

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	February 3, 2016
PROJECT:	20 Tabby Shell Rd. – New Construction: Carriage House
APPLICANT:	Michael C. Watson
PROJECT MANAGER:	Katie Peterson, Planning Assistant

APPLICATION REQUEST: The Applicant, Michael C. Watson, requests that the Historic Preservation Commission approve the following application:

1. **COFA-11-15-9413.** A Certificate of Appropriateness to allow the construction of a new carriage house of approximately 1,200 SF, located on the property identified as 20 Tabby Shell Road in the Tabby Roads Development and zoned as Neighborhood General-HD (COFA-12-15-9423).

INTRODUCTION: In April of 2013, the Applicant came before the Town of Bluffton Historic Preservation Committee seeking approval of a new single family residential structure. The plans were approved with conditions at the April 3, 2013 meeting.

The Applicant is proposing the construction of a carriage house located in the Old Town Bluffton Historic District. The proposed building, of approximately 1,200 SF, is designed as a Carriage House in accordance to the allowable building types for the Neighborhood General-HD zoning district. The main features of this building type include the following:

1. It is an accessory structure;
2. It will be used as a combination of garage and living unit; and
3. It is limited to 2 cars;
4. It is placed behind the principal plane of the primary structure towards the back of the lot (with considerations made for the preservation of three large canopy trees located at the rear of the lot); and,
5. It is in the same general character as the primary structure.

The Applicant has proposed a building that reflects vernacular characteristics of Bluffton and is similar to the character of the primary structure which currently exists on the site. The architectural features include a simple gabled roof structure with a bracketed bay. Additional materials that are in keeping with the vernacular of Bluffton are the use of asphalt shingled roofing, horizontal lap siding, and water table trim boards.

This project was presented to the Historic Preservation Review Committee for conceptual review at the December 14, 2015 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to construct a new carriage house within the Tabby Roads development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures

located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request is in conformance with those standards.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the structure falls within the category of carriage house type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Carriage House Types are permissible.

Since the project is located within the Tabby Roads development, the site is required to meet the front, rear, and side setbacks prescribed by the Tabby Roads development plan. The proposed site plan meets these established criteria.

- b. *Finding.* Town Staff finds that if the following conditions below are met, the plans will be in conformance with applicable provisions provided in Article 5:
 - 1) Per Section 5.15. 6.H.1.a. Columns, Arches, Piers, Railings, Balustrades, columns and porch post shall be spaced no farther apart than they are tall. The support post and porch posts are spaced 10' apart with columns that are 8' tall. Additional columns must be added or the configuration of the entry porch modified to meet this requirement
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

