

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	January 6, 2016
PROJECT:	Lot 15, 28 Tabby Shell Rd. – New Construction: Single-Family Residential
APPLICANT:	Thomas L. Hiatt Architect
PROJECT MANAGER:	Erin Schumacher, Senior Planner

APPLICATION REQUEST: The Applicant, Thomas L. Hiatt Architect, on behalf of Kristen and Matthew Scott, requests that the Historic Preservation Commission approve the following application:

1. **COFA-11-15-9413.** A Certificate of Appropriateness to allow the construction of a new single family residential structure of approximately 1,740 SF, with a 763 SF carriage house, located on the property identified as 28 Tabby Shell Road (Lot 15), in the Tabby Roads Development and zoned as Neighborhood General-HD

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 1,740 SF, has attributes of the Village House Building Type, but does not fully meet the dimensional requirements, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. As well, the Applicant is proposing a garage building of approximately 763 SF which meets the design standards for that building type (Carriage House).

The Applicant has proposed a building that reflects the vernacular characteristics of Bluffton by designing a structure housed under a side facing gable that is comprised of simple architectural volume. Materials that are in keeping with the vernacular of Bluffton are the use of a combination of horizontal and vertical siding, square columns, stucco at the foundation, and corner board and water table trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the November 30, 2015 meeting where comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO), is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Bluffton Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Bluffton Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single family residence within the Tabby Roads development in the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so its addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The new construction proposed as part of this request is in conformance with those standards.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more

complete. The addition of the proposed residential structure adds to the district as well as helps provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.

Since the project is located within the Tabby Roads development, the site is required to meet the front, rear, and side setbacks prescribed by the Tabby Roads development plan. The proposed site plan meets these established criteria.

- b. *Finding.* Town Staff finds that proposed plans are in conformance with applicable provisions provided in Article 5 with the following suggestion.

- 1) Reconsider the use of the false closed shutters on the Right Side Elevation. As there are no other shutters proposed, it seems unusual to provide them on this elevation. Consider incorporating an architectural feature or landscaping to add visual interest and break up the expanse of this façade.

3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detail is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be incomplete. A letter of approval has been submitted by the Tabby Roads Habitat and Architectural Review Board, but has a number of conditions mentioned. These conditions must be satisfied prior to the issuance of a Certificate of Appropriateness. The project also calls out a tree conservation area and shows a number of trees for removal to allow for the building envelope. As such, a Town of Bluffton Tree Removal Permit is required.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 3.22.2 of the UDO, a Town of Bluffton tree removal permit is required for any trees over 14 inches DBH proposed for removal.
2. Per the Applications Manual, a final approval letter from the Tabby Roads HARB shall be provided to Town Staff stating that the plans have been reviewed and approved.
3. Recommendation: Reconsider incorporating an architectural feature or landscaping to add visual interest and break up the expanse of the façade in lieu of the false shutters on the Right Side Elevation.

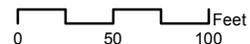
ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Applicant Narrative
4. Site Plan & Elevations
5. HPRC Report
6. HARB Conditional Approval Letter

