

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	January 6, 2015
PROJECT:	Lot 1D, (36 Promenade Street) Calhoun Street Promenade – New Construction
APPLICANT:	Ludtke & Vaccaro Architects, LLC.
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Ludtke & Vaccaro Architects, LLC. on behalf of Bill Herbkersman, requests that the Historic Preservation Commission approve the following application:

1. **COFA-11-15-9421.** A Certificate of Appropriateness to construct a new mixed use structure of approximately 5,080 SF, located on the property identified as 36 Promenade Street (Lot 1D) in the Calhoun Street Promenade Development and zoned as Neighborhood Core-HD.

INTRODUCTION: The Applicant is proposing the construction of a mixed use building in the Calhoun Street Promenade development in the Old Town Bluffton Historic District. The proposed building, of approximately 5,080 SF, is designed as a Main Street Building Type and includes the following features:

1. It is a detached mixed use building;
2. It is a shopfront building with a restaurant on the ground floor and living space on the upper levels;
3. It has a colonnade along the front façade; and
4. It falls within the allowable size range (2,000-8,000 SF), maximum footprint (3,500 SF).

The lot was previously approved on the September 1, 2010 development plan for the Calhoun Street Promenade which was most recently amended May 4, 2015.

The building is composed of a main side facing gabled structure with a wide shed dormer on the third floor. The building is clad in horizontal lap siding on the first two stories, and shake on the third floor dormer body with an expression line between the first and second floors. The Applicant has proposed a building that reflects and relates to the vernacular characteristic of Bluffton and the other buildings found in the Calhoun Street Promenade by integrating simple architectural volumes housed under a main gable roof and adding simple architectural detailing such as a colonnade and second floor porch, retail storefront design on the first floor level, and a screened porch area that mimics the storefront design.

This project was presented to the Historic Preservation Review Committee for conceptual review at the December 4, 2015 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is to be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness – Historic District (HD). These criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced.”

The Applicant proposes to construct a new structure within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the adjacent historic structures in both scale and architectural form, so the addition to the site and the neighborhood’s architectural diorama will both protect and enhance the neighboring historic structures.

- b. *Finding.* The Old Town Master Plan initiatives also included the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed commercial structure adds to the district as well as helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of a Commercial Cottage Building as allowed in the Neighborhood Core Historic District per Section 5.15.5.A and meets the lot standards of that district.

As the project is located within the Calhoun Street Promenade development, the site is required to meet the front, rear, and side setbacks prescribed by the Calhoun Street Promenade development plan. As this project involves combining 2 existing building pads, an exempt plat application must be submitted to Town Staff for review and approval. From a cursory review the proposed square footage (heated and unheated) exceed what has been recorded with Beaufort County and in the most recent Development Plan amendment, the building square footage must be reduced to be no more than what was platted on the plat recorded with Beaufort County 8-28-2014 or a development plan amendment must be submitted to accommodate the increase in square footage.

Additionally, Beaufort Jasper Water and Sewer Authority also provided comment at the HPRC meeting that the civil/site layout, including water and sewer extensions to all proposed buildings on Lot 1 must be submitted and approved by BJWSA prior to final design approval. As such, correspondence must be submitted to the Town affirming that civil/site layout has been approved by BJWSA.

- b. *Finding.* Town Staff finds that if the condition noted below is met, the design of the proposed structure will be in conformance with the other applicable provisions provided in Article 5:
 - 1) Per Section 5.15.55.F.4.e. Building Composition and Section 52 of Traditional Construction Patterns. The UDO states that vertical rhythms should be established in the façade through alignment of windows, openings, pilasters, and columns. The storefront design along the front elevation, particularly the three (3) bays in the center should be revised to establish better vertical rhythm with the established column spacing.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic resources; therefore, the structures, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A landscape plan must be submitted for review. Foundation plantings eight (8) feet in width along the building elevation, and street trees are required to meet the requirements of the UDO. As well, architectural sections through the porch and building eave must be submitted for review as not enough information was provided to ensure their configurations meet the requirements of the UDO. In addition, a letter of approval from the Calhoun Street Promenade Architectural Review Board must be submitted to Town Staff for review.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the Unified Development Ordinance as they pertain to applications using the criteria described in the previous sections and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 3.12 of the UDO, an exempt plat application must be submitted to Town Staff for review and approval. In addition, the building square footage (heated/unheated) must be reduced to be no more than what was platted on the plat recorded with Beaufort County 8-28-2014 or a development plan amendment must be submitted to accommodate the increase in square footage.
2. Per the comments provided by BJWSA, correspondence must be submitted to the Town affirming that civil/site layout has been approved by BJWSA.

3. Per Section 5.15.55.F.4.e. and Section 52 of Traditional Construction Patterns, the storefront design should be revised to establish better vertical rhythm in the front façade through alignment of windows, openings, pilasters, and columns.
4. Per the Applications Manual, architectural sections through the porch and building eave must be submitted for review by Town Staff.
5. Per the Applications Manual, a letter of approval from the Calhoun Street Promenade Architectural Review Board must be submitted to Town Staff for review.
6. Per the Applications Manual, a landscape plan noting foundation plantings and street trees must be submitted for review.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan and Elevations
5. HPRC Comments



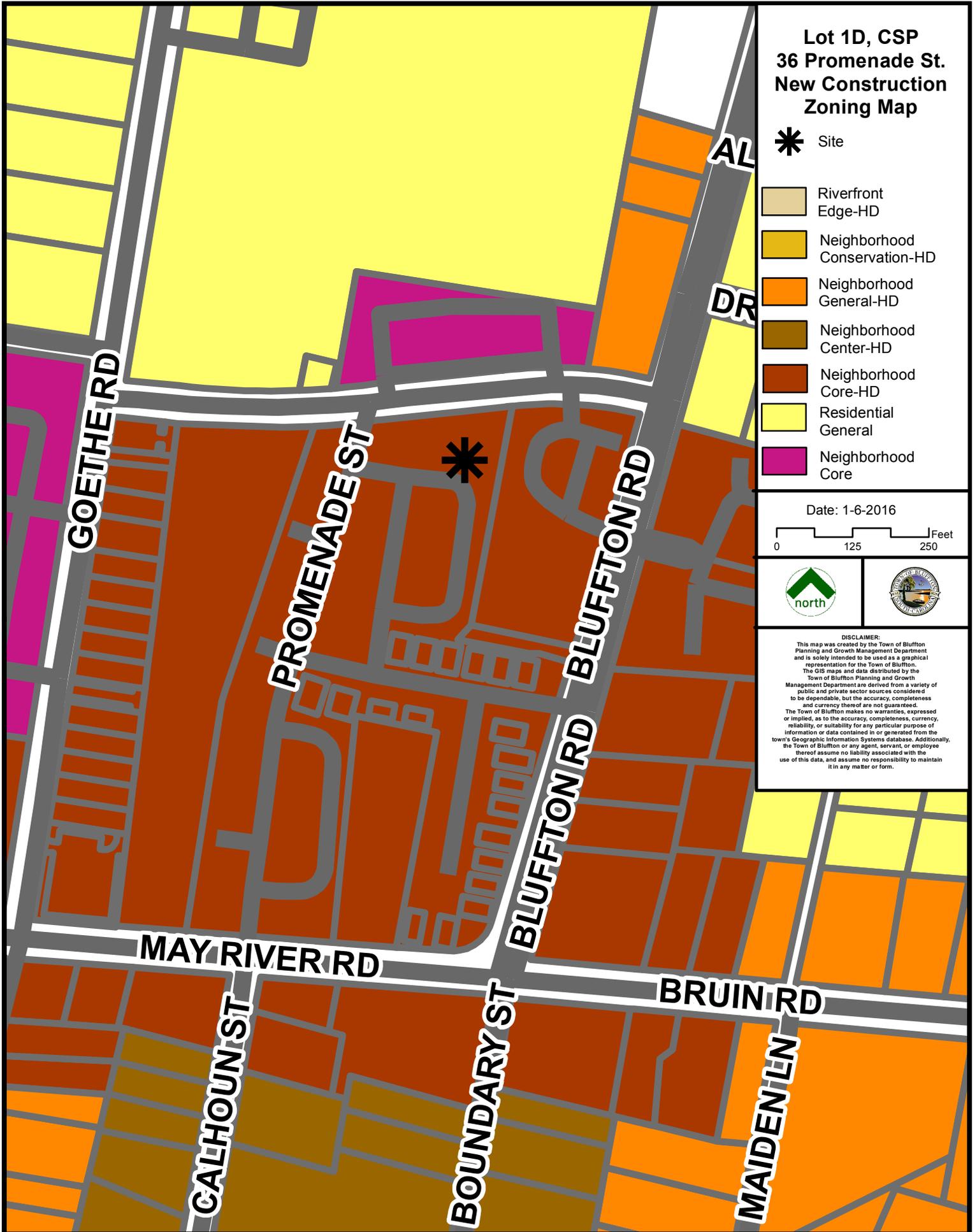
**36 Promenade Street
Lot 1D, CSP
Location Map**

 Site

Date: 1-6-2016



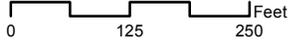
DISCLAIMER:
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**Lot 1D, CSP
36 Promenade St.
New Construction
Zoning Map**

-  Site
-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 1-6-2016






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12/14/2015

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Michael Vaccaro
Ludtke & Vaccaro Architects, LLC
21 Off Shore, Hilton Head Island, SC 29928

Members of the Bluffton Historic Preservation Board
20 Bridge Street, Bluffton, SC 29910

RE: Project Narrative

Dear HPC Members,

I am proud to submit for review the restaurant/ apartment building at lot 1D in the Promenade. I am submitting to gain a Certificate of Appropriateness.

The building has been designed to comply with the standards as described in Article 5 of the Unified Development Ordinance (UDO), and we have followed the application and submittal procedures as described in Article 3.