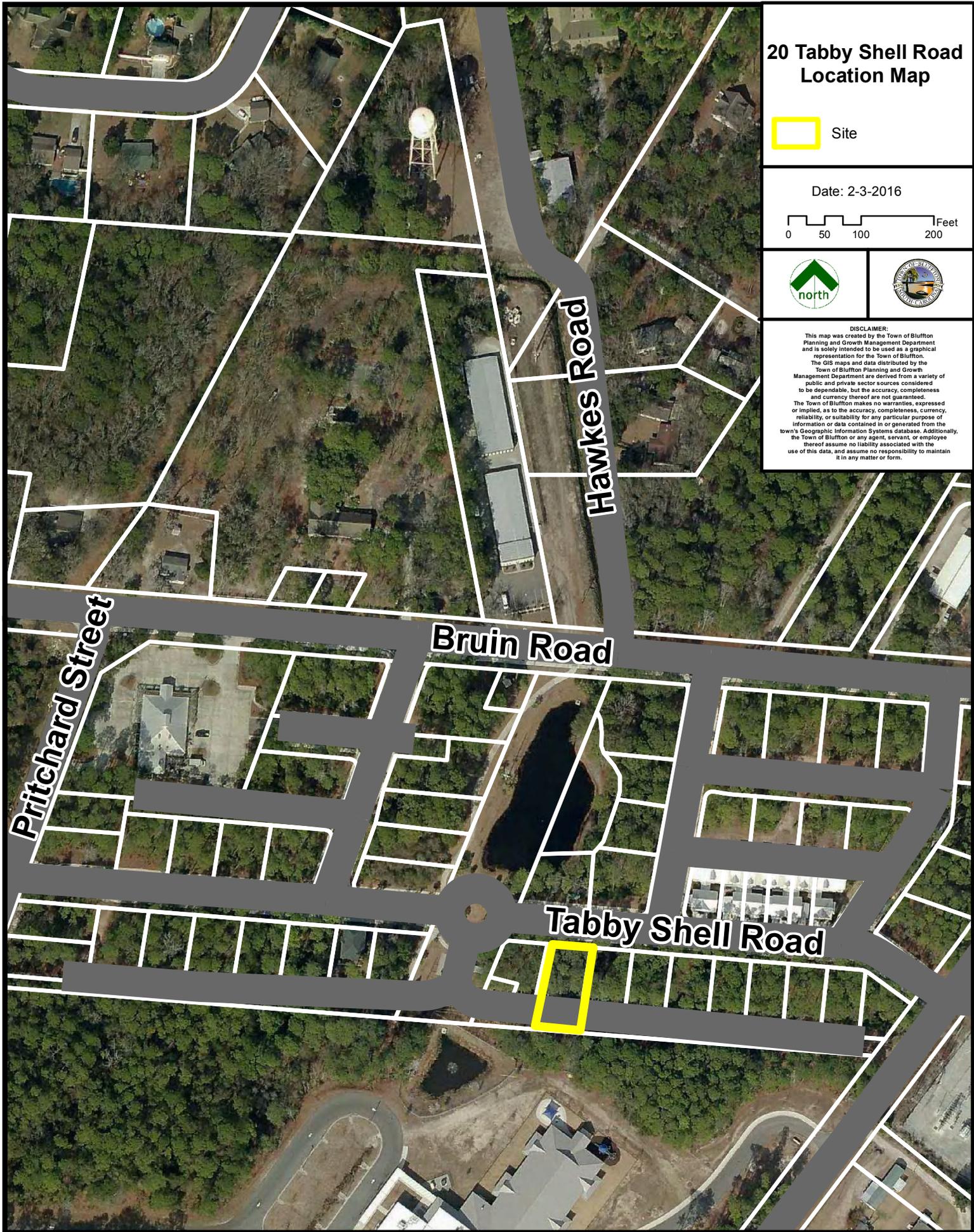
Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. Additional architectural details for the typical window detail (head, sill, jamb), water table, eave (configuration of materials), and railing (configuration and spacing dimensions) are required for review with the standards set forth in Article 5 of the UDO.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per the Applications Manual, details for the typical window detail (head, sill, jamb), water table, eave (configuration of materials), and railing (configuration and spacing dimensions) shall be provided to Town Staff to review for conformance with the UDO.
2. Per Section 5.15.6.H.1.A of the UDO, columns and porch post shall be spaced no farther apart than they are tall. Additional columns must be added or the configuration of the entry porch modified to meet this requirement.

ATTACHMENTS:

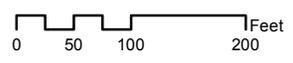
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. HARB Conditional Approval Letter



