

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	January 6, 2016
PROJECT:	Lot 20B, 5802 Yaupon Road – New Construction: Single-Family Residential
APPLICANT:	Southern Coastal Homes
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Southern Coastal Homes, request that the Historic Preservation Commission approve the following application:

1. **COFA-6-15-9258.** A Certificate of Appropriateness to construct a new single family residence of approximately 2,545 SF and Carriage House of approximately 465 SF on the property is identified as 5802 Yaupon Road (Lot 20B) in the Stock Farm Development and is zoned as Neighborhood General-HD.

INTRODUCTION: The Applicants are proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,545 SF, has attributes of the Center Hall Building Type, but does not fully meet the lot requirements or dimensional requirements, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 465 SF which meets the design standards for that building type (Carriage House).

The main house structure is a 2-story gabled form with a single story gabled wing to the north and features a full length double front porch with additional rear porches under shed roofs at the rear.

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by integrating a variety of roof types including a gable roof, front and rear porches, and a combination of clapboard and board and batten siding. Additional materials that are in keeping with the vernacular of Bluffton are the use of square columns with bases and capitals, corner board trim and water table trim, and tabby stucco at the foundation wall and chimney.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 22, 2015 meeting and comments were provided to the Applicant (See attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.18.3.B.** Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence within the Stock Farm development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
- 1) Section 5.7.4.A.5. - Lot Layout and Design. As shown on the site plan access to the lot is currently proposed through existing street parking. The UDO states that every lot shall have access to a public or private roadway and that the access may be recorded via a cross or shared access easement. Additional information about the access to this lot must be provided.
 - 2) Sections 5.15.5.F.1.c. and 5.15.6.E.5.c. – Finished Floor Elevation. The General Standards require that residential structures shall have a first finished floor height raised a minimum of three (3) feet above the adjacent sidewalk grade. Additionally, Section 5.15.6.E.5.c. requires that the height from grade to top step of porches and stoops be no less than 30 inches. The current configuration shown on the plan depicts a first finished floor level at approximately 30 inches above the adjacent sidewalk and the height from grade to top of step of approximately 26 inches. The Applicant has proposed this height based on the heights from grade to top of step of porches seen in other houses located in the Stock Farm development. Town Staff has confirmed that there are other houses in the Stock Farm development that have distances from grade to top of step of porches that are less than 30 inches. While HPC has approved heights less than what is required in the past under certain circumstances, Town Staff finds that to meet the requirements of the UDO, the first finished floor height, as well as the porch and stoop heights must be revised to the appropriate dimensions.

- 3) Recommendation – There are shutters proposed only on two of the four sets of windows on the front elevation. Reconsider the use of shutters for better consistency, either adding additional ones to the rest of the structure or removing them completely.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter from the Stock Farm Habitat and Architectural Review Committee of Stock Farm must be supplied to Town Staff. As well, it appears at there are a number of large trees on the lot. As no tree removal plan was supplied for review, please note that any tree over 14" in diameter that is required to be removed for the placement of the structure will require a Town of Bluffton tree removal permit prior to any site clearing.

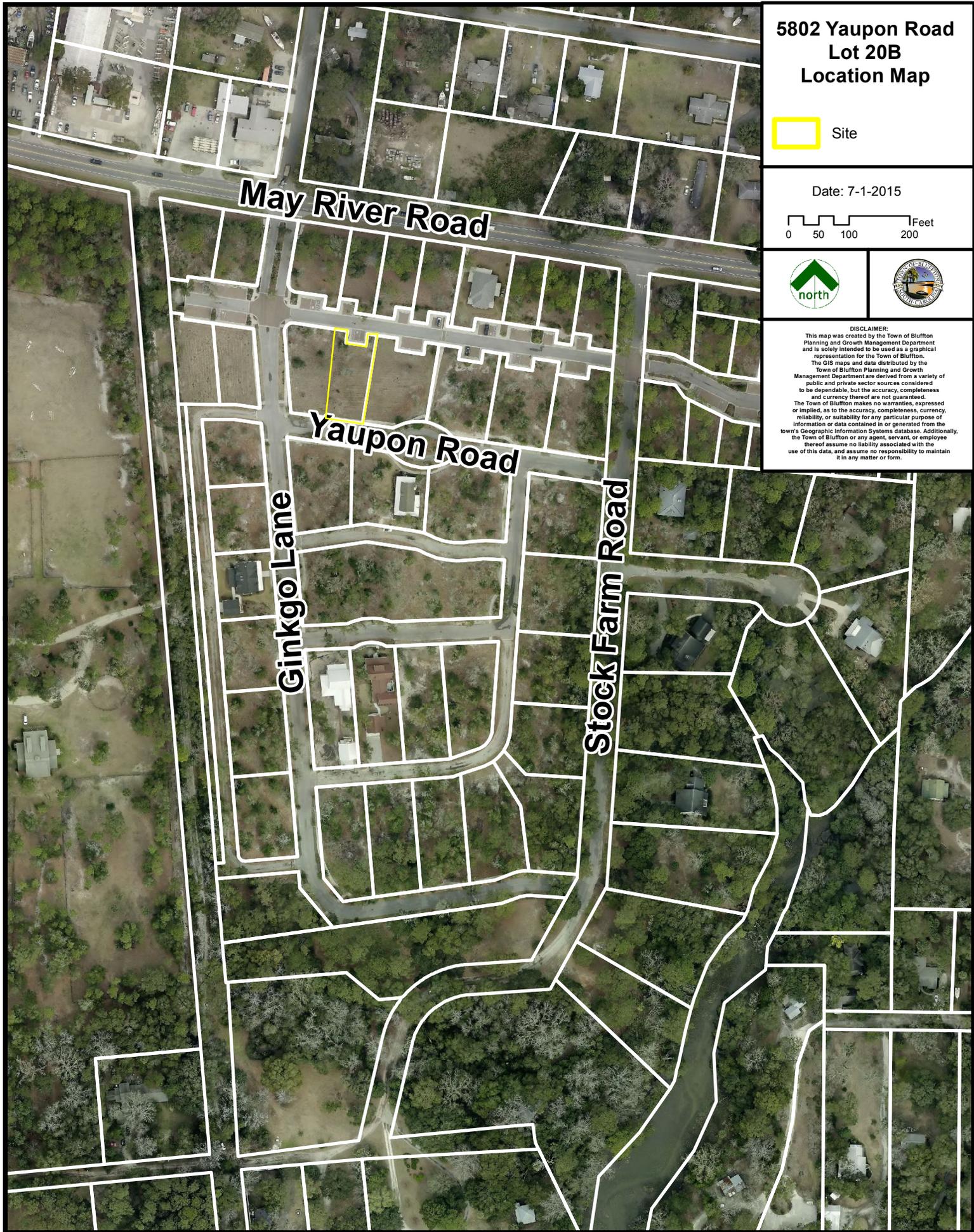
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.7.4.A.5., access must be provided to a public or private roadway through a curb cut and recorded (if necessary) via a cross or shared access easement.

2. Per Sections 5.15.5.F.1.c. 5.15.6.E.5.c., and 5.15.6.E.6.c., the first finished floor height must be increased to meet the minimum requirement of 3 feet above the adjacent sidewalk grade, as well, the porch and stoop heights must be revised to be no less than 30 inches from grade to top step.
3. Per Section 5.3.3.A.1. of the UDO, a Town of Bluffton tree removal permit is required for the removal of any trees over 14" in DBH.
4. Per the Applications Manual, a letter of approval from the Stock Farm HARB must be submitted, and any conditions addressed, before the issuance of the Certificate of Appropriateness.
5. Recommendation – reconsider the use of shutters to provide greater consistency on all elevations.

