOP TO FLOOR FRAMING ABOVE

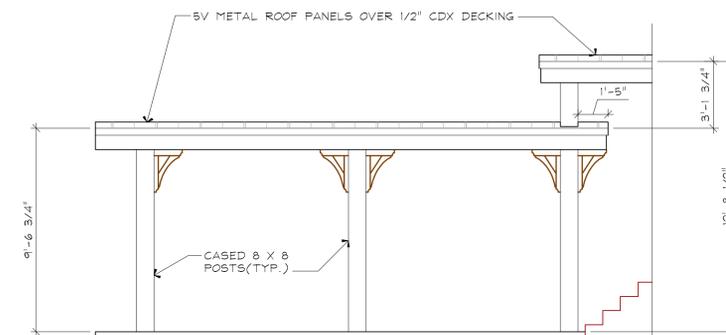
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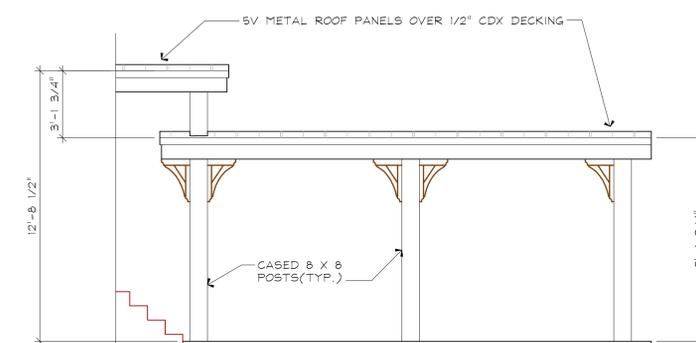
GARAGE PLAN AND ELEVATIONS
PREPARED FOR:
POLICY RESIDENCE
#47 STOCK FARM ROAD
BLUFFTON, SOUTH CAROLINA
DATE: 01-08-16 SCALE: AS NOTED
DRAWN BY: JPB PROJECT NO: 1601
CHECKED BY: JPB

ARCHITECTURAL
4



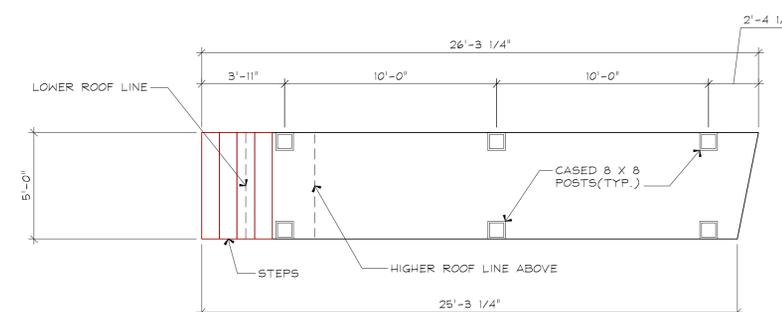
REAR ELEVATION

1/4"=1'-0"



FRONT ELEVATION

1/4"=1'-0"



COVERED WALK PLAN

1/4"=1'-0"

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 843-247-3184

COVERED WALKWAY PLAN AND ELEVATIONS

PREPARED FOR:
POLICY RESIDENCE
 #47 STOCK FARM ROAD
 BLUFFTON, SOUTH CAROLINA

DATE: 01-08-16 SCALE: AS NOTED
 DRAWN BY: JPB PROJECT NO: 1601
 CHECKED BY: JPB

ARCHITECTURAL

5



PLAN REVIEW COMMENTS FOR COFA-12-15-009432

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
STOCK FARM

Plan Type: Historic District **Apply Date:** 12/08/2015
Plan Status: Active **Plan Address:** 47 Stock Farm Rd
BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R610 039 000 0298 0000
Plan Description: The Applicant is requesting a Certificate of Appropriateness for the construction of a new single family residence and carriage house.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the December 21st meeting

Staff Review (HD)

Submission #: 1 Recieved: 12/08/2015 Completed: 12/18/2015

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
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Engineering Department Review - HD	12/18/2015	Karen Jarrett	Approved with Conditions
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Comments:

- 1. Provide a plat or site plan which demonstrates the location of the lot, adjacent parcels and street access to clarify the location of the drive as it interfaces with the street.

Growth Management Dept Review (HD)	12/18/2015	Erin Schumacher	Approved with Conditions
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Comments:

- 1. Provided scaled/scalable plans for the final application. (Applications Manual)
- 2. As the project moves toward Final submittal, provide proposed materials for the items listed on the project analysis and architectural details for the typical window, railing, corner board and water table trim, a section through the eave, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO (Applications Manual).
- 3. Please also note, that a Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).
- 4. The fanlight and the horizontal slider windows proposed on the carriage house are not permitted window configurations. Per the UDO, windows must be vertically oriented and of a permitted operation (fixed, casement, single or double-hung). These windows must be modified to meet the requirements of the UDO. (Section 5.15.6.I.)
- 5. The column spacing shown is wider than the columns are tall. Per the UDO, columns shall be spaced no further apart than they are tall. As proposed, the column spacing does not meet the requirements of the UDO, but upon further research there are three contributing structures of a similar Chraftsman style that have wider than permitted column spacing. These structures are the Bruin, Guilford, and Cantrell Houses. Per Section 52 of Traditional Construction Patterns, in no case does intercolumniation exceed a proportion of 1:1 except in a few very later traditional styles such as the California Arts & Crafts (also known as Craftsman). To meet the requirements of the UDO the column spacing requires modification, but the HPC should consider the style of the house in this determination. (UDO Section 5.15.6.H. and Traditional Construction Patterns Section 52)

HPRC Review	12/18/2015	Erin Schumacher	Approved with Conditions
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Comments:

- 1. Provide information on the proposed door materials. (Applications Manual)

Stormwater Review	12/17/2015	William Baugher	Approved with Conditions
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Comments:

1. All Construction Site Activities will need to submit a Sediment and Erosion Control Plan. At a minimum silt fence and inlet protection will need to be installed according to the development plan for Stock Farm. (SWDM 9.0.1)

Beaufort Jasper Water and Sewer Review 12/18/2015 Dick Deuel Approved

Comments:

1. No comments submitted.

Addressing Review 12/09/2015 Theresa Thorsen Approved

Comments:

1. No comments submitted.

Plan Review Case Notes:

STOCK FARM DEVELOPMENT, LLC
BOX 2570
BLUFFTON, SC 29910

20 January 2016

Erin Schumacher
Town of Bluffton
By Hand

Reference: 47 Stock Farm Road—Policy Residence

The Architectural Review Board (ARB) has considered the plans for the residence and garage at the above address. The board finds that the design is appropriate for the location.

The garage orientation was of some concern. Our goal has been to preclude a garage opening to the front of the lot. However, given the configuration of the lot, its proximity to Verdier Cove and the fact that the garage is placed well back from the front of the residence there will be no opposition to the plans as presented.

I recommend the plans be granted a Certificate of Appropriateness.


Emmett McCracken