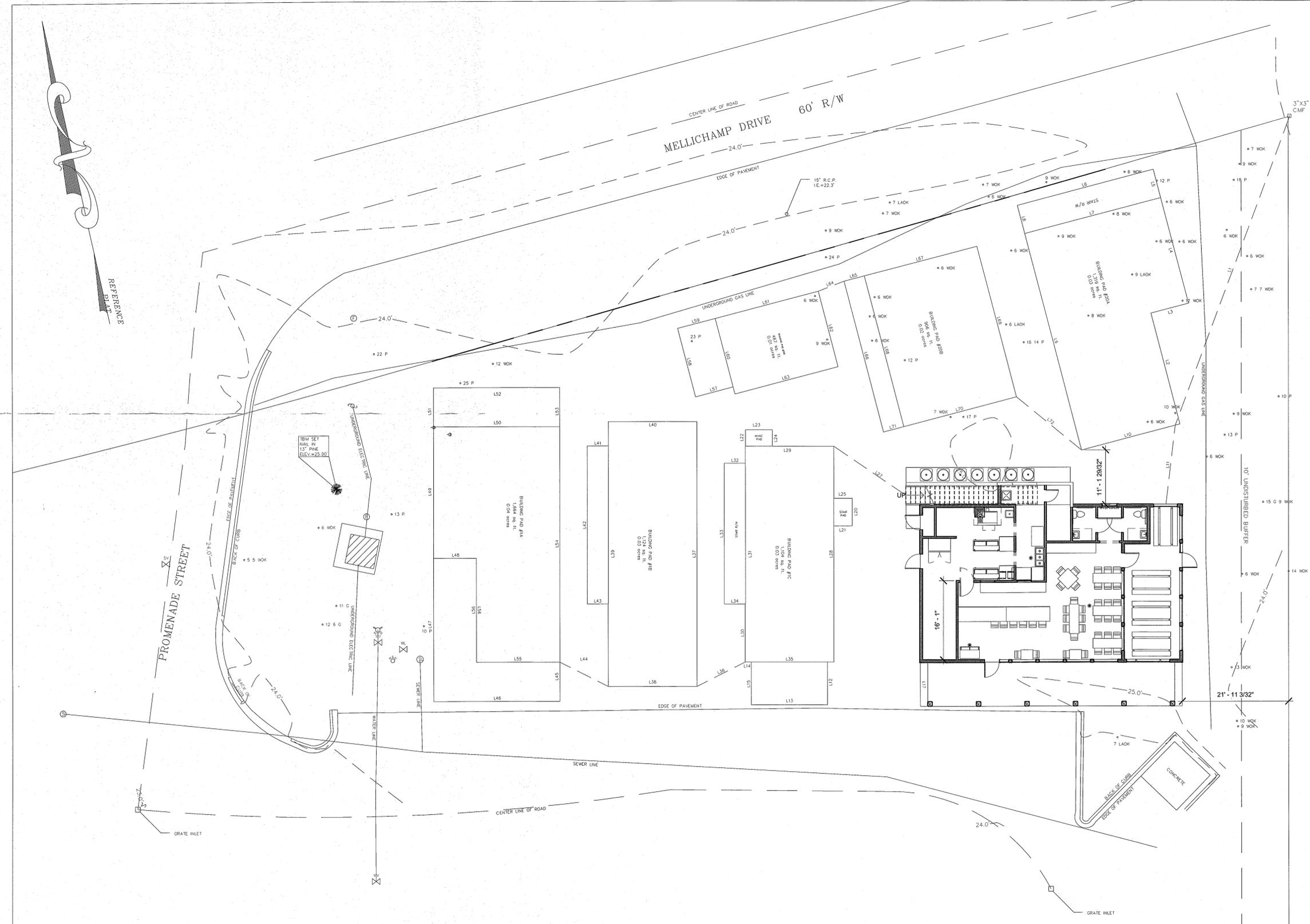
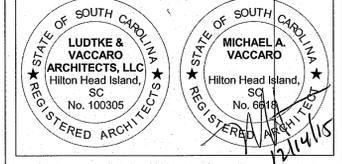
In designing this building I have been mindful of the UDO as well as the needs of my clients. The 2 1/2- Story building's exterior is derived from the floor plan needs. The exterior is designed to fit in with the existing commercial spaces within the Promenade development.

I appreciate your review of this building and am excited to see it underway.

Sincerely,



Michael Vaccaro
Managing Partner
Ludtke & Vaccaro Architects, LLC



LINE TABLE

LINE	LENGTH	BEARING
L1	67.59	N33° 01' 41" E
L2	23.49	S02° 08' 07" E
L3	8.00	S87° 51' 53" W
L4	22.49	S02° 08' 07" E
L5	6.00	S02° 08' 07" E
L6	28.98	N87° 51' 53" E
L7	28.98	N87° 51' 53" E
L8	8.00	N02° 08' 07" W
L9	45.97	N02° 08' 07" W
L10	20.99	S87° 51' 53" W
L11	18.43	S12° 34' 03" E
L12	8.72	N12° 34' 03" E
L13	15.75	S77° 25' 57" E
L14	4.33	N77° 25' 57" W
L15	8.72	S12° 34' 03" W
L16	32.00	S12° 34' 03" W
L17	9.00	S12° 34' 03" W
L18	34.00	S77° 25' 57" E
L19	32.00	N12° 34' 03" E
L20	5.63	S12° 34' 03" W
L21	3.80	N77° 25' 57" W
L22	3.33	N02° 08' 07" W
L23	5.54	S77° 25' 57" E
L24	3.33	S12° 34' 03" W
L25	3.60	S77° 25' 57" E
L26	34.00	S77° 25' 57" E
L27	21.48	N43° 24' 11" W
L28	43.98	S12° 34' 03" W
L29	18.24	S77° 25' 57" E
L30	11.70	S12° 34' 03" W
L31	43.98	N12° 34' 03" E
L32	4.33	S77° 25' 57" E
L33	18.24	N12° 34' 03" E
L34	4.33	N77° 25' 57" W
L35	18.24	N77° 25' 57" W
L36	11.16	S12° 34' 03" W
L37	53.98	S12° 34' 03" W
L38	18.24	N77° 25' 57" W
L39	33.98	N02° 08' 07" W
L40	18.24	S77° 25' 57" E
L41	4.33	N77° 25' 57" W
L42	32.19	S12° 34' 03" W
L43	4.33	S77° 25' 57" E
L44	11.16	N02° 08' 07" W
L45	8.00	S12° 34' 03" W
L46	28.00	N77° 25' 57" W
L47	29.16	N12° 34' 03" E
L48	8.81	N77° 25' 57" W
L49	28.85	N12° 34' 03" E
L50	28.00	S77° 25' 57" E
L51	8.00	N12° 34' 03" E
L52	28.00	S77° 25' 57" E
L53	8.00	S12° 34' 03" W
L54	48.00	S12° 34' 03" W
L55	17.20	N77° 25' 57" W
L56	21.16	N12° 34' 03" E
L57	8.00	N87° 51' 53" E
L58	18.49	S02° 08' 07" E
L59	8.00	N87° 51' 53" E
L60	15.99	N02° 08' 07" W
L61	21.99	N87° 51' 53" E
L62	15.99	S02° 08' 07" E
L63	21.99	S87° 51' 53" W
L64	3.70	S81° 09' 55" W
L65	4.33	S87° 51' 53" W
L66	31.98	S02° 08' 07" E
L67	33.99	N87° 51' 53" E
L68	31.98	N02° 08' 07" W
L69	31.98	S02° 08' 07" E
L70	23.99	S87° 51' 53" W
L71	4.33	N87° 51' 53" E
L72	17.32	N38° 14' 00" W

- LOCATION MAP NOT TO SCALE
- LEGEND
- ☐ CMS - CONCRETE MONUMENT SET
 - ☐ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - ⊕ - WATER SHUT OFF
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊖ - SEWER LATERAL
 - ⊕ - SANITARY SEWER MANHOLE
 - ⊗ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - 12' - CONTOUR LINES
 - ⊗ - XFMR - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - ⊕ - FIRE HYDRANT
 - ⊖ - GRATE INLET
 - ⊖ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⊕ - GUY LINE ANCHOR
 - ⊕ - LIGHT POLE
 - ⊕ - STORM DRAIN MANHOLE
 - ⊕ - FIBEROPTIC'S MANHOLE
- TREE LEGEND
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - ROSE OAK
 - PCAN - PALM CANE
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MIMOSA
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

NOTE: REVISED 7/16/2014 TO SHOW TO ADD 10' TO BLDG PAD 1B
NOTE: REVISED 5/19/2014 TO SHOW THE LOCATIONS OF THE PROPOSED NEW BUILDINGS.
NOTE: REVISED 11/12/2015 TO COMBINE BUILDING 1D & 1E, CHANGE BUILDINGS 1C & 20A.

1 Average Grade
1" = 10'-0"

T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Summit Church Road
Bluffton, S.C. 29910
tsquare@hargray.com
Phone 843-757-2650 Fax 843-757-5758

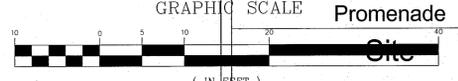


I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
MIKE VACCARO
A TREE & TOPOGRAPHIC SURVEY OF BUILDING #1 PROMENADE STREET, A PORTION OF CALHOUN STREET PROMENADE, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