ATTACHMENTS:

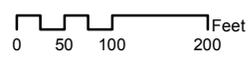
1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report



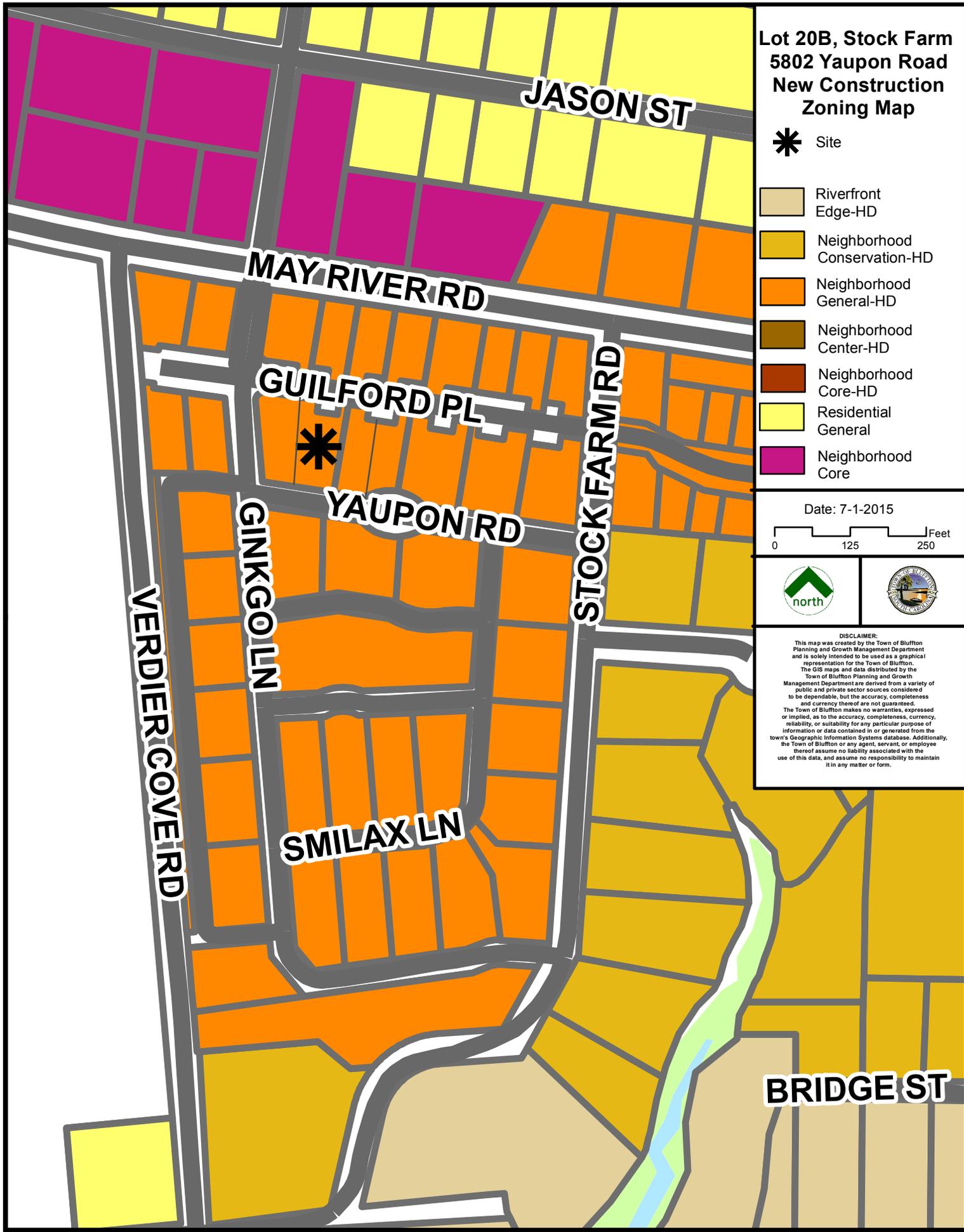
**5802 Yaupon Road
Lot 20B
Location Map**



Date: 7-1-2015



DISCLAIMER:
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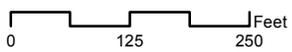


**Lot 20B, Stock Farm
5802 Yaupon Road
New Construction
Zoning Map**

***** Site

- Riverfront Edge-HD
- Neighborhood Conservation-HD
- Neighborhood General-HD
- Neighborhood Center-HD
- Neighborhood Core-HD
- Residential General
- Neighborhood Core

Date: 7-1-2015



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BRIDGE ST

Project Narrative

Stock Farm
Lot 20B

Summary

Applicant is currently under contract to purchase 7 work/live units in the Stock Farm development. Applicant has re-platted 5 live/work lots (lots 16-20) to create 9 residential lots (this density is currently approved under the existing development agreement). It is applicant's desire to build 11 residential structures all of which conform to the Town's Unified Development Ordinance.

Project

Applicant is submitting for review Lot 20B. This home includes a separate detached garage. The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.