**28 Tabby Shell Road
Lot 15, TRD
Location Map**

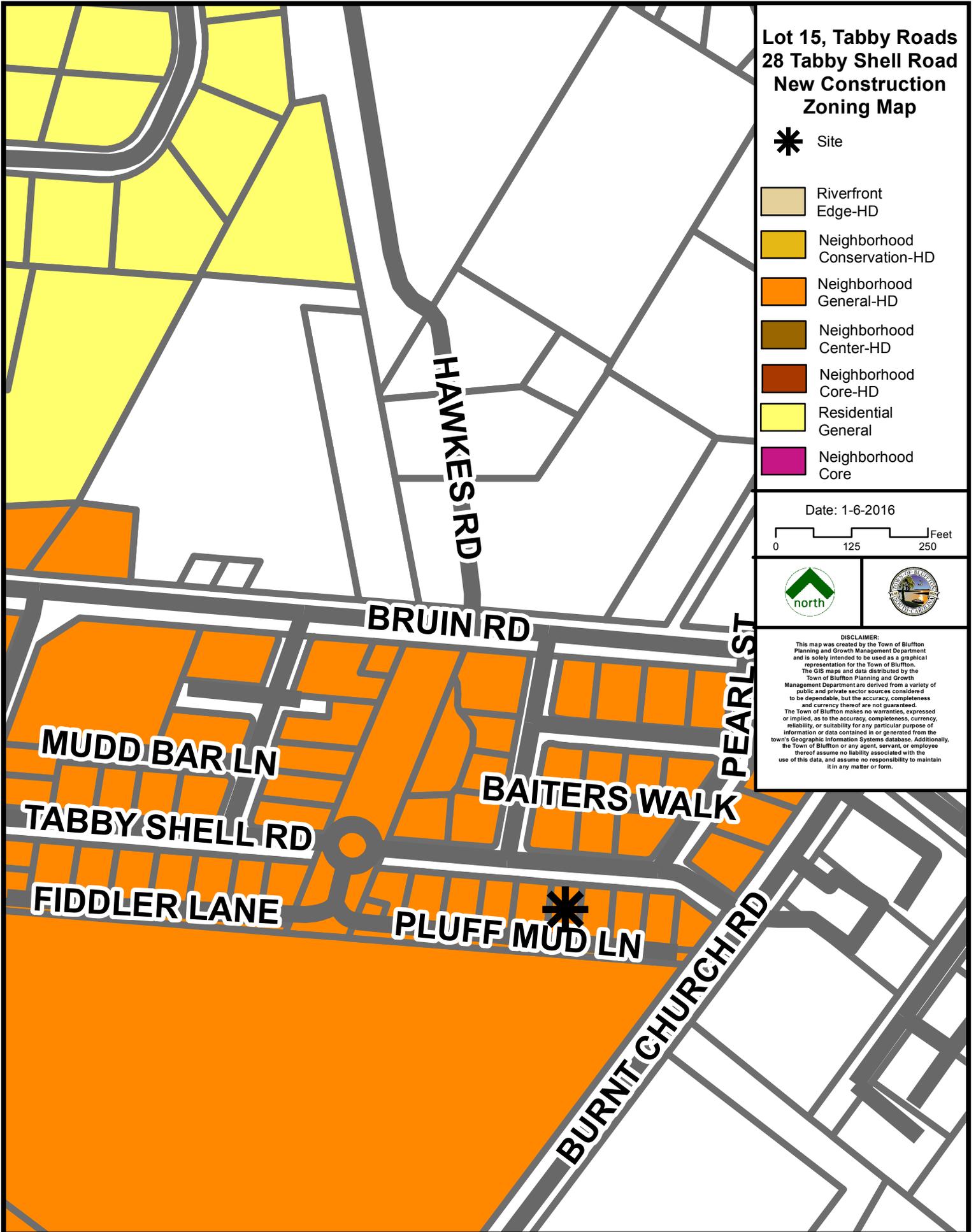


Date: 1-6-2016



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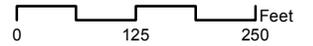


**Lot 15, Tabby Roads
28 Tabby Shell Road
New Construction
Zoning Map**

 Site

-  Riverfront Edge-HD
-  Neighborhood Conservation-HD
-  Neighborhood General-HD
-  Neighborhood Center-HD
-  Neighborhood Core-HD
-  Residential General
-  Neighborhood Core

Date: 1-6-2016



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LOT#15 TABBY SHELL ROAD
THE SCOTT RESIDENCE

ATTACHMENT 3

PROJECT NARRATIVE

SINGLE FAMILY RESIDENCE TO BE BUILT ON LOT#15
TABBY SHELL ROAD. THE 1,740 SQUARE FOOT HOME FEATURES
THREE BEDROOMS AND TWO AND A HALF BATHS. THERE
IS A 279 SQ. FT. BONUS SPACE OVER THE DETACHED
GARAGE/CARRIAGE HOUSE.

THIS IS CURRENTLY AN UNIMPROVED LOT.

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A RESIDENCE FOR:
MR. & MRS. SCOTT
 LOT #15, TABB SHELL ROAD
 TABB SHELL ROADS, BLUFFTON

SHEET TITLE
SITE PLAN
 PLOTTED 12/23/2015

DATE
 NOV. 20, 2015
 DEC. 2, 2015
 DEC. 23, 2015

SHEET NUMBER
1
 JOB NUMBER
1533

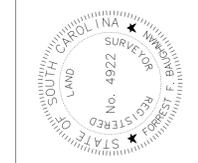
T-SQUARE GROUP, INC.
 PROFESSIONAL LAND SURVEYORS
 P.L. Driver, 330
 198 Fern Hill, Columbia, SC 29910
 tsquare@earthlink.net
 Phone 843-757-2650 Fax 843-757-5758
 JDB No. 09-0731

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
JERRY REEVES, III
 A TREE & TOPOGRAPHIC SURVEY OF LOT 15 & 16, TABB SHELL ROAD,
 A PORTION OF TABB SHELL SUBDIVISION,
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
 LOT 15 = DIST. 611, MAP 39, PARCEL 1195
 LOT 16 = DIST. 611, MAP 39, PARCEL 1196

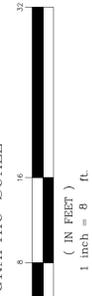
NOTES:
 1. According To FEMA Flood Insurance Rate Map # 450625 015D
 This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum
 Required Elevation N/A Ft. NGVD29
 2. All Utility Lines To Be Located By A Licensed Professional Engineer
 And Other Codes That May Be Imposed By A Competent Title Source
 3. This Survey Was Performed Without The Benefit Of A Wetland Delimitation
 And Delineation Report
 4. All Building Setback Requirements Should Be Verified With The Proper
 Authorities Prior To Design And Construction.
 A PLAT OF TABB SHELL SUBDIVISION BY
 FORREST F. BAUGHMAN, PLS#4922 PREPARED FOR REEVES BROTHERS
 DEVELOPMENT, LLC, DATED AUGUST 17, 2004.
 DATE: NOVEMBER 23, 2009



I, JERRY REEVES, III, HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
 THAT THE ABOVE SURVEY WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
 THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
 OF SURVEYING IN THE STATE OF SOUTH CAROLINA,
 OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
 AS SPECIFIED THEREIN.



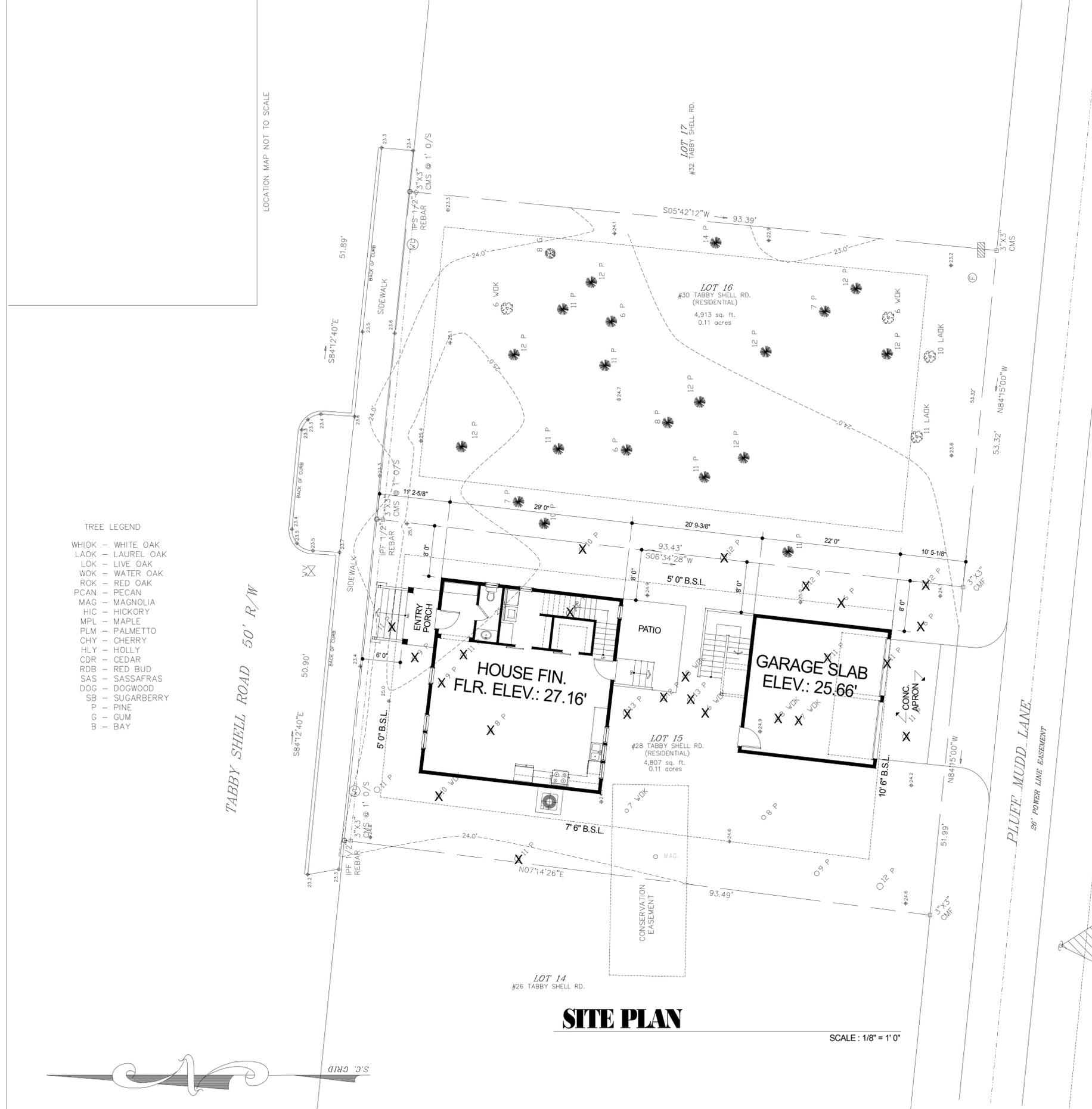
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 tsquare@earthlink.net
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 JDB No. 09-0731



DRAWN BY B.M.S.
 APPROVED BY F.F.B.
 PARTY CHIEF W.J.S.

- LEGEND
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - B.S.L. - BUILDING SETBACK LINE
 - TELEPHONE PEDESTAL / COMMUNICATOR
 - SEWER LATERAL
 - WATER LATERAL
 - FIBEROