

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	November 2, 2016
<b>PROJECT:</b>	12 Lawrence Street – New Construction: Carriage House
<b>APPLICANT:</b>	Tyler Melnik
<b>PROJECT MANAGER:</b>	Erin Schumacher, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Tyler Melnik, requests that the Historic Preservation Commission approve the following application:

1. **COFA-8-16-9995.** A Certificate of Appropriateness-HD to allow the construction of a carriage house of approximately 880 SF on the currently developed single family residential lot located at 12 Lawrence Street in the Old Town Bluffton Historic District, and zoned Neighborhood General-HD.

**INTRODUCTION:** The Applicant is proposing the construction of a detached carriage house of approximately 880 SF located in the Old Town Bluffton Historic District. The property is currently under development to construct the primary structure, and has a protected 21" Southern Magnolia at the front of the property. The primary structure was reviewed and approved by the HPC in April of 2016 as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. Due to the location of the 21" Southern Magnolia and the unique geometry of the lot, a variance request was also presented and approved by the Board of Zoning Appeals (BZA) on March 15, 2016 to allow the western side setback to be reduced from 10' to 3'.

For this application, the proposed garage, of approximately 880 SF, meets the criteria and lot standards of the Carriage House Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. It also meets the square footage, maximum footprint, and dimensional requirements and has the following characteristics:

- It is a detached accessory structure;
- It is to be used as a garage with living space above;
- It is limited to 2 cars with a maximum garage door width of 12'; and
- It was designed in the same general character of the primary structure.

The Carriage House is a simple two story structure with a forward facing gable. The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by incorporating a variety of typical architectural features such as the use

of horizontal lap siding, bracketed roof overhangs at the entrances, and corner board trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the August 15, 2016 meeting where comments were provided to the Applicant (See Attachment 5).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new Carriage House in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request is in conformance with those standards.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of this proposed residential structure adds to the district as and helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that the design of the garage falls within the category of Carriage House Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. and it meets the required placement and lot standards.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
- 1) Section 5.15.6.P. Cornice, Soffit, and Frieze. The architectural section shows the eave with a closed soffit and notes the use of plywood. The UDO has requirements for the configuration of closed soffits and states that rough sawn wood, plywood, and aluminum are not permitted materials for soffit or cornice detailing. The material must be revised to ensure that it meet the requirements of the UDO.
  - 2) Recommendation. The UDO notes that the Carriage House must have the same general character as the primary structure. To provide better cohesiveness between the two structures consider modifying the roof form (i.e. gable to hip) and/or adding shutters.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

*Finding.* Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

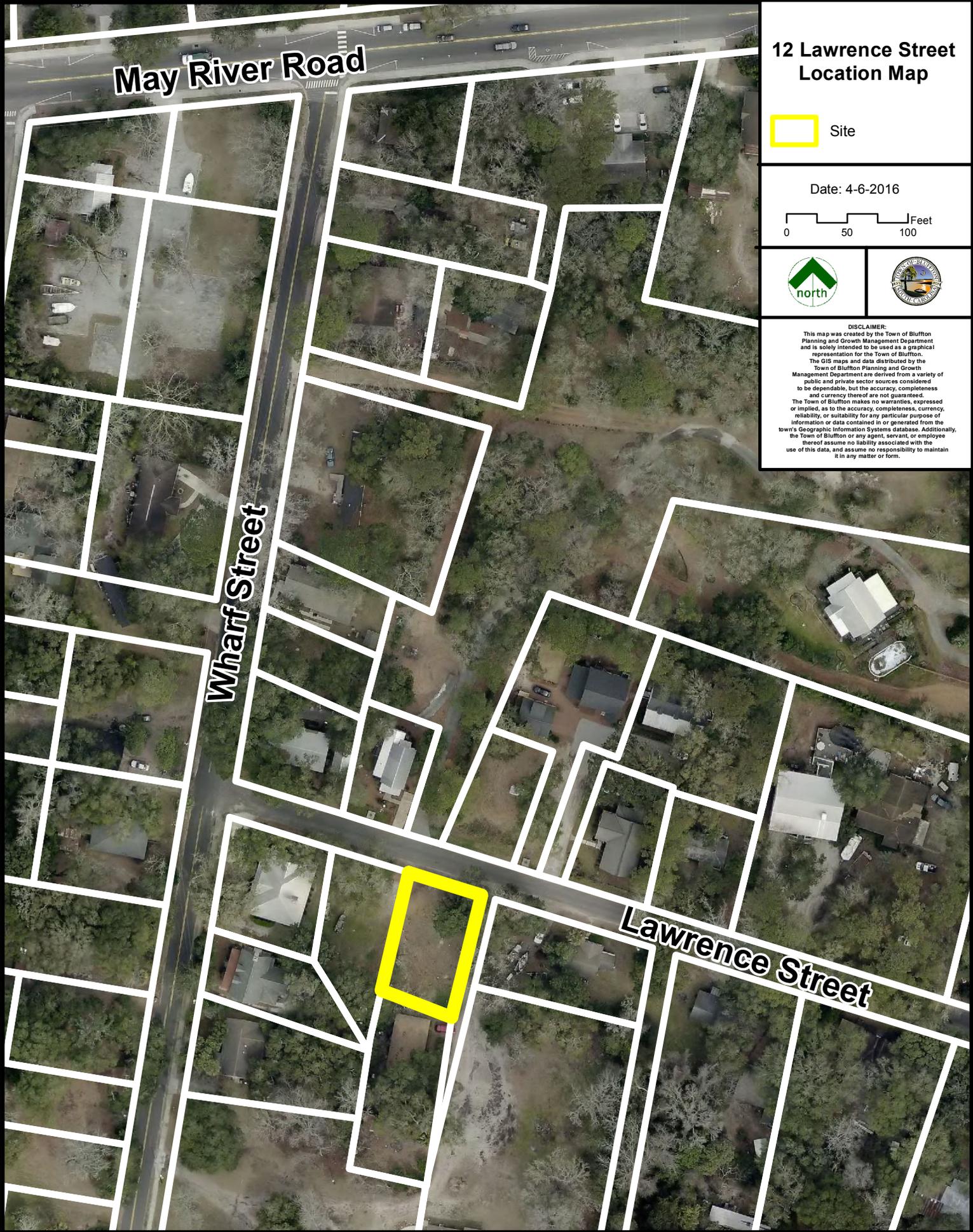
*Finding.* The application has been reviewed by Town Staff and has been determined to be incomplete. A landscape plan noting foundation plantings must be submitted for review by Town Staff.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.8.F. of the UDO, consider modifying the roof form (i.e. gable to hip) and/or adding shutters to provide better architectural cohesiveness between the two structures.
2. Per Section 5.15.6.P. of the UDO, the architectural section through the eave must be revised to ensure that the soffit materials meet the requirements of the UDO.
3. Per the Applications Manual a landscape plan must be submitted to Town Staff for review and approval.