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OCEAN WOODS LANDSCAPING

67 Union Cemetery Road Hilton Head Island, South Carolina 29928
 PH 843.682.4000 FX 843.682.4012 www.oceanwoods.com



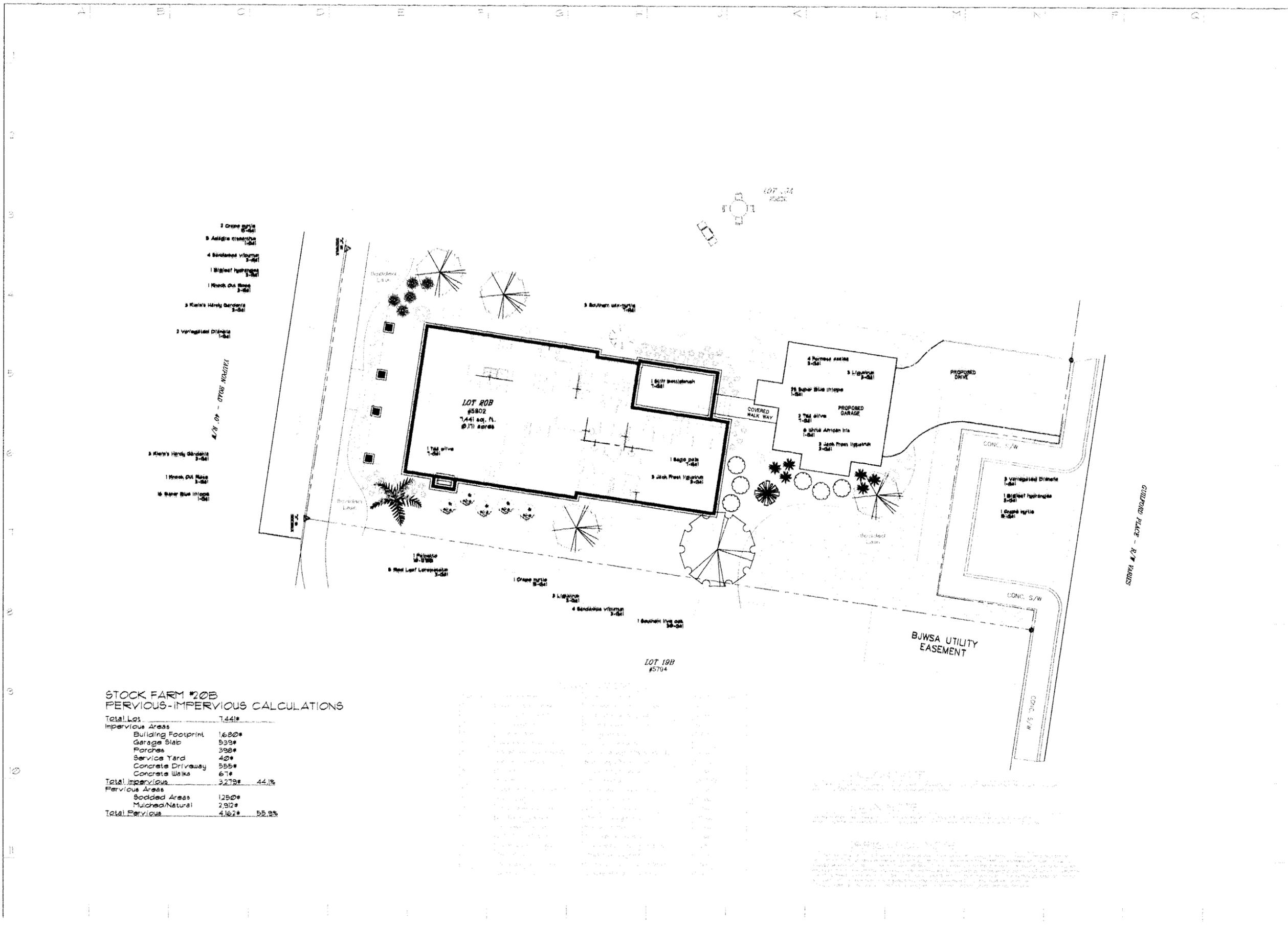
EXPERIENCE • EXCELLENCE • INTEGRITY

A LandPlan for
Southern Coastal Homes
 Lot 20B (5802) Yaupon Road
 Stock Farm, Bluffton, SC

By: M. Sherry
 Scale: 1" = 20'-0"
 Date: 1.31.15
 Revs: _____
 Revs: _____



Sht:



STOCK FARM #20B
PERVIOUS-IMPERVIOUS CALCULATIONS

Total Lot	7,441#
Impervious Areas	
Building Footprint	1,620#
Garage Slab	533#
Porches	398#
Service Yard	42#
Concrete Driveway	555#
Concrete Walks	67#
Total Impervious	3,215# 44.1%
Pervious Areas	
Sodded Areas	1,250#
Mulched/Natural	2,912#
Total Pervious	4,162# 55.9%

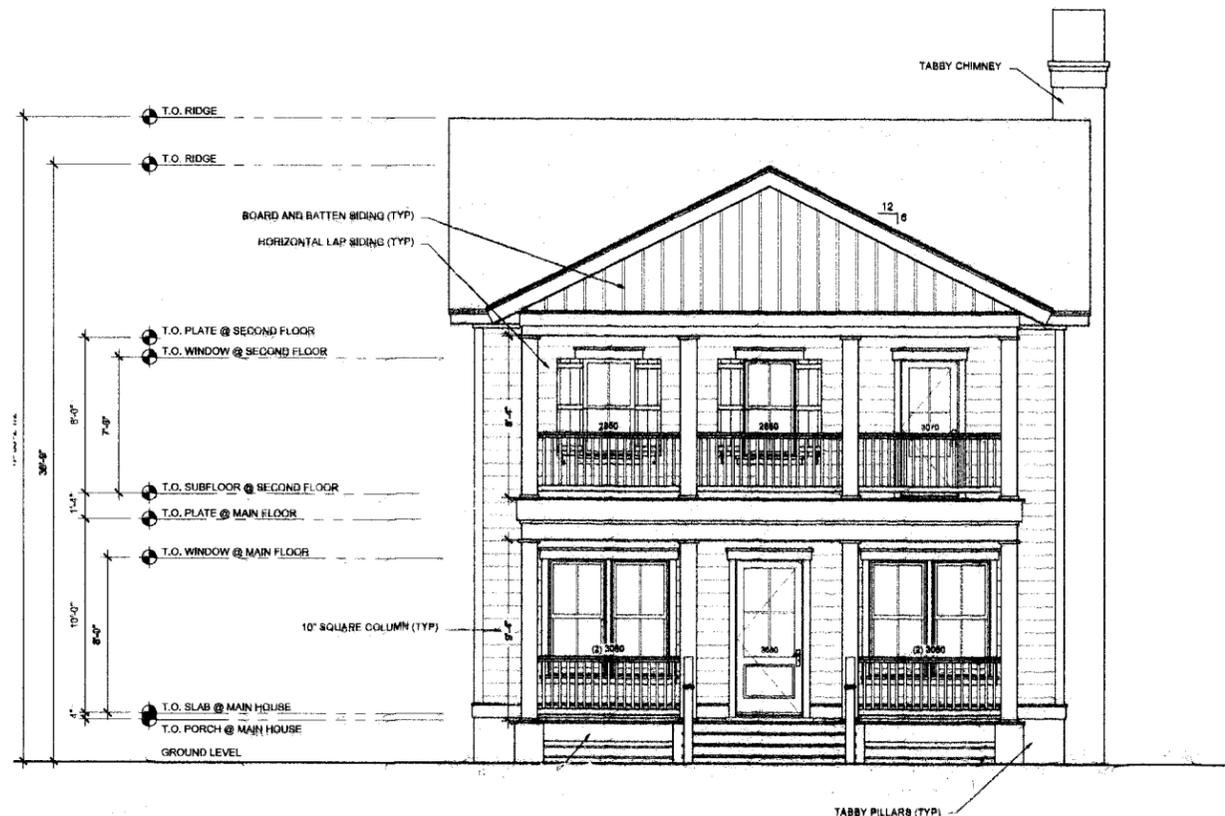


REVISIONS:

SOUTHERN COASTAL HOMES
 LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
 FRONT AND REAR ELEVATIONS

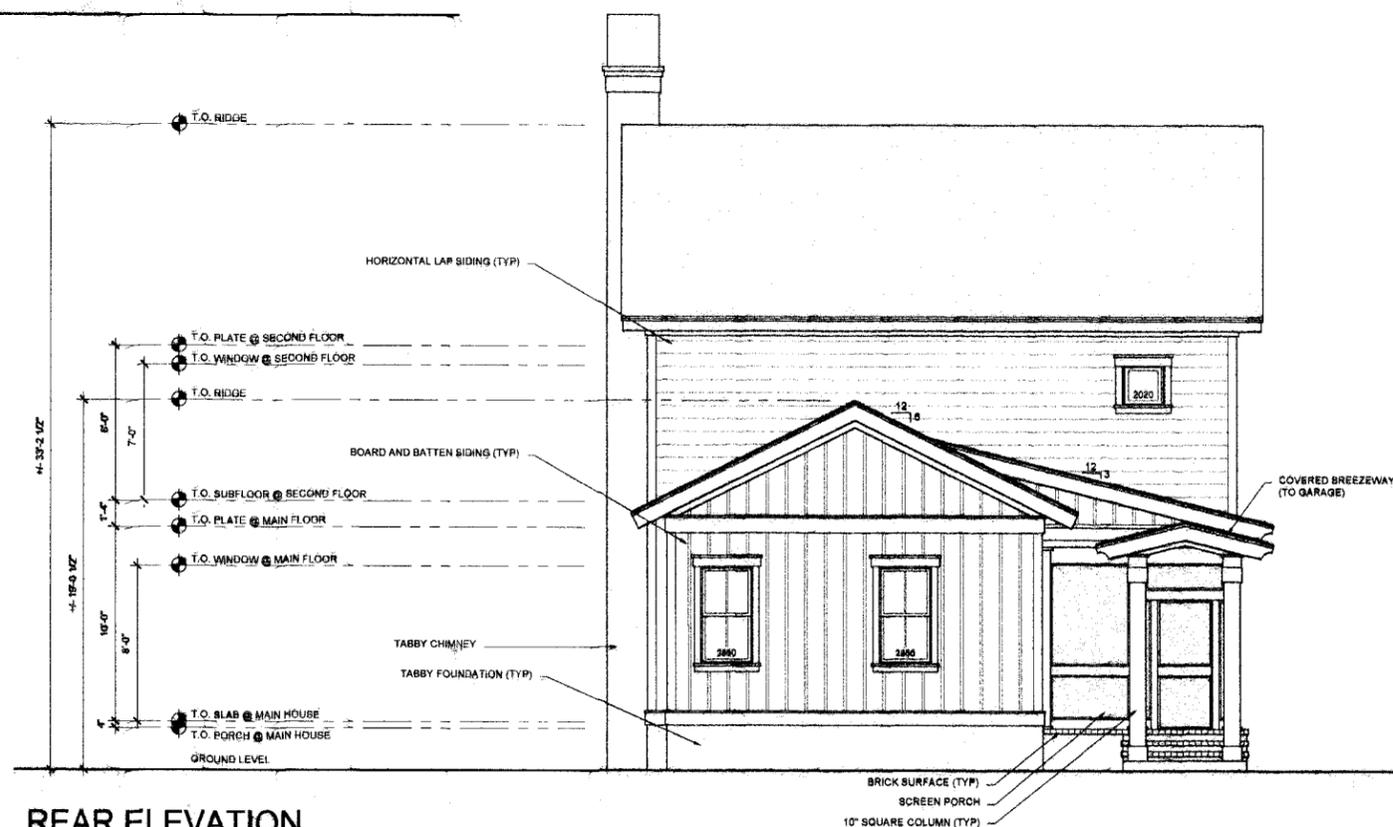
DATE: 12-08-2012
 DESIGNED BY: JED
 DRAWN BY: KBJ
 CHECKED BY: KBJ
 SCALE: AS SHOWN
 PROJECT #:
 SHEET NUMBER:
A-1

OVERALL SQ. FT. CALCULATIONS	
MAIN LEVEL:	1,597 SF
SECOND LEVEL:	948 SF
TOTAL HEATED:	2,545 SF
GARAGE:	465 SF
SCREEN PORCH:	171 SF
FRONT PORCH:	227 SF
TOTAL NON HEATED:	863 SF



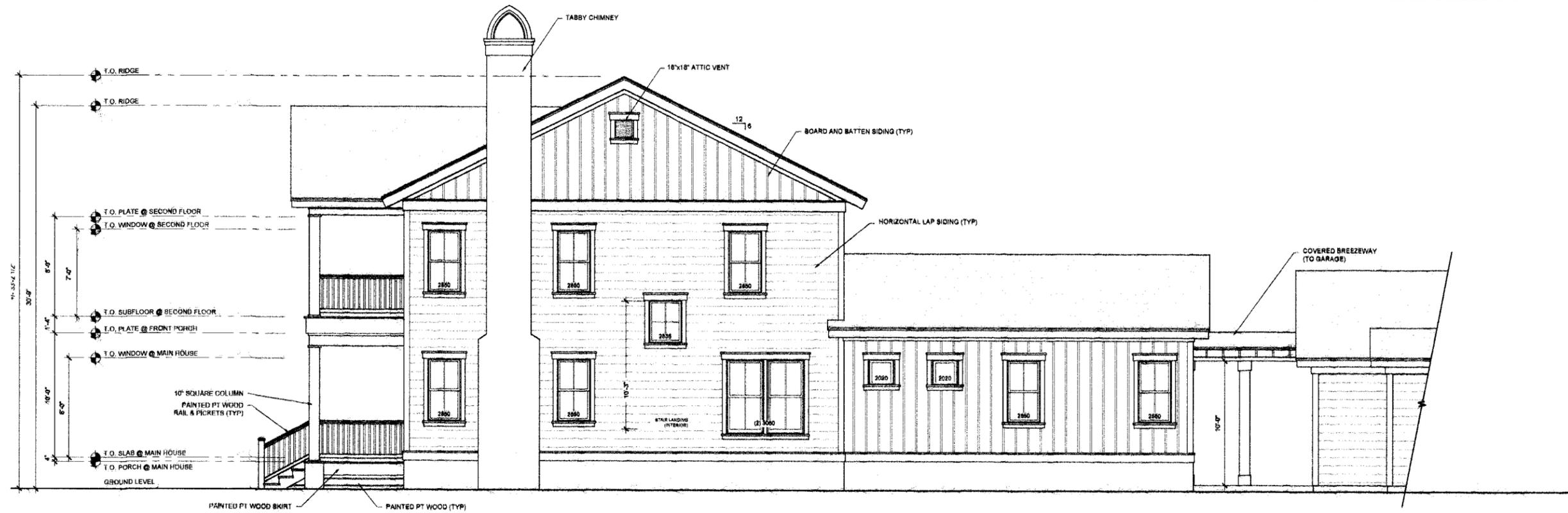
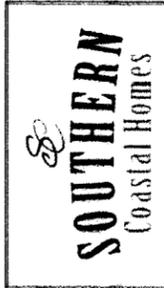
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



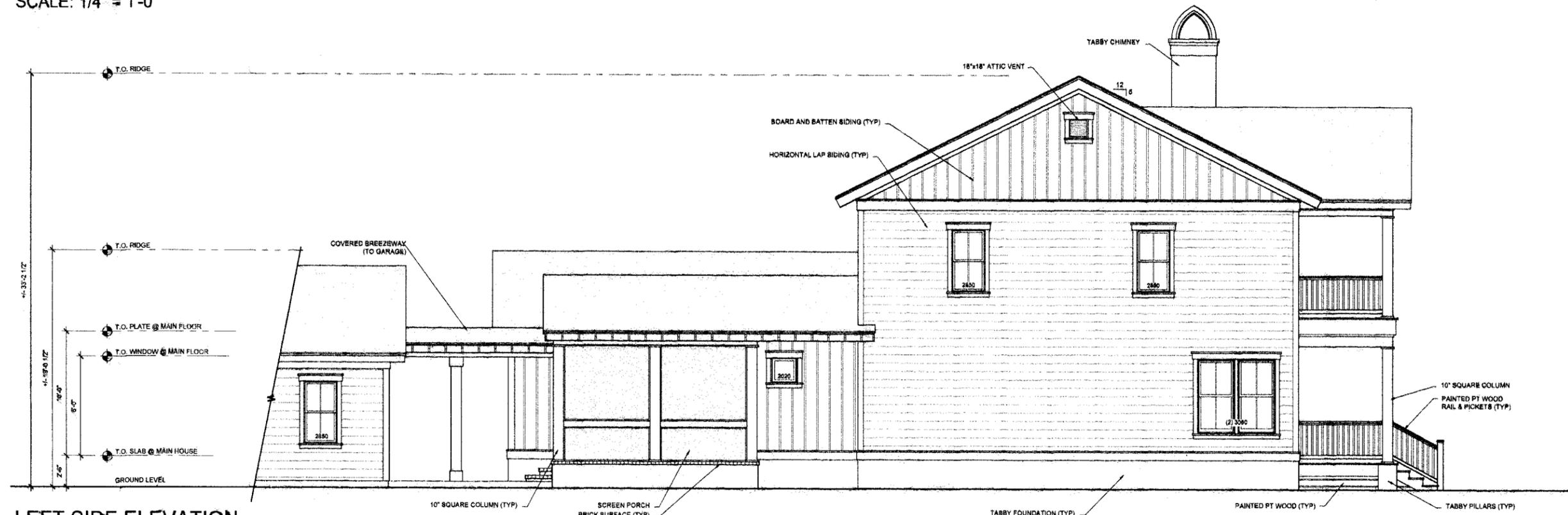
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



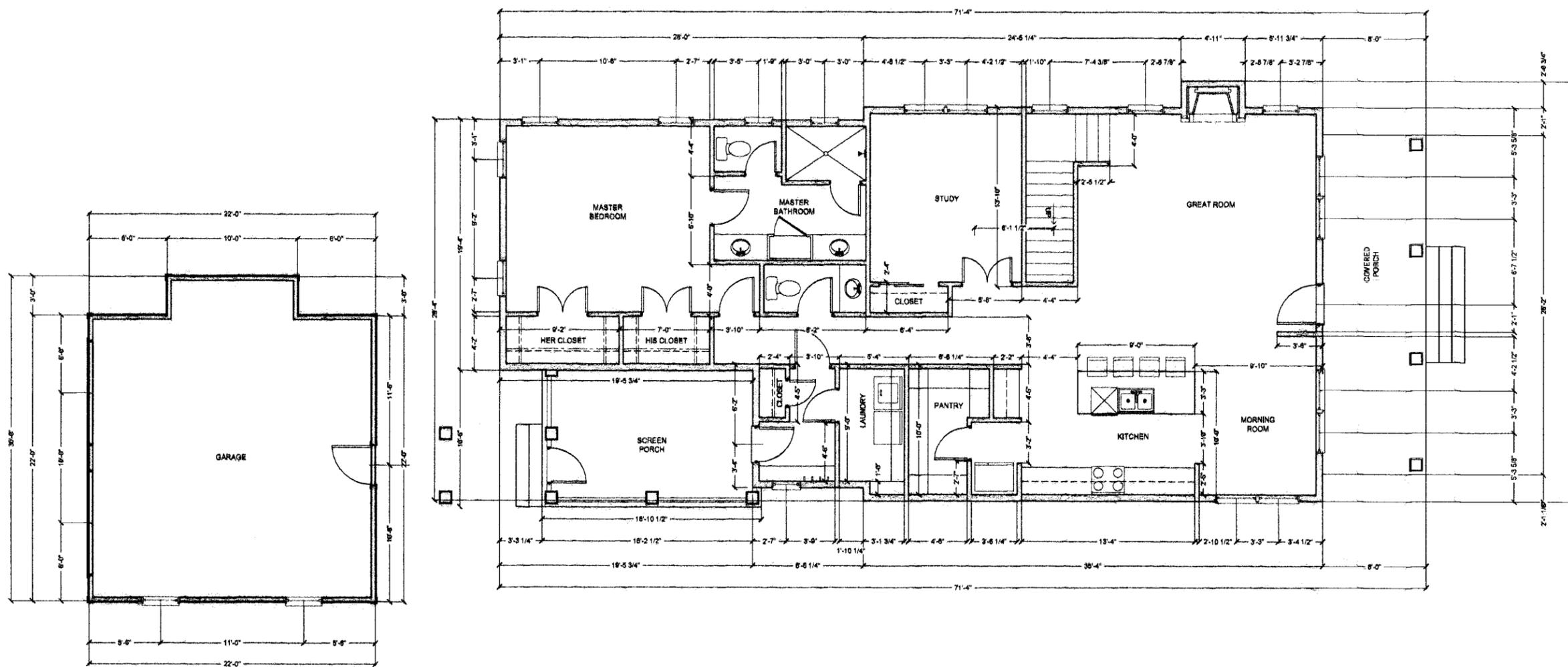
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES
 LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
 RIGHT AND LEFT SIDE ELEVATIONS

DATE: 12-08-2015
 DESIGNED BY: NED
 DRAWN BY: NED
 CHECKED BY: NED
 SCALE: AS SHOWN
 PROJECT #:
 SHEET NUMBER:
A-2



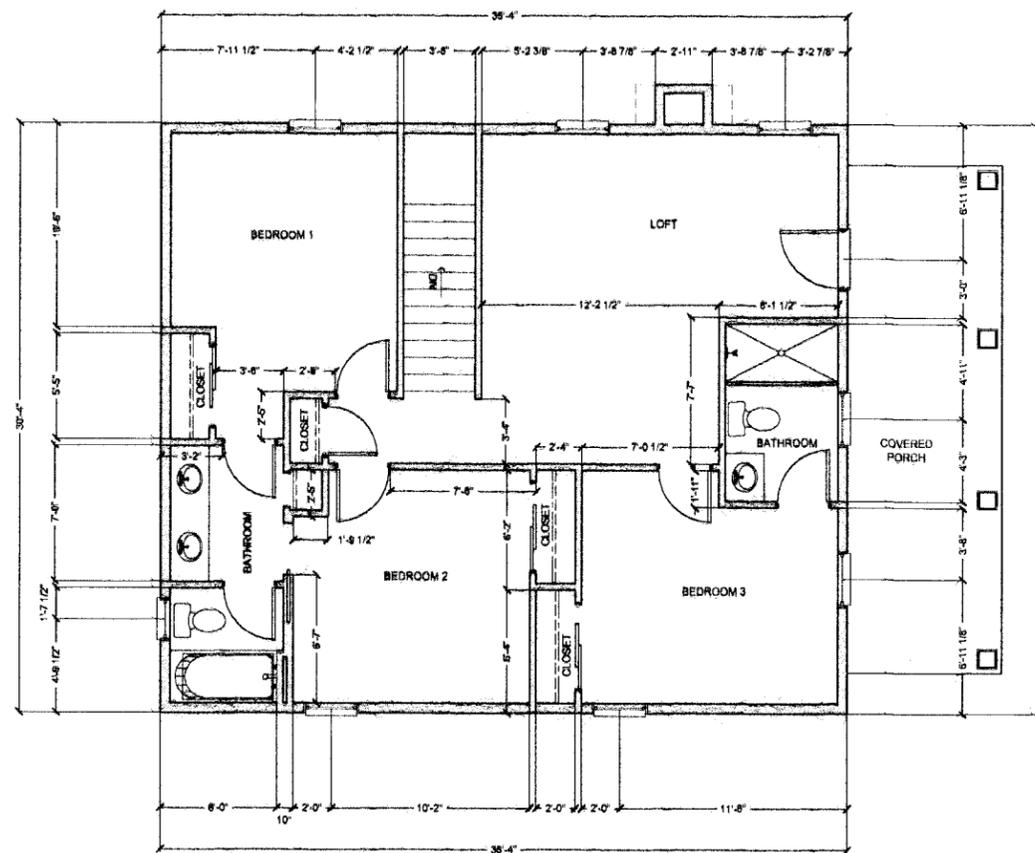
FIRST FLOOR

SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES
 LOT 20B
 STOCK FARM 1 BLUFFTON, SOUTH CAROLINA
 FLOOR PLAN - FIRST FLOOR

DATE: 12-28-2012
 DESIGNED BY: KED
 DRAWN BY: KED
 CHECKED BY: KED
 SCALE: AS SHOWN
 PROJECT #:

SHEET NUMBER:
A-4



SECOND FLOOR
 SCALE: 1/4" = 1'-0"

SOUTHERN COASTAL HOMES
LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
 FLOOR PLAN - SECOND FLOOR

DATE: 12-28-2016
 DESIGNED BY: ARD
 DRAWN BY: KED
 CHECKED BY: KED
 SCALE: AS SHOWN
 PROJECT #:
 SHEET NUMBER:
A-5

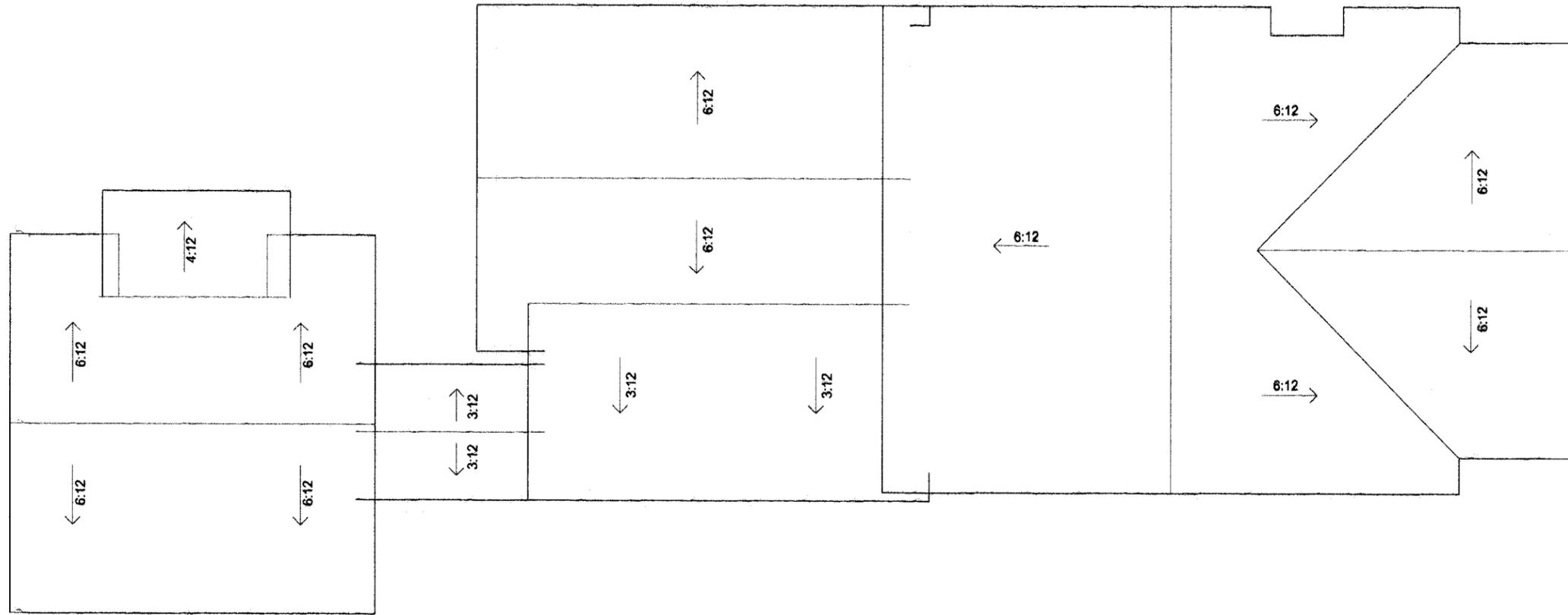
REVISIONS:



REVISIONS:

SOUTHERN COASTAL HOMES
LOT 20B
STOCK FARM | BLUFFTON, SOUTH CAROLINA
ROOF PLAN

DATE: 12-08-2015
DESIGNED BY: KBD
DRAWN BY: KBD
CHECKED BY: KBD
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER:
A-6



ROOF PLAN
SCALE: 1/4" = 1'-0"

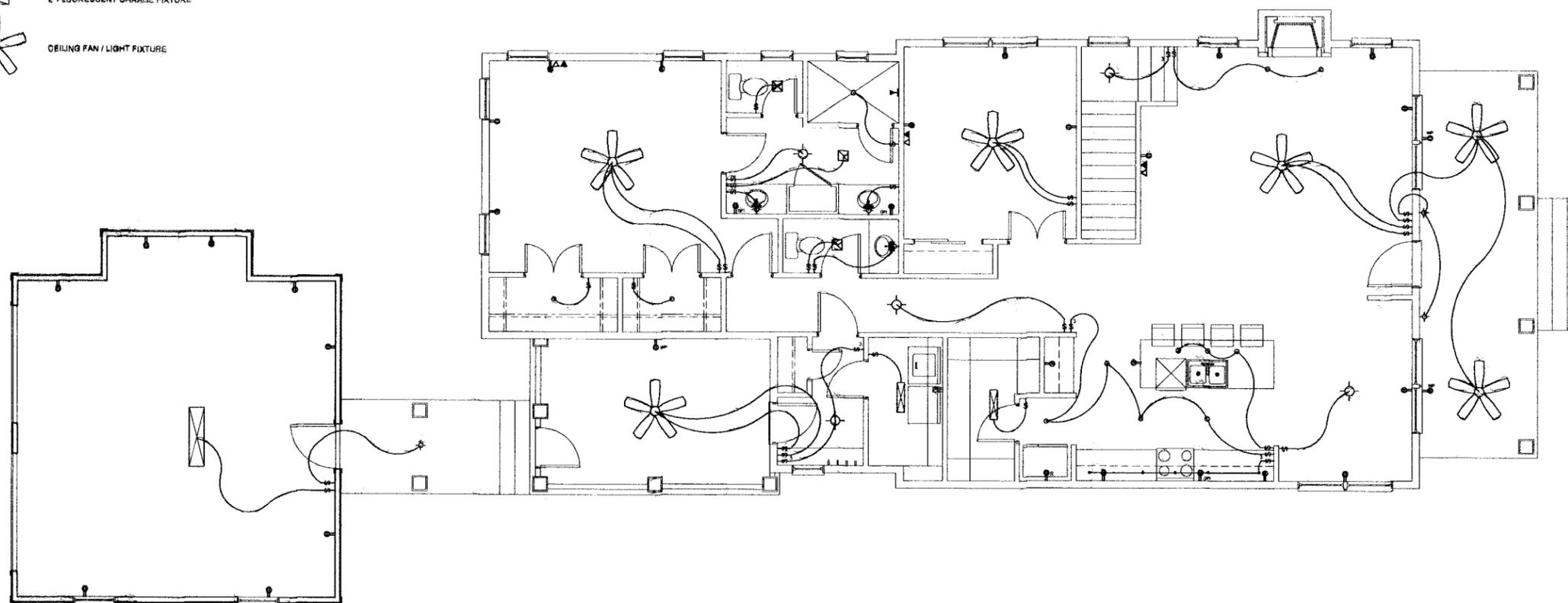


LEGEND:

- ELECTRICAL SWITCH
- ELECTRICAL SWITCH (3-WAY)
- ELECTRICAL SWITCH (4-WAY)
- TELEVISION AND DATA CONNECTIONS
- DUPLEX OUTLET
- GFI OUTLET
- WEATHER PROTECTED OUTLET
- DRYER RECEPTACLE
- RECESSED LIGHTING
- WALL SCONCE
- SURFACE / PENDANT FIXTURE
- LIGHT / EXHAUST FIXTURE
- EXHAUST FIXTURE
- 2 FLUORESCENT GARAGE FIXTURE
- CEILING FAN / LIGHT FIXTURE

GENERAL NOTES:

1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOGATIONS.



FIRST FLOOR

SCALE: 1/4" = 1'-0"

REVISIONS:

SOUTHERN COASTAL HOMES
LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
ELECTRICAL PLAN - FIRST FLOOR

DATE: 12-08-2015
 DESIGNED BY: RB
 DRAWN BY: RB
 CHECKED BY: RB
 SCALE: AS SHOWN
 PROJECT #:

SHEET NUMBER:
A-7

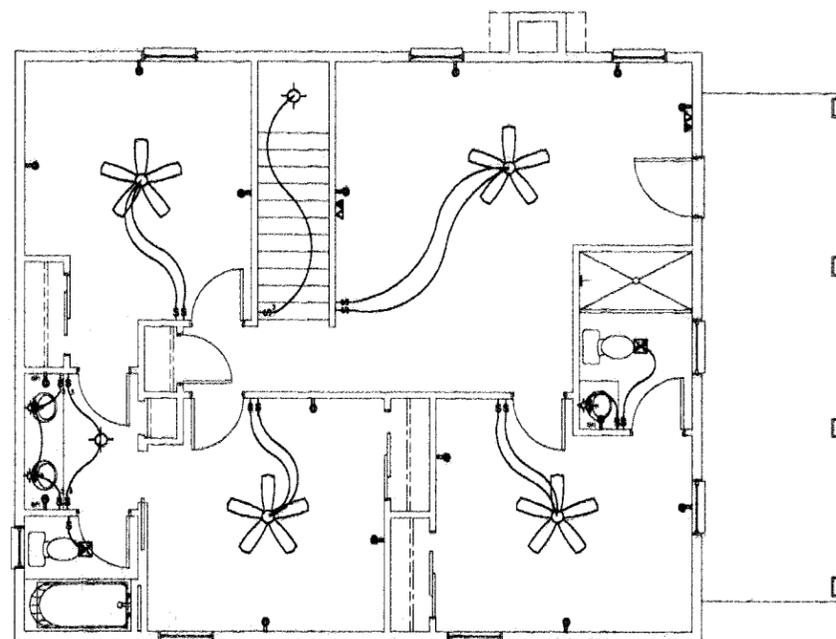


LEGEND:

-  ELECTRICAL SWITCH
-  ELECTRICAL SWITCH (3-WAY)
-  ELECTRICAL SWITCH (4-WAY)
-  TELEVISION AND DATA CONNECTIONS
-  DUPLEX OUTLET
-  GFI OUTLET
-  WEATHER PROTECTED OUTLET
-  DRYER RECEPTACLE
-  RECESSED LIGHTING
-  WALL SCONCE
-  SURFACE / PENDANT FIXTURE
-  LIGHT / EXHAUST FIXTURE
-  EXHAUST FIXTURE
-  2 FLUORESCENT GARAGE FIXTURE
-  CEILING FAN / LIGHT FIXTURE

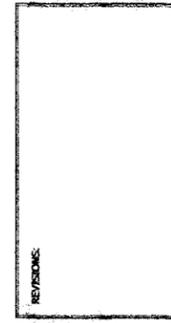
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2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.



SECOND FLOOR

SCALE: 1/4" = 1'-0"



REVISIONS:

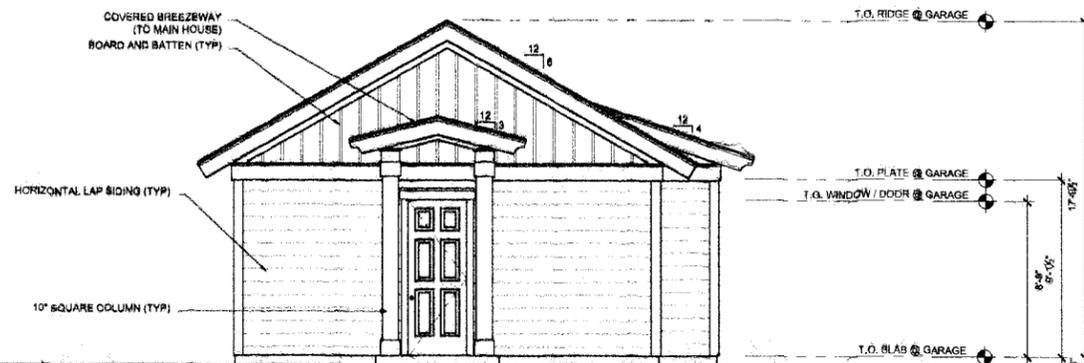
SOUTHERN COASTAL HOMES
LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
ELECTRICAL PLAN - SECOND FLOOR

DATE: 12-28-2015
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 DRAWN BY: KED
 CHECKED BY: KED
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 PROJECT #:
 SHEET NUMBER:
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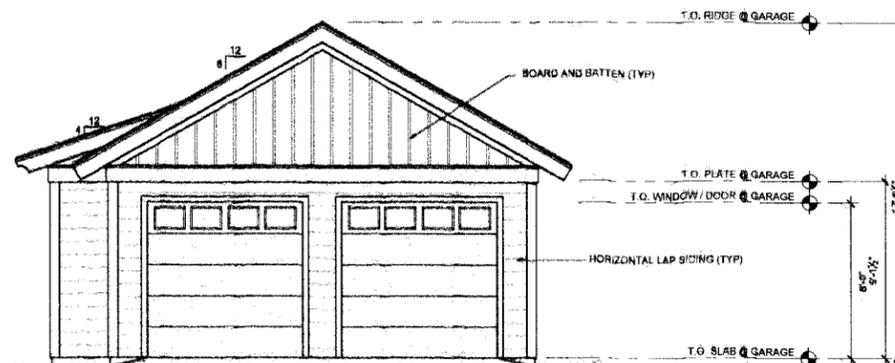


SOUTHERN COASTAL HOMES
 LOT 20B
 STOCK FARM | BLUFFTON, SOUTH CAROLINA
 GARAGE ELEVATIONS

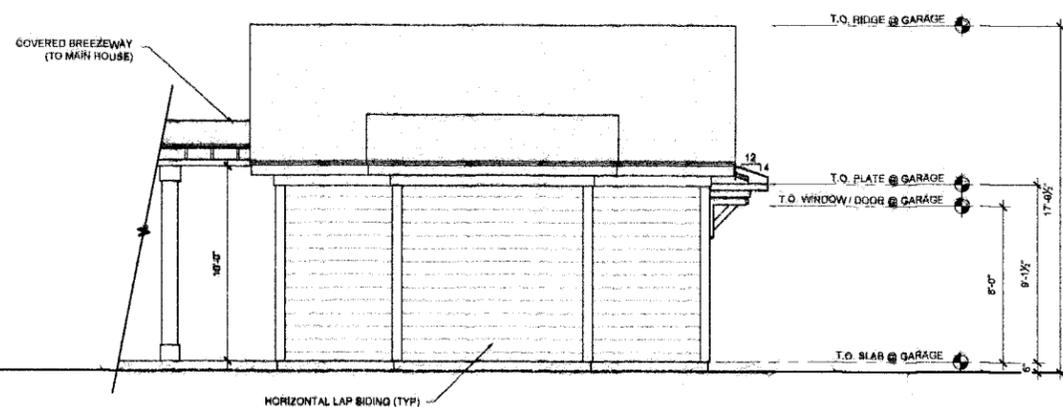
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 PROJECT #:
 SHEET NUMBER:
A-9