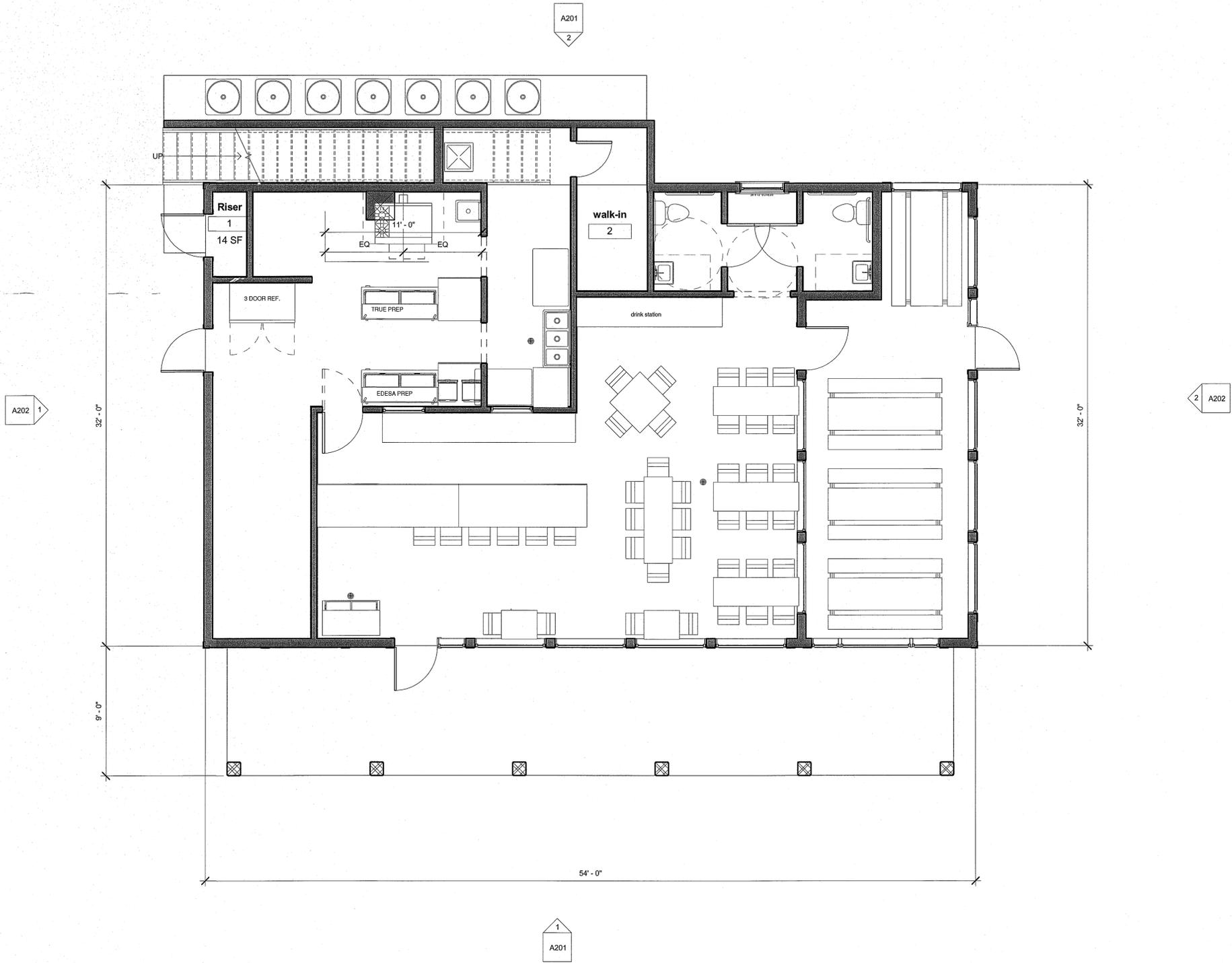
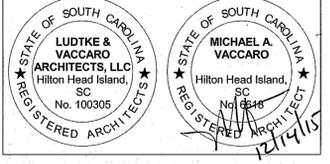
Notes:
1. According To FEMA Flood Insurance Rate Map # 450251 0001A This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A FL.NGV.D29
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plats:
PLAT BOOK 130 AT PAGE 107



Lot 1D
Promenade
Site

Project number	Project Number
Print Date 12/14/2015 3:23:32 PM	Issue Date
Drawn by B.M.S.	Author
Checked by	Checker
APPROVED BY: A001	
Scale W.J.S.	1" = 10'-0"

PARTY CHIEF: W.J.S. DATE: DECEMBER 23, 2015



1 First Floor
 1/4" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such, it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D
 Promenade
FIRST FLOOR

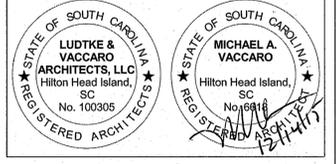
Project number	Project Number
Print Date 12/14/2015 3:23:33 PM	Issue Date Issue Date
Drawn by	Author
Checked by	Checker

A101

Scale 1/4" = 1'-0"

LUDTKE & VACCARO
ARCHITECTS, LLC

phone 843.290.3076
fax 877.667.3517
www.ludtkeandvaccaro.com email: mikevaccaro@hargray.com



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No.	Description	Date

Lot 1D
Promenade
SECOND FLOOR

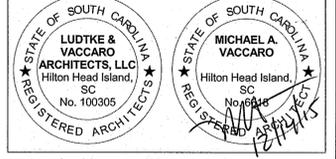
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Checked by	Checker