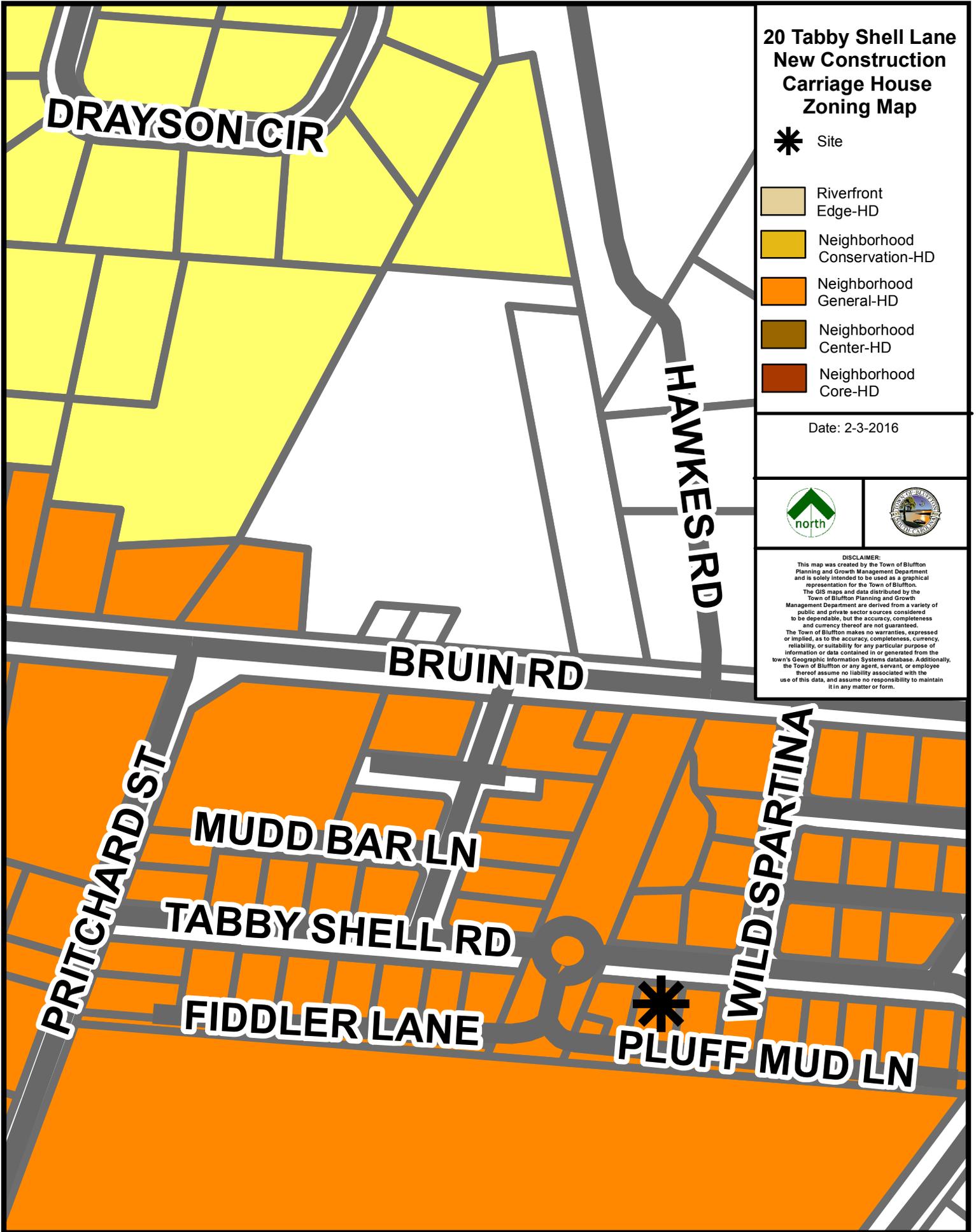
20 Tabby Shell Road Location Map

 Site

Date: 2-3-2016



DISCLAIMER:
This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton.
The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.



Project Narrative
20 Tabby Shell Rd.

I would like to build a carriage house on the rear portion of the property. It will be a two car garage with a 610 sqft apartment above.

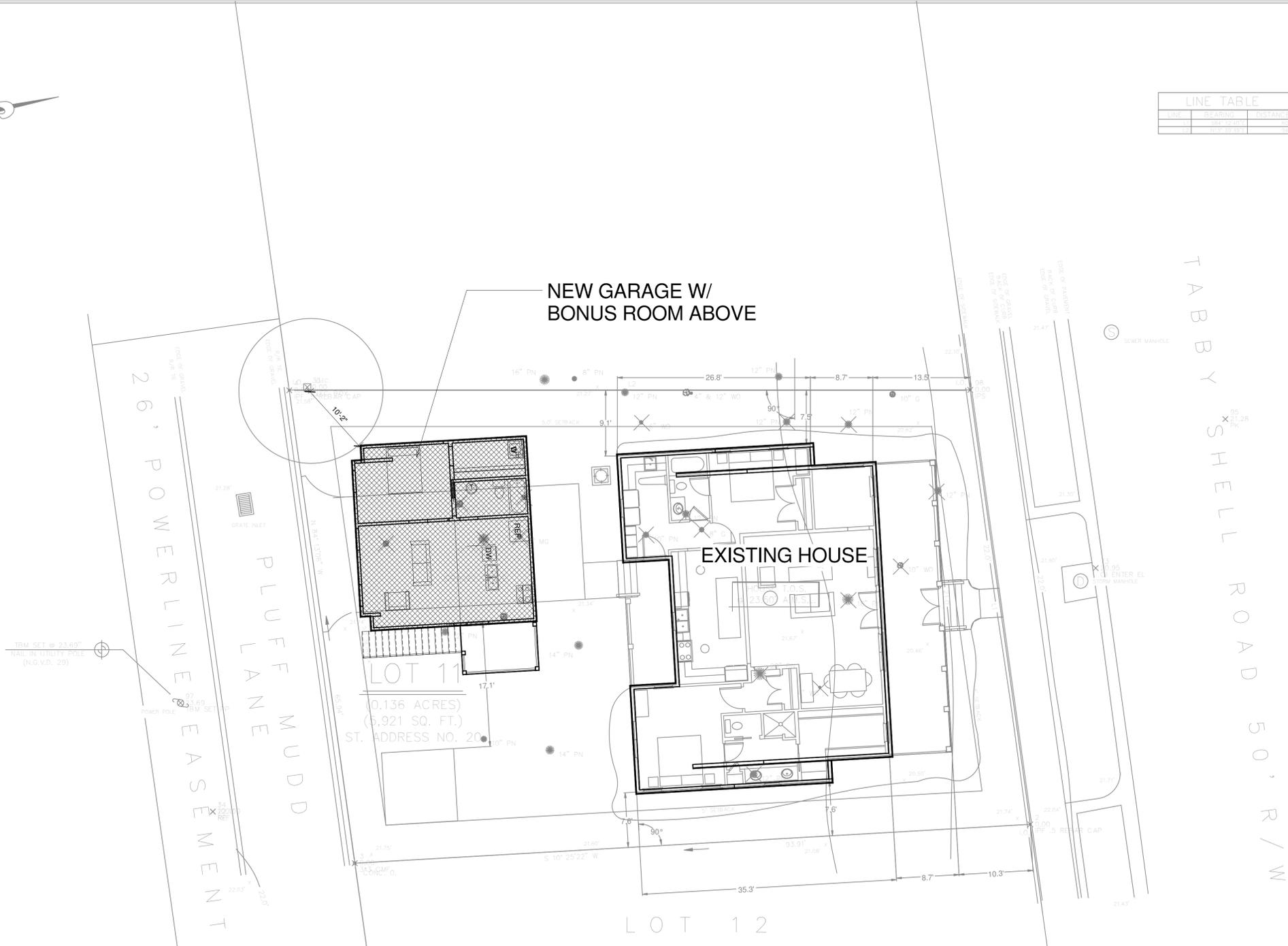
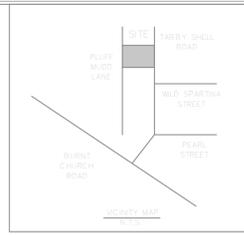
The materials will be the same as the main house. It will have the same colors and roof. No trees will be removed. The small existing trees will be replanted.

Michael W. Otter



LINE	BEARING	DISTANCE
1	S 81° 22' 47" W	32.2
2	N 10° 1' 30" E	24.4

LEGEND
 WD - WATER DAK
 PN - PINE
 G - GUM
 MG - MAGNOLIA



Project Name
MICHAEL WATSON & JULIES LEWIS
 20 TABBY SHELL BLUFFTON SC, 29910

S.1
 SITE PLAN
 Date 8-14-15

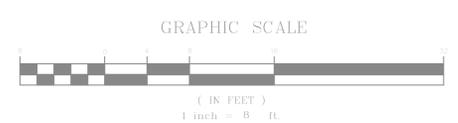
Scale 1/8" = 1'-0"
 ① Site 1/8" = 1'-0"

SURVEYED FOR:
MR. MICHAEL T. WATSON

NOTE: This lot lies in a Federal Flood Plain Zone C. Minimum Req. Elevation N/A FL. MSL.

Reference Plat: A PLAT OF TABBY ROADS SUBDIVISION, PREPARED BY T-SQUARE GROUP INC. DATED 08/17/04, REVISED 03/09/05, RECORDED IN BOOK 112 AT PAGE 133.

A TREE AND TOPO SURVEY
 LOT 11 TABBY SHELL ROAD
 A SECTION OF TABBY ROADS SUBDIVISION
 TOWN OF BLUFFTON
 BEAUFORT COUNTY-SOUTH CAROLINA



RUDY W. WHEELER
 S. C. Prof. Land Surveyor No. 7263
 I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO OBVIOUS APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



ATLANTIC SURVEYING CO.
 P.O. BOX 5985
 HILTON HEAD ISLAND, SC 29928
 (843) 785-6262
 FAX (843) 785-9062

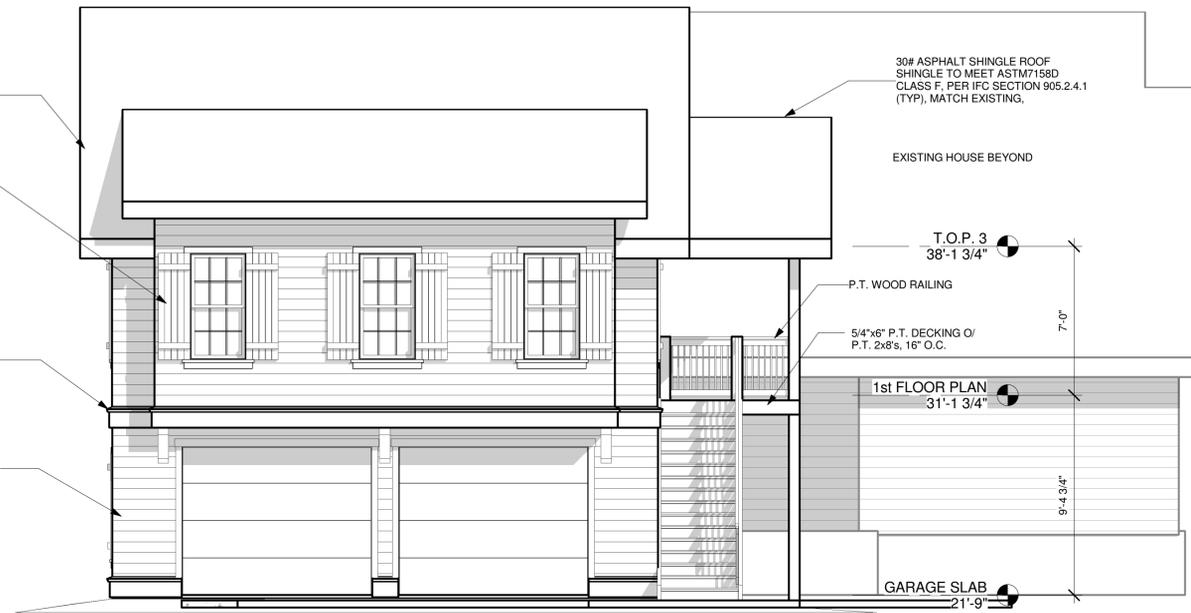
JOB NO. 12-0651
 FILE NO.
 SCALE 1" = 8'
 DATE APRIL 23, 2012
 OFFICE CK. FIELD CK.

30# ASPHALT SHINGLE ROOF SHINGLE TO MEET ASTM7158D CLASS F, PER IFC SECTION 905.2.4.1 (TYP), MATCH EXISTING.

P.T. WOOD SHUTTERS

P.T. DRIP

HARDIE PLANK HORIZONTAL SIDING (MATCH EXISTING) O/ TYVECK HOUSE WRAP O/ 1/2" PLYWOOD, O/ 2x6 STUDS, 16" O.C.



2 FRONT
1/4" = 1'-0"

30# ASPHALT SHINGLE ROOF SHINGLE TO MEET ASTM7158D CLASS F, PER IFC SECTION 905.2.4.1 (TYP), MATCH EXISTING.

EXISTING HOUSE BEYOND

T.O.P. 3
38'-1 3/4"

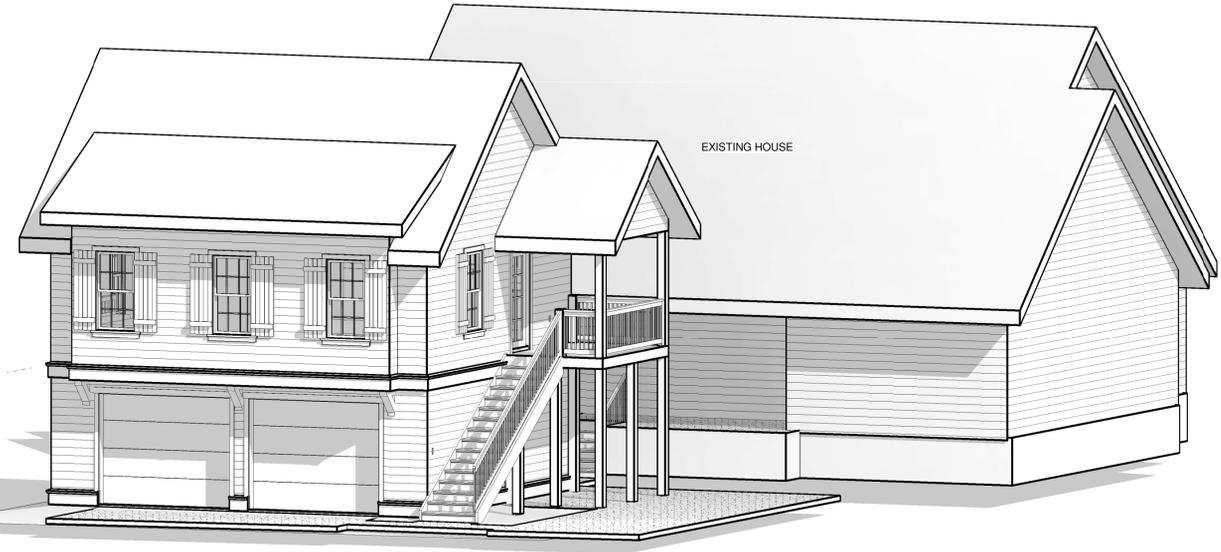
P.T. WOOD RAILING

5/4"x6" P.T. DECKING O/
P.T. 2x8's, 16" O.C.

1st FLOOR PLAN
31'-1 3/4"

GARAGE SLAB
21'-9"

7'-0"
9'-4 3/4"



4 REAR PERSPECTIVE

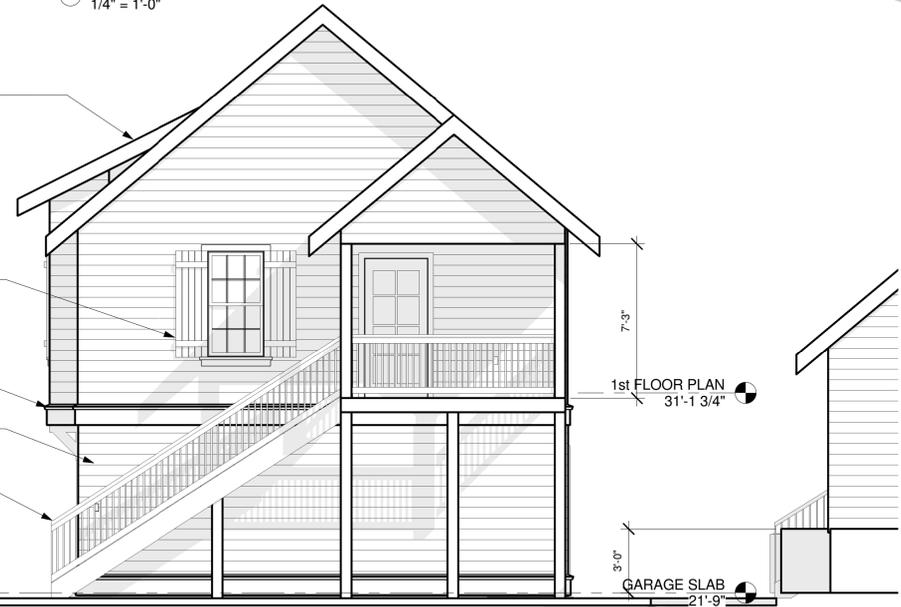
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P.T. DRIP

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P.T. WOOD RAILING



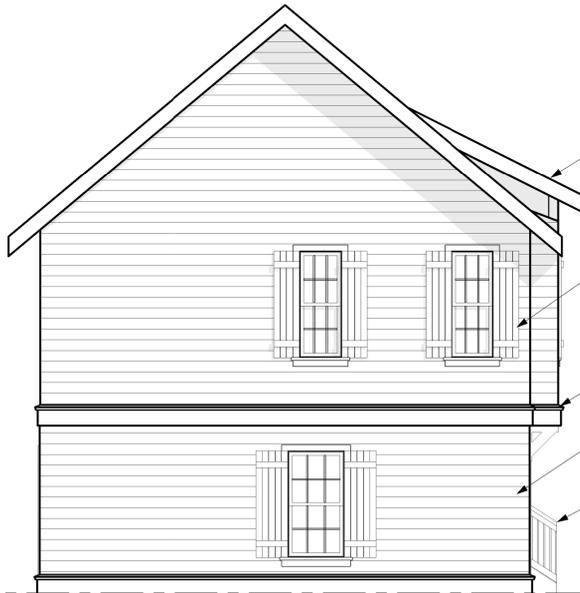
5 RIGHT
1/4" = 1'-0"

1st FLOOR PLAN
31'-1 3/4"

GARAGE SLAB
21'-9"

GARAGE SLAB
21'-9"

3'-0"



3 LEFT
1/4" = 1'-0"

30# ASPHALT SHINGLE ROOF SHINGLE TO MEET ASTM7158D CLASS F, PER IFC SECTION 905.2.4.1 (TYP), MATCH EXISTING.

P.T. WOOD SHUTTERS

P.T. DRIP

HARDIE PLANK HORIZONTAL SIDING (MATCH EXISTING) O/ TYVECK HOUSE WRAP O/ 1/2" PLYWOOD, O/ 2x6 STUDS, 16" O.C.

P.T. WOOD RAILING

GARAGE SLAB
21'-9"

30# ASPHALT SHINGLE ROOF SHINGLE TO MEET ASTM7158D CLASS F, PER IFC SECTION 905.2.4.1 (TYP), MATCH EXISTING.

P.T. WOOD RAILING

5/4"x6" P.T. DECKING O/
P.T. 2x8's, 16" O.C.