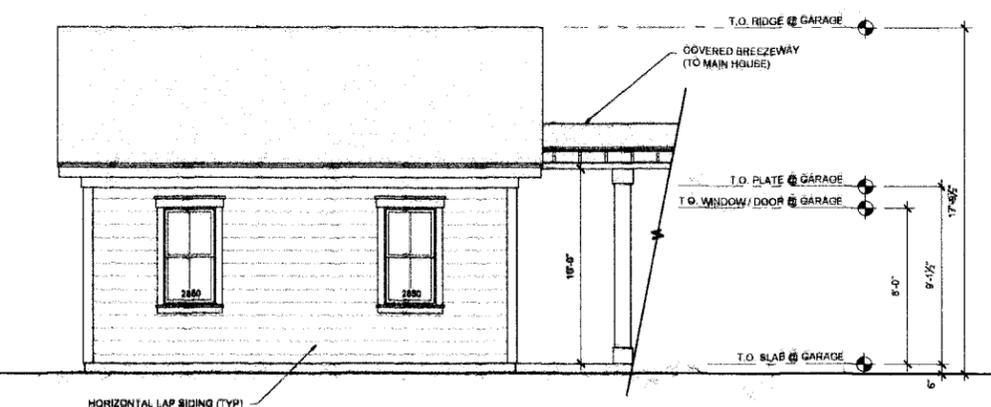
FRONT ELEVATION



REAR ELEVATION



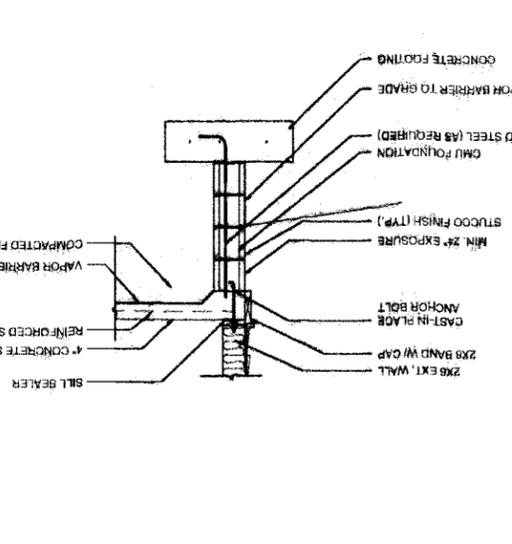
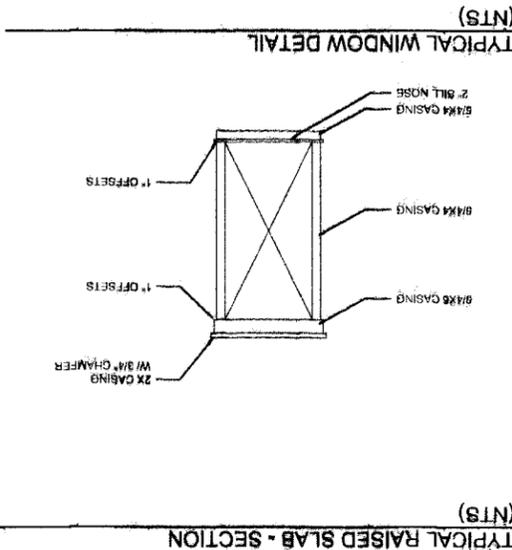
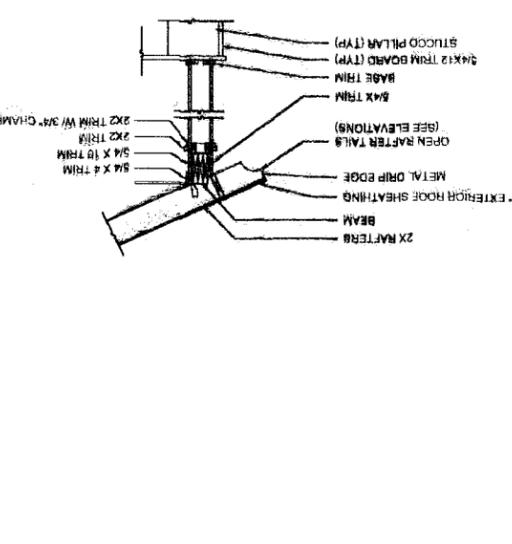
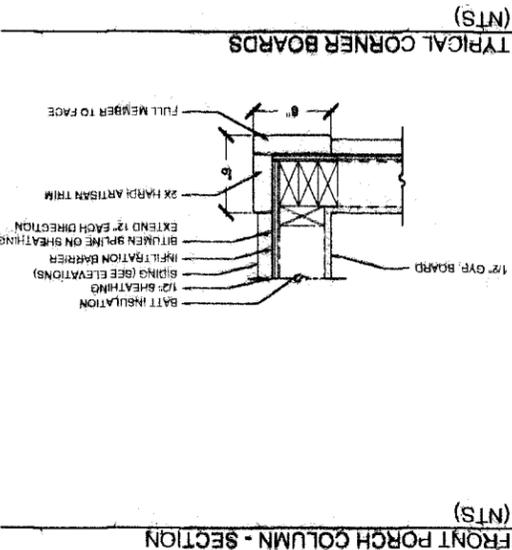
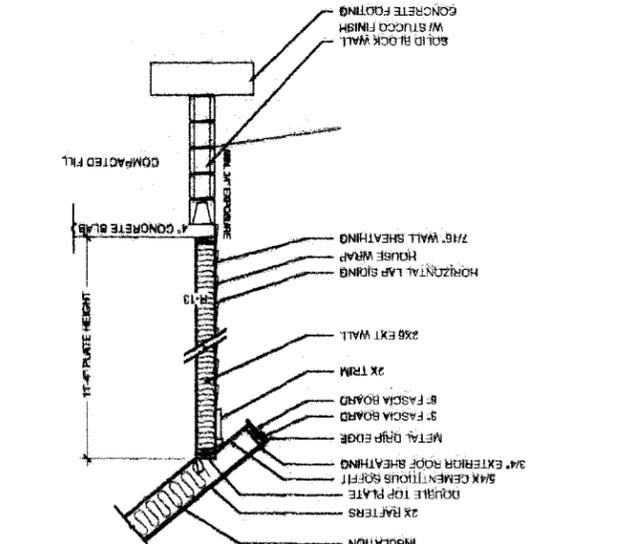
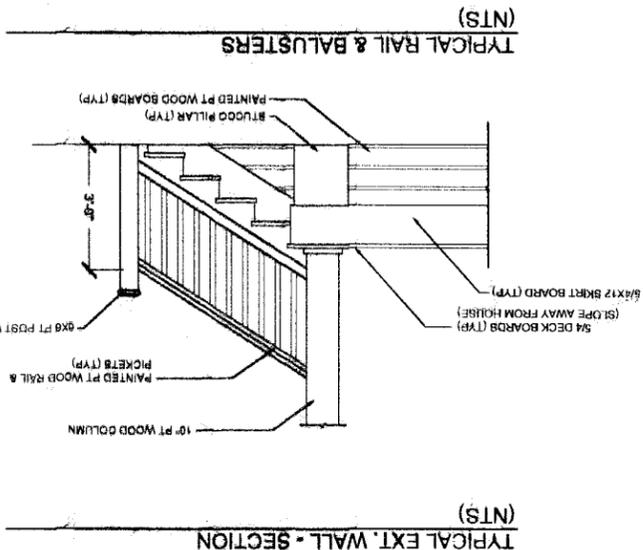
RIGHT-SIDE ELEVATION



LEFT-SIDE ELEVATION

GARAGE ELEVATIONS

SCALE: 1/4" = 1'-0"



DATE: 12-08-2015
 DESIGNED BY: KED
 CHECKED BY: KED
 Q.C. BY: KED
 SCALE: AS SHOWN
 PROJECT #:
 SHEET NUMBER:
A-10

SOUTHERN COASTAL HOMES
LOT 20B
 STOCK FARM 1 BLUFFTON, SOUTH CAROLINA
 CONSTRUCTION DETAILS

REVISIONS:

SOUTHERN
 Coastal Homes

HISTORIC PRESERVATION REVIEW COMMITTEE



STAFF REPORT

Department of Growth Management

MEETING DATE:	June 22, 2015
PROJECT:	5802 Yaupon Rd., Lot 20B – New Construction (COFA-6-15-9258)
PROJECT MANAGER:	Erin Schumacher, Senior Planner

The Town of Bluffton has reviewed the drawings and information provided for the construction of a new structure located at 5802 Yaupon Road (Lot 20B) in the Old Town Bluffton Historic District and zoned Neighborhood General-HD (NG-HD). The Application was reviewed for conformance with the following documents: Stock Farm Development Plan, Town of Bluffton Unified Development Ordinance (UDO) and *Traditional Construction Patterns* by Stephen Mouzon.

The Town of Bluffton submits the following comments:

COMMENTS:

Growth Management

1. Each floor of any building facing a park, square, or street shall contain transparent window covering from 20% to 70% of the wall area. The elevation of the Carriage House facing Guilford Place must be modified to include transparent window coverings. (UDO 5.15.6.L.1).
2. The finished floor height measured from the average adjacent of sidewalk grade and height of the top porch step measured from adjacent grade is required to be appears to be 36" and 30" respectively. Provide dimensions on the plans to show that the proposed heights meet these requirements. (UDO 5.15.5.F. c., 5.15.6. E.5.c.)
3. The columns along the front facade are just over 8' tall and are spaced approximately 8'-7" apart. The column spacing does not meet the requirement of "no farther apart than they are tall" and must be modified to meet the requirement. (UDO 5.15.6.H.1.a.)
4. As the project moves toward Final submittal, provide a landscape plan, typical window detail, railing and baluster detail, a corner board and water table trim detail, and a section through the eave as not enough information was provided in submittal to review these items for conformance with the UDO. (Applications Manual)

5. For the final submission, a letter of approval from the Stock Farm HARB must be provided stating that the plans have been reviewed and approved.
(Applications Manual)

Recommendation: Reconsider the use of shutters for greater consistency on all elevations.

Historic Preservation Review Committee

1. Provide information on the proposed shutter dog. (UDO 5.15.6.M.)

Engineering

1. No comments

Building Safety

1. No comments