**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



**12 Lawrence Street  
Location Map**

 Site

Date: 4-6-2016

0 50 100 Feet



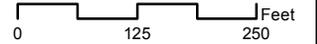
**DISCLAIMER:**  
This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton.  
The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

### 12 Lawrence Street New Construction Zoning Map

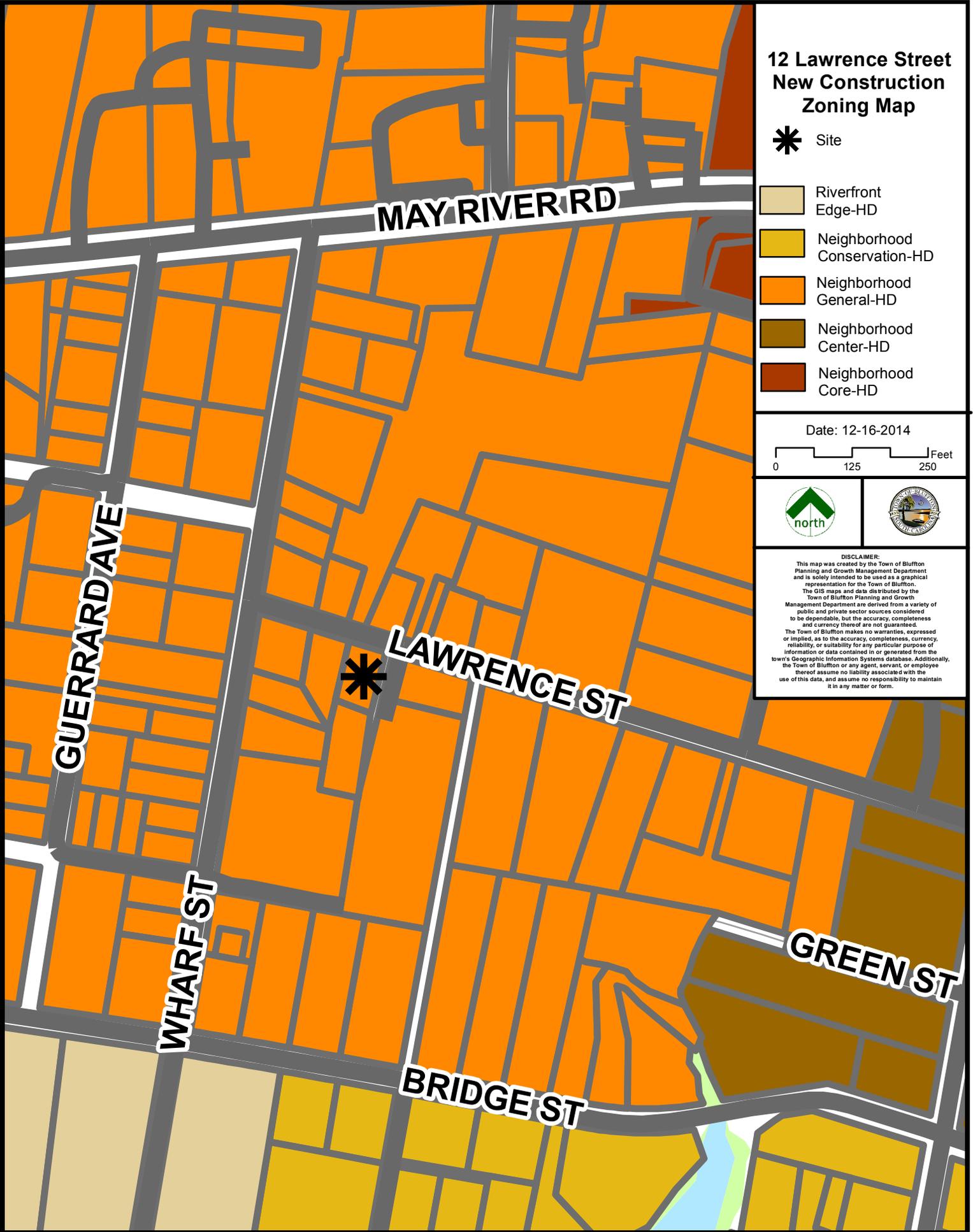
✱ Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD

Date: 12-16-2014



**DISCLAIMER:**  
This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton.  
The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed.  
The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.



## PROJECT NARRATIVE

### 12 Lawrence Street-Garage

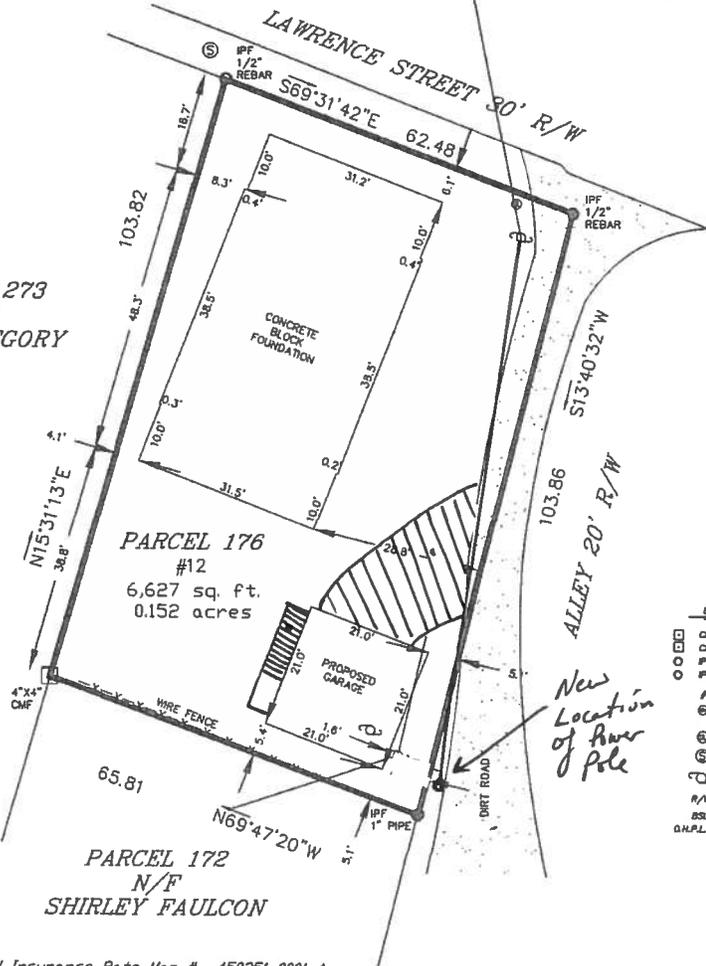
This application is being submitted for the proposed construction of a garage adjacent to single family primary residence on 12 Lawrence Street in the historic district of Bluffton. Proposed uses and activities will be the garage for the residence of a single family for myself, my wife and two small boys. There will be a room above the garage for storage. It is anticipated that the area above the garage portion will be used as an additional guest room for family when completed.

The building will be a carriage house or other outbuilding as detailed in the UDO. The home will be on a concrete foundation with hardi-style siding, wooden doors and either wooden or metal garage doors.



LOCATION MAP NOT TO SCALE

PARCEL 273  
N/F  
JOHN GREGORY



PARCEL 176  
#12  
6,627 sq. ft.  
0.152 acres

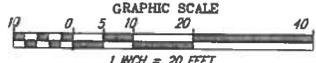
PARCEL 172  
N/F  
SHIRLEY FAULCON

- LEGEND**
- ☐ CMS - CONCRETE MONUMENT SET
  - ☐ CMF - CONCRETE MONUMENT FOUND
  - IPS - IRON PIN SET
  - IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - ⊕ - TELEPHONE PEDISTAL/COMBINATION
  - ⊙ - SEWER LATERAL
  - ⊙ - SANITARY SEWER MANHOLE
  - ⊙ - POWER POLE
  - R/W - RIGHT OF WAY
  - BSL - BUILDING SETBACK LINE
  - O.H.P.L. - OVERHEAD POWER LINE

*New Location of Power Pole*

- NOTES:**
1. According To FEMA Flood Insurance Rate Map # 450251 0001 A This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A Ft. NGVD29
  2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
  3. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

DIST. 610, MAP 39A, PARCEL 176  
REFERENCE PLAT(s):  
PLAT BOOK 98 AT PAGE 86



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF  
**ANDREW TYLER MELNICK & KRISTIN ELIZABETH MELNICK**

A FOUNDATION SURVEY ON PARCEL 176 LAWRENCE STREET,  
DISTRICT 610, TAX MAP 39A,  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

REVISED: 8/3/16 TO SHOW  
PROPOSED GARAGE.

DATE: JUNE 20, 2016

**T-SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS  
P.O. Drawer 330  
139 Burnt Church Road  
Bluffton, S.C. 29910  
tsquare@hargray.com  
Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

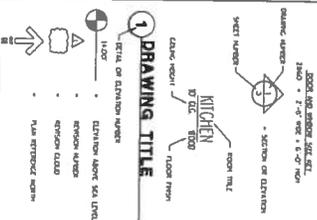
ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED.

*W. J. Smith*  
WILLIAM J. SMITH, PLS # 26960



JOB # 16-231F

**SYMBOLS + KEYS**



SYMBOL	DESCRIPTION
1	SECTION OR ELEVATION
2	ROOM TITLE
3	DRAWING TITLE
4	FLOOR PLAN
5	SECTION
6	ELEVATION
7	PLAN REFERENCE MARK
8	SECTION REFERENCE MARK
9	ELEVATION REFERENCE MARK
10	SECTION REFERENCE MARK
11	ELEVATION REFERENCE MARK
12	SECTION REFERENCE MARK
13	ELEVATION REFERENCE MARK
14	SECTION REFERENCE MARK
15	ELEVATION REFERENCE MARK
16	SECTION REFERENCE MARK
17	ELEVATION REFERENCE MARK
18	SECTION REFERENCE MARK
19	ELEVATION REFERENCE MARK
20	SECTION REFERENCE MARK
21	ELEVATION REFERENCE MARK
22	SECTION REFERENCE MARK
23	ELEVATION REFERENCE MARK
24	SECTION REFERENCE MARK
25	ELEVATION REFERENCE MARK
26	SECTION REFERENCE MARK
27	ELEVATION REFERENCE MARK
28	SECTION REFERENCE MARK
29	ELEVATION REFERENCE MARK
30	SECTION REFERENCE MARK
31	ELEVATION REFERENCE MARK
32	SECTION REFERENCE MARK
33	ELEVATION REFERENCE MARK
34	SECTION REFERENCE MARK
35	ELEVATION REFERENCE MARK
36	SECTION REFERENCE MARK
37	ELEVATION REFERENCE MARK
38	SECTION REFERENCE MARK
39	ELEVATION REFERENCE MARK
40	SECTION REFERENCE MARK
41	ELEVATION REFERENCE MARK
42	SECTION REFERENCE MARK
43	ELEVATION REFERENCE MARK
44	SECTION REFERENCE MARK
45	ELEVATION REFERENCE MARK
46	SECTION REFERENCE MARK
47	ELEVATION REFERENCE MARK
48	SECTION REFERENCE MARK
49	ELEVATION REFERENCE MARK
50	SECTION REFERENCE MARK

CONCEPTUAL EXTERIOR



**GARAGE 123105**

**DRAWING INDEX**

- C0 COVER SHEET
- C1 FLOOR PLANS/ ELECTRICAL PLANS/ ROOF PLAN/ DETAILS
- C2 ELEVATIONS/ WALL SECTION/ DETAILS
- S01 SPECIFICATIONS
- S02 SPECIFICATIONS
- S03 SPECIFICATIONS

**GENERAL INFO.**

DATE: 04/15/16  
 DRAWN BY: JRM  
 CHECKED BY: JRM

Copyright 2016 by Allison Ramsey Architects, Inc. All rights reserved.

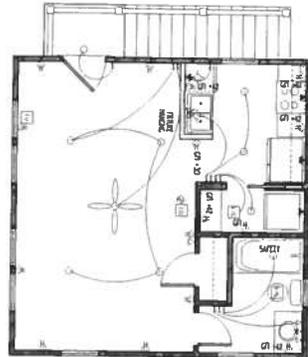
DWG. NO.	123105 GARAGE PLAN SET
DWG. DATE	04/15/16
DWG. NAME	123105 - Garage.dwg

ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF ALLISON RAMSEY ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLISON RAMSEY ARCHITECTS, INC. THIS DOCUMENT IS THE PROPERTY OF ALLISON RAMSEY ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLISON RAMSEY ARCHITECTS, INC.

**ALLISON RAMSEY Architects**  
 1033 Cherokee St.  
 Beaufort, SC 29902  
 (843) 756-0539  
 www.allisonramseyarchitect.com

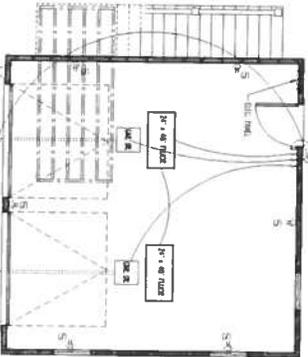
**GARAGE 123105**

**GO**

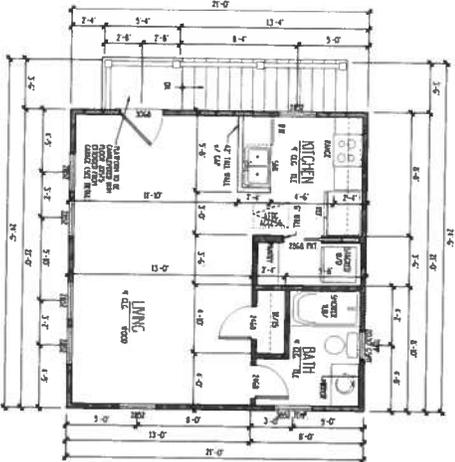


SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

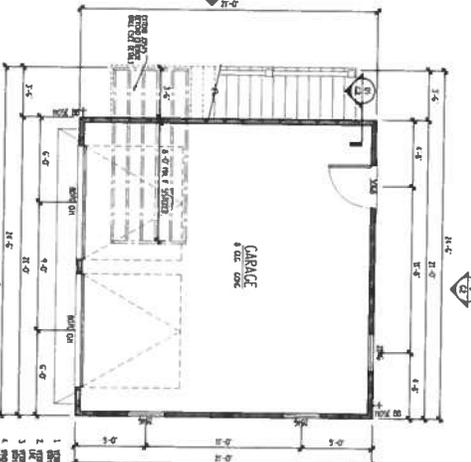
1	WALL OUTLET
2	WALL SW. OUTLET
3	SWITCH
4	RECESSED LIGHT
5	RECESSED LIGHT
6	RECESSED LIGHT
7	RECESSED LIGHT
8	RECESSED LIGHT
9	RECESSED LIGHT
10	RECESSED LIGHT
11	RECESSED LIGHT
12	RECESSED LIGHT
13	RECESSED LIGHT
14	RECESSED LIGHT
15	RECESSED LIGHT
16	RECESSED LIGHT
17	RECESSED LIGHT
18	RECESSED LIGHT
19	RECESSED LIGHT
20	RECESSED LIGHT
21	RECESSED LIGHT
22	RECESSED LIGHT
23	RECESSED LIGHT
24	RECESSED LIGHT
25	RECESSED LIGHT
26	RECESSED LIGHT
27	RECESSED LIGHT
28	RECESSED LIGHT
29	RECESSED LIGHT
30	RECESSED LIGHT
31	RECESSED LIGHT
32	RECESSED LIGHT
33	RECESSED LIGHT
34	RECESSED LIGHT
35	RECESSED LIGHT
36	RECESSED LIGHT
37	RECESSED LIGHT
38	RECESSED LIGHT
39	RECESSED LIGHT
40	RECESSED LIGHT
41	RECESSED LIGHT
42	RECESSED LIGHT
43	RECESSED LIGHT
44	RECESSED LIGHT
45	RECESSED LIGHT
46	RECESSED LIGHT
47	RECESSED LIGHT
48	RECESSED LIGHT
49	RECESSED LIGHT
50	RECESSED LIGHT
51	RECESSED LIGHT
52	RECESSED LIGHT
53	RECESSED LIGHT
54	RECESSED LIGHT
55	RECESSED LIGHT
56	RECESSED LIGHT
57	RECESSED LIGHT
58	RECESSED LIGHT
59	RECESSED LIGHT
60	RECESSED LIGHT
61	RECESSED LIGHT
62	RECESSED LIGHT
63	RECESSED LIGHT
64	RECESSED LIGHT
65	RECESSED LIGHT
66	RECESSED LIGHT
67	RECESSED LIGHT
68	RECESSED LIGHT
69	RECESSED LIGHT
70	RECESSED LIGHT
71	RECESSED LIGHT
72	RECESSED LIGHT
73	RECESSED LIGHT
74	RECESSED LIGHT
75	RECESSED LIGHT
76	RECESSED LIGHT
77	RECESSED LIGHT
78	RECESSED LIGHT
79	RECESSED LIGHT
80	RECESSED LIGHT
81	RECESSED LIGHT
82	RECESSED LIGHT
83	RECESSED LIGHT
84	RECESSED LIGHT
85	RECESSED LIGHT
86	RECESSED LIGHT
87	RECESSED LIGHT
88	RECESSED LIGHT
89	RECESSED LIGHT
90	RECESSED LIGHT
91	RECESSED LIGHT
92	RECESSED LIGHT
93	RECESSED LIGHT
94	RECESSED LIGHT
95	RECESSED LIGHT
96	RECESSED LIGHT
97	RECESSED LIGHT
98	RECESSED LIGHT
99	RECESSED LIGHT
100	RECESSED LIGHT



FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

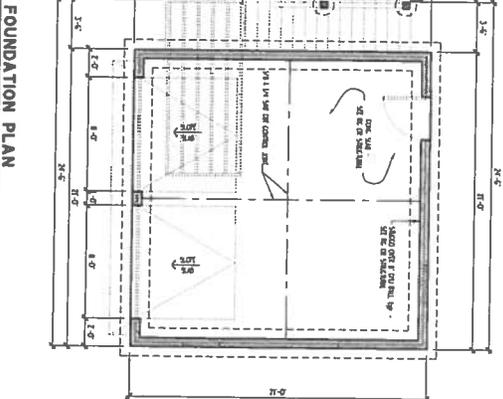


SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

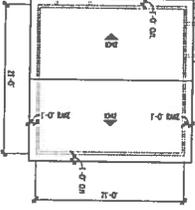


FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

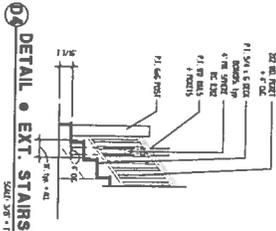
1. SEE ARCHITECTURAL FLOOR FINISHES
2. SEE ARCHITECTURAL SECTION FOR FINISHES
3. SEE ARCHITECTURAL SECTION FOR FINISHES
4. SEE ARCHITECTURAL SECTION FOR FINISHES
5. SEE ARCHITECTURAL SECTION FOR FINISHES
6. SEE ARCHITECTURAL SECTION FOR FINISHES
7. SEE ARCHITECTURAL SECTION FOR FINISHES
8. SEE ARCHITECTURAL SECTION FOR FINISHES
9. SEE ARCHITECTURAL SECTION FOR FINISHES
10. SEE ARCHITECTURAL SECTION FOR FINISHES



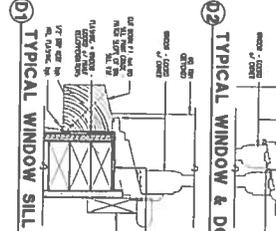
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



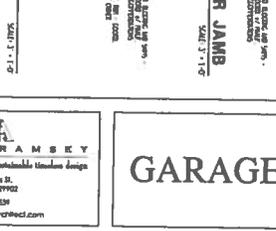
ROOF PLAN  
SCALE: 1/4" = 1'-0"



DETAIL - EXT. STAIRS  
SCALE: 3/8" = 1'-0"



TYPICAL WINDOW & DOOR HEAD  
SCALE: 3/8" = 1'-0"



TYPICAL WINDOW & DOOR JAMB  
SCALE: 3/8" = 1'-0"



TYPICAL WINDOW SILL  
SCALE: 3/8" = 1'-0"

Copyright 2016 by Allison Ramsey Architects, Inc. All rights reserved.

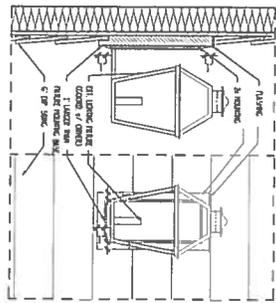
DATE: 06/01/2016  
 JOB NO: 12300 GARAGE PLAN SET  
 DRAWN BY: JF  
 CHECKED BY: J23000 - Corbett

**G1**

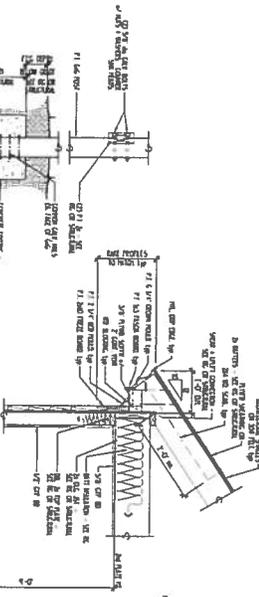
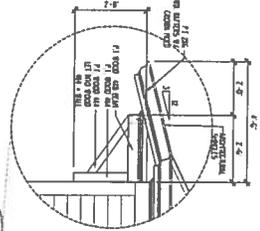
THIS PLAN IS THE PROPERTY OF ALLISON RAMSEY ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLISON RAMSEY ARCHITECTS, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS PLAN IS STRICTLY PROHIBITED AND WILL BE PUNISHED TO THE FULL EXTENT OF THE LAW.

**ALLISON RAMSEY**  
 Architects Inc. providing remarkable timeless design  
 1000 Charles St.  
 Beaufort SC, 29502  
 843 986-0536  
 www.allisonramseyarchitect.com

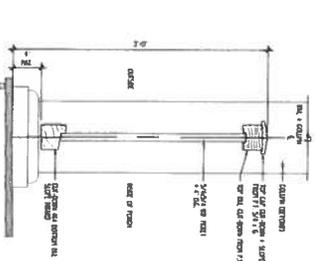
**GARAGE 123105**



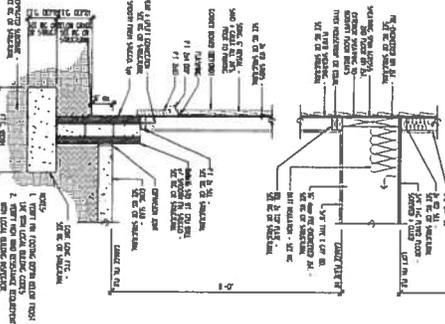
**D4** EXTERIOR LIGHTING MOUNT DETAIL  
SCALE: 1/4" = 1'-0"



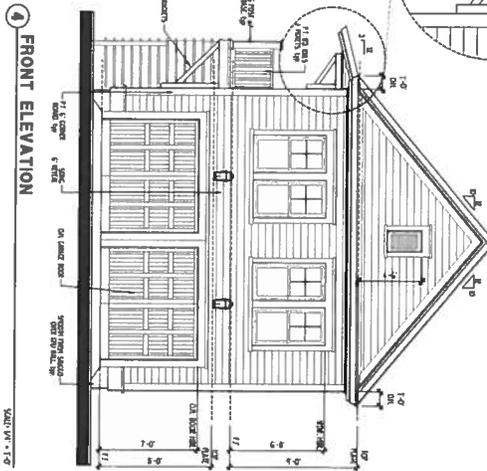
**D3** 8x8 POST DETAIL  
SCALE: 3/4" = 1'-0"



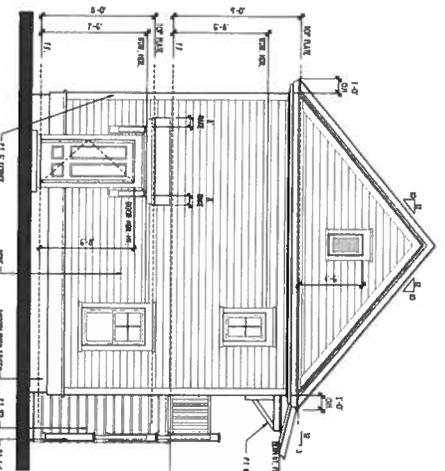
**D2** PICKET & RAIL DETAIL  
SCALE: 1/4" = 1'-0"



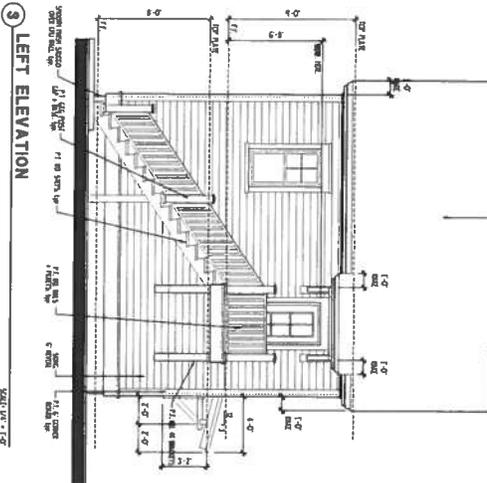
**D1** TYP. GARAGE SECTION  
SCALE: 3/8" = 1'-0"



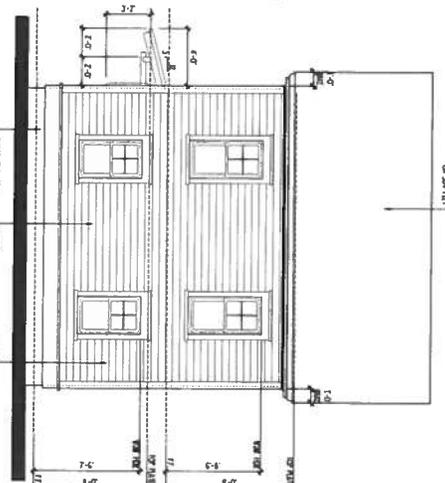
**1** FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**2** REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**3** LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



**1** RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

Copyright 2014 by Allison Ramsey Architects, Inc. All rights reserved.

DATE:	08-01-2006
DESIGN BY:	ALLISON RAMSEY ARCHITECTS
DATE:	0
PROJECT:	123105 - Garage

The firm and its employees shall not be held responsible for any errors or omissions in this drawing. The client is responsible for providing accurate information and for obtaining all necessary permits. The firm is not responsible for any construction or other work not shown on this drawing. The firm is not responsible for any construction or other work not shown on this drawing.

**ARRAMSEY**  
Architects Inc. creating remarkable residential design  
1000 Charles St.  
Beaufort, NC 27902  
(252) 956-0559  
www.allisonramsey.com

**GARAGE 123105**

**G2**



# PLAN REVIEW COMMENTS FOR COFA-08-16-009995

Town of Bluffton

Department of Growth Management

20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910

Telephone 843-706-4522

OLD TOWN

**Plan Type:** Historic District **Apply Date:** 08/04/2016

**Plan Status:** Active **Plan Address:** 12 Lawrence St  
BLUFFTON, SC 29910

**Case Manager:** Erin Schumacher **Plan PIN #:** R610 039 00A 0176 0000

**Plan Description:** The applicant is requesting approval to construct a new garage adjacent to the single family residence. There will be a guest room above the garage to be used for family. The building will be a carriage house or other outbuilding as detailed in the UDO.  
**STATUS:** The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the August 15th meeting.

## Staff Review (HD)

**Submission #: 1**      Received: 08/04/2016      Completed: 08/12/2016

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	08/12/2016	Erin Schumacher	Approved with Conditions

**Comments:**

- For the final submittal, a landscape plan noting foundation plantings and any proposed tree removal must be submitted as not enough information was provided to review with conformance with the UDO. (Applications Manual)
- The plans note the use of plywood soffit. The UDO states that rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. This material must be revised to a permitted material. (UDO Section 5.15.6.P.10.)
- While not required, consider adding modifying the window pane configuration and/or the roof form (i.e. gable to hip) to promote better architectural cohesiveness between the character of the main house and the carriage house. (UDO Section 5.15.8.F.)

HPRC Review	08/11/2016	Erin Schumacher	Approved with Conditions
-------------	------------	-----------------	--------------------------

**Comments:**

- Indicate on the site plan the location of the driveway and the full building footprint, including the location of the stair so that it may be reviewed for conformance with setback requirements. (Applications Manual).
- Consider using the same metal roofing material proposed on the main house for consistency. The plans note the use of asphalt shingle while the project analysis states metal. Clarify the proposed roof material. (UDO Section 5.15.6.J. and 5.15.8.F.)
- While not required, consider adding shutters to promote better architectural cohesiveness between the character of the main house and the carriage house. (UDO Section 5.15.8.F.)

Transportation Department Review - HD	08/12/2016	Kevin Icard	Approved with Conditions
---------------------------------------	------------	-------------	--------------------------

**Comments:**

- Based on the site plan submitted the existing over head power line is hanging over the building. Either the building or the power line must be move to an appropriate distance.

Beaufort Jasper Water and Sewer Review	08/09/2016	Dick Deuel	Approved
--	------------	------------	----------

**Comments:**

- No comment submitted.

Building Safety Review	08/12/2016	Richard Spruce	Approved
------------------------	------------	----------------	----------

**Comments:**

1. The overhead power line may be a clearance issue for a two story structure. We can take a closer look at this with the building permit application.
2. The projections from the roof will have to be rated due to their being closer than 5 feet from the property line.
3. Additional comments are reserved for the permit application plans review.

Watershed Management Review

08/12/2016

Beth Lewis

Approved

**Comments:**

The following construction site Best Management Practices (BMPs) should be implemented for all construction site activities. Where applicable on site this includes:

1. Silt fencing buried a minimum of six inches below disturbed grade,
2. Temporary gravel driveways a minimum of 15 feet by 10 feet, and
3. Sediment barriers surrounding all catch basins or drop inlets on site and sediment socks on all catch basins or drop inlets adjoining to the site.

In addition, in areas where more than two feet of fill material has been placed or in areas adjacent to all wetlands, silt fencing must be used.

Addressing Review

08/04/2016

Theresa Thorsen

Approved

**Comments:**

1. No comment.

**Plan Review Case Notes:**