DECK
30'-10 3/4"

GARAGE SLAB
21'-9"

1 REAR
1/4" = 1'-0"

30# ASPHALT SHINGLE ROOF SHINGLE TO MEET ASTM7158D CLASS F, PER IFC SECTION 905.2.4.1 (TYP), MATCH EXISTING.

P.T. DRIP

P.T. DRIP

PATHFINDERS DESIGN GROUP
SEAN LEWIS
CAD DESIGNER
18 E. HUNTER ROAD
SUITE #8
HILTON HEAD ISLAND, SC
29928
912-591-7727

THE CONTRACTOR SHALL CHECK, COORDINATE AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD BUILDING CODE, THE STANDARD MECHANICAL CODE, AND THE STANDARD PLUMBING CODE, THE STANDARD ELECTRICAL CODE, CODE CONGRESS INTERNATIONAL, AND THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND ALL OTHER APPLICABLE BUILDING CODES. THE CONTRACTOR IS TO OBTAIN ALL BUILDING PERMITS REQUIRED.

Project Name
MICHAEL WATSON & JULIE LEWIS
20 TABBY SHELL BLUFFTON SC, 29910

ELEVATIONS

Project#	Project Number
Date	8-14-15
Drawn By	Author
Checked By	Checker

A.2
Scale 1/4" = 1'-0"



PLAN REVIEW COMMENTS FOR COFA-12-15-009423

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 12/07/2015
Plan Status: Active **Plan Address:** 20 Tabby Shell Rd
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R611 039 000 1191 0000
Plan Description: The applicant is requesting a Certificate of Appropriateness for the construction of a two car garage with an apartment above.
STATUS: The application was reviewed at the December 14th HPRC meeting and comments were provided to the Applicant. A final application has been submitted and is being reviewed for conformance with the UDO and is scheduled for review by the full HPC at the February 3rd meeting.

Staff Review (HD)

Submission #: 1 Received: 12/07/2015 Completed: 12/11/2015

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Addressing Review	12/07/2015	Theresa Thorsen	Approved with Conditions

Comments:

1) Additional address may need to be assigned if homeowner is renting the apartment.

Growth Management Dept Review (HD)	12/11/2015	Erin Schumacher	Approved with Conditions
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Comments:

- 1) According to the UDO, columns and porch post shall be spaced no farther apart than they are tall. The support post and porch posts are spaced 10' apart with columns that are 8' tall. Additional columns must be added or the configuration of the entry porch modified to meet this requirement (UDO 5.15.6.H.1.a.)
- 2) As the project moves toward Final submittal, provide architectural details for the typical window, railing, water able trim, and a section through the eave as not enough information was provided in the submittal to review for conformance with the UDO (Applications Manual).
- 3) A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal. It appears as that the removal of several trees is required to site the building. If any of the trees meet the requirement above, a tree removal permit must be submitted. (UDO Section 3.22.2.A.)
- 4) For the Final submittal, a letter of approval from the Tabby Roads HARB is required per the Applications Manual.

HPRC Review	12/11/2015	Erin Schumacher	Approved with Conditions
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Comments:

1) Consider adding brackets beneath the bay dormer to add a visual means of support. Similar to how a bay window should be supported by visible brackets of an appropriate size, this dormer should also be supported. (Section 34, Traditional Building Patterns)

Beaufort Jasper Water and Sewer Review	12/11/2015	Dick Deuel	Approved
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Comments:

1) No comments submitted.

Engineering Department Review - HD	12/07/2015	Karen Jarrett	Approved
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Comments:

1) No comments.

Comments:

1) No comments submitted.

Plan Review Case Notes:

HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

January 14, 2016

Michael Watson
Julie Lewis
20 Tabby Shell Rd.
Bluffton, SC 29910

On behalf of the HARB Committee for Tabby Roads we are pleased to approve your design plans for the garage/carriage house structure. We think it will be an enhancement to the neighborhood and wish you the very best during the building process.

Warm Regards,



Dick Francis



Lyle Loveall



Claudia Francis