A102

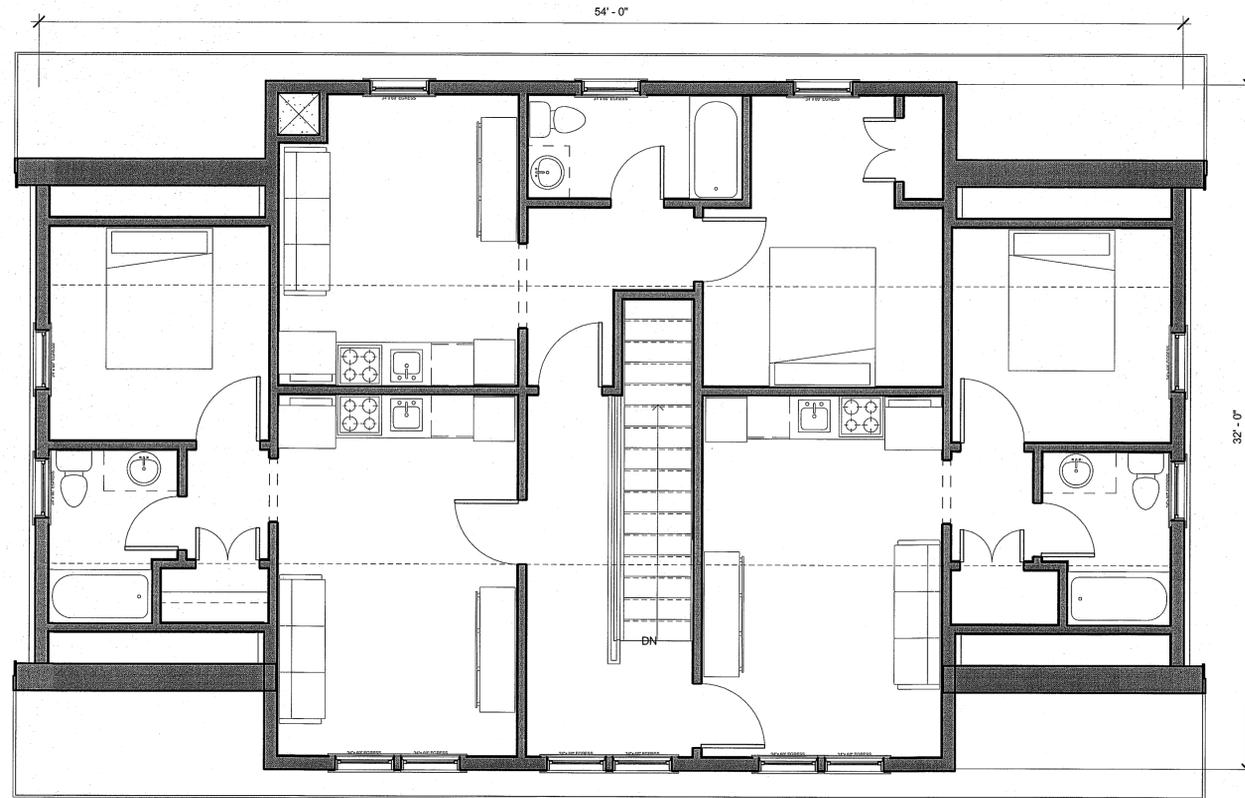
Scale 1/4" = 1'-0"

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fax 877.667.3517
www.ludtkeandvacarro.com email: mikevacarro@hargray.com



A201
2



A202 1

2 A202

A201
1

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such, it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D
Promenade
THIRD FLOOR

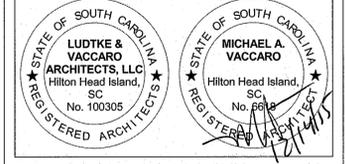
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A103

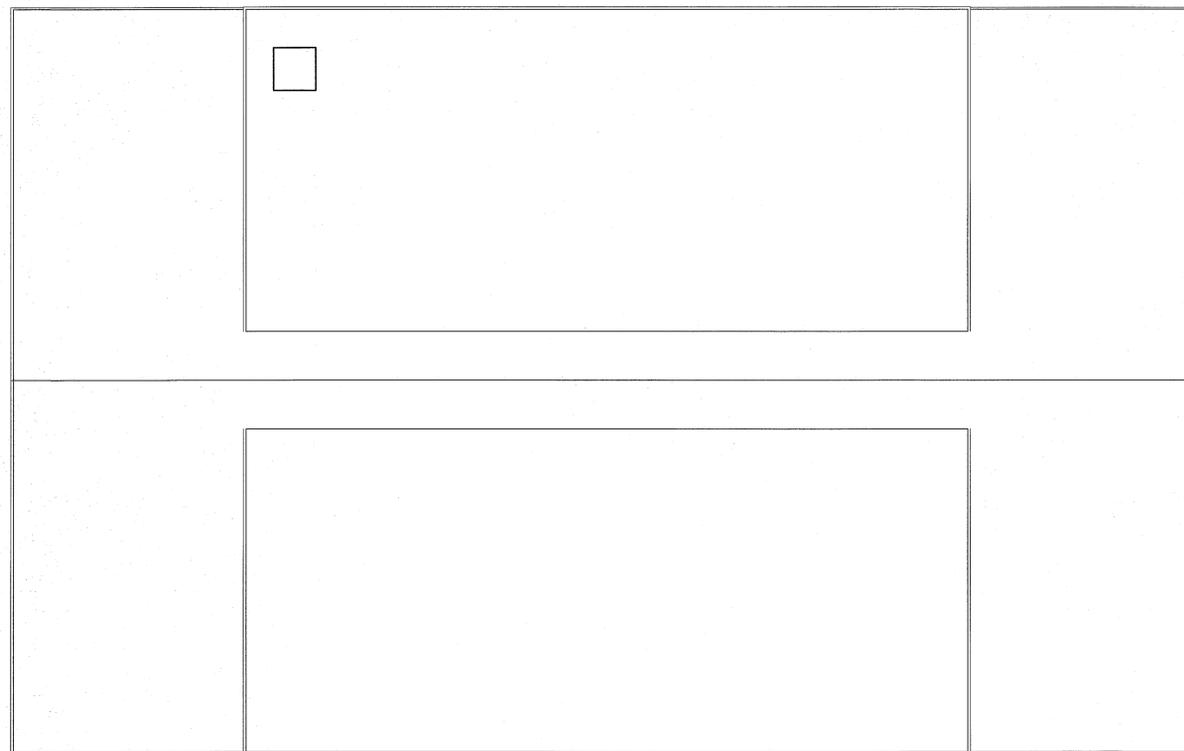
Scale 1/4" = 1'-0"

LUDTKE & VACCARO ARCHITECTS, LLC

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 fax 877.667.3517
 www.ludtkeandvaccaro.com email: mikevaccaro@hargray.com



A201
2



A202 1

A202 2

A201 1

1 Roof
 1/4" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such; it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D

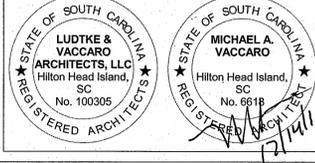
Promenade

ROOF

Project number	Project Number
Print Date 12/14/2015 3:23:35 PM	Issue Date Issue Date
Drawn by	Author
Checked by	Checker

A151

Scale 1/4" = 1'-0"



① Front
 1/4" = 1'-0"



② Rear
 1/4" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such, it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D
 Promenade
ELEVATIONS

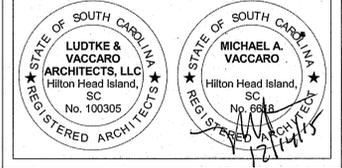
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 Drawn by _____ Author _____
 Checked by _____ Checker _____

A201

Scale 1/4" = 1'-0"

LUDTKE & VACCARO ARCHITECTS, LLC

phone 843.290.3076
 fax 877.667.3517
 www.ludtkeandvaccaro.com email: mikevaccaro@hargray.com



① Left
 1/4" = 1'-0"



② Right
 1/4" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such; it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D
Promenade
ELEVATIONS

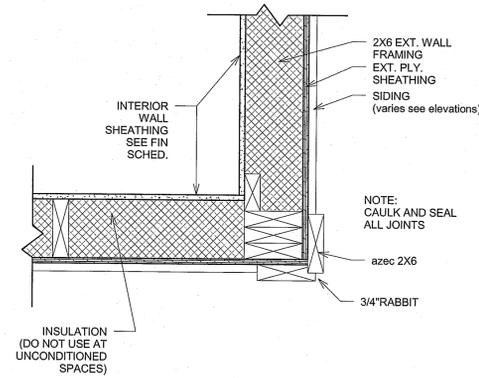
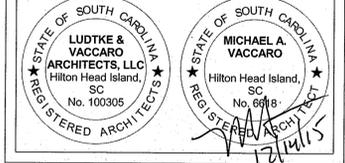
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 Print Date 12/14/2015 3:23:38 PM Issue Date _____ Issue Date _____
 Drawn by _____ Author _____
 Checked by _____ Checker _____

A202

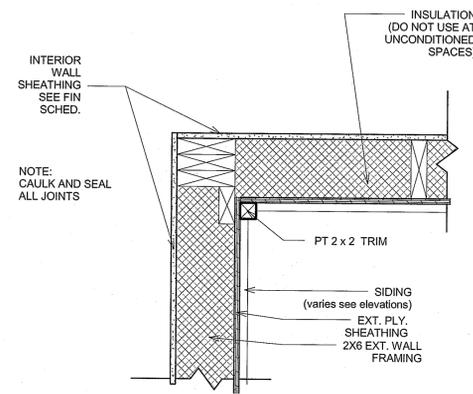
Scale 1/4" = 1'-0"

LUDTKE & VACCARO ARCHITECTS, LLC

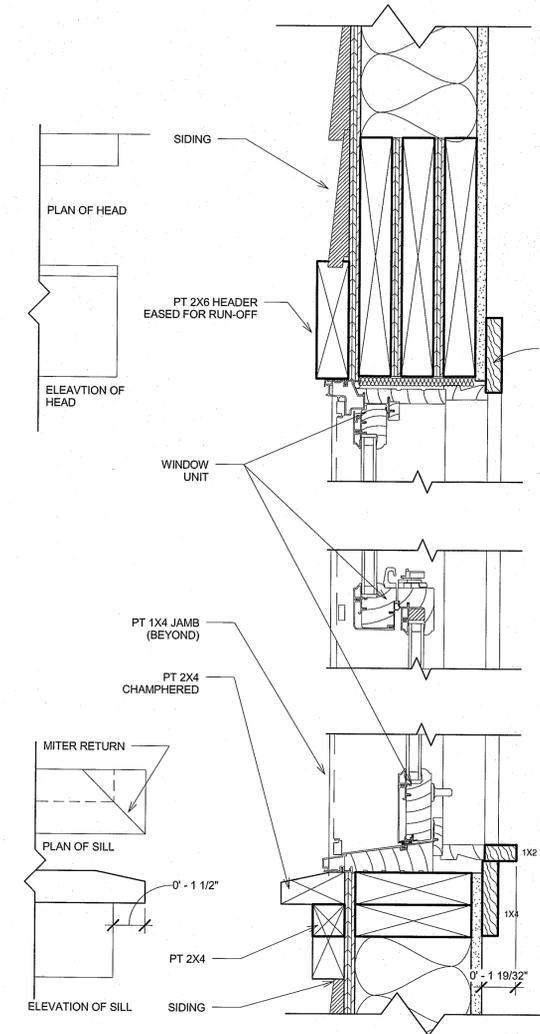
phone 843.290.3076
 fax 877.667.3517
 www.ludtkeandvaccaro.com email: mikevaccaro@hargray.com



② DETAIL -Outside Corner
 1 1/2" = 1'-0"



① DETAIL -Inside Corner
 1 1/2" = 1'-0"



③ Typical Window Section
 3" = 1'-0"

The contractor shall verify all dimensions and site conditions prior to starting work and shall notify the architect in writing immediately of any errors or inconsistencies within the construction documents. If errors or inconsistencies exist within the construction documents and are constructed as such, it is the contractor's responsibility to ensure that corrections are made to the satisfaction of the building owner, architect, and building inspector.

No.	Description	Date

Lot 1D
 Promenade
 Sections and Details

Project number	Project Number
Print Date 12/14/2015 3:23:39 PM	Issue Date
Drawn by	Author
Checked by	Checker

A300

Scale: As indicated



PLAN REVIEW COMMENTS FOR COFA-11-15-009421

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
CALHOUN STREET PROMENADE

Plan Type: Historic District **Apply Date:** 11/30/2015

Plan Status: Active **Plan Address:** 36 Promenade St
BLUFFTON, SC 29910

Case Manager: Erin Schumacher **Plan PIN #:** R614 039 00A 0362 0000

Plan Description: The Applicant is requesting a Certificate of Appropriateness for the New Construction of a restaurant with 5 residential units above. Approx. 1,725 SF restaurant approx. 1730 second floor(2 units), 1630 third floor(3 units)

Staff Review (HD)

Submission #: 1 Received: 11/30/2015 Completed: 12/04/2015

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Addressing Review	12/03/2015	Theresa Thorsen	Approved with Conditions

- Comments:**
1. Submittal of an exempt plat application to combine both lots and to be recorded with Beaufort County Register of Deeds is necessary prior to applying for a building permit.
 2. Addressing for the five apartments will be provided once this has been approved and the plat is recorded.

Beaufort Jasper Water and Sewer Review	12/04/2015	Dick Deuel	Approved with Conditions
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- Comments:**
1. Civil/site layout, including water and sewer extensions to all proposed buildings on Lot 1, must be submitted and approved by BJWSA prior to final design approval.

Growth Management Dept Review (HD)	12/04/2015	Erin Schumacher	Approved with Conditions
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- Comments:**
1. Provide information showing that the proposed square footage of the combined lot is equal to what has been allocated for the two lots in the past development plan/exempt plat applications. (Application Manual)
 2. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, a section through the eave, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Also provide additional information on the type of doors proposed. (Applications Manual)
 3. A letter of approval from the Calhoun Street Promenade Architectural Standards Committee must be provided stating that the plans have been reviewed and approved. (Applications Manual)

HPRC Review	12/04/2015	Erin Schumacher	Approved with Conditions
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Comments:

1. The (front) Promenade facing elevation and the rear elevation there are a combination of doors windows with inconsistent detailing. As building elements and the spaces between them must be organized into a logical and sequential manner, it would be appropriate for the trim at the window and doors heads to be the same. (UDO Section 5.15.5.F.4.c.)
 2. Building elements and the spaces between them must be organized into a logical and sequential manner. The columns supporting the porch seem to be missing a cap. The handrail looks like it should go over the the column. These features should be revised and consider the top of the columns being raised up a few inches to be above the handrail and a cap detail added. (UDO Section 5.15.5.F.4.c.)
 3. The columns supporting the landing up to the second floor seem thicker then they need to be and their weight does not seem proportional. The column to the right is not actually under the landing. The middle stair run landing is not supported and looks like it may need to have columns supporting it. The overall building proportions and the individual building features shall have a proportional relationship with one another and the elements above should be revised to have better proportion. (UDO Section 5.15.5.F.4.a.)
 4. Building elements and the spaces between them must be organized into a logical and sequential manner. There appears to be a riser missing at the bottom of the stair case and must be revised. (UDO Section 5.15.5.F.4.c.)
- General drafting comment: All double hung windows, although being seen from the exterior, are showing an interior view. The check rail, should be adjusted so the top sash is in front of the bottom sash.

Stormwater Review	12/04/2015	William Baugher	Approved with Conditions
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Comments:

1. Small Construction Activities, the SCDHEC Erosion and Sediment Reduction and Stormwater Management regulations and its most current version of standards, where applicable. The Town will require as a minimum, implementation of the Construction Site BMPs found in Chapter 9 of the Stormwater Design Manual.

Engineering Department Review - HD	12/04/2015	Karen Jarrett	Approved
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Comments:

1. No comments.

Plan Review Case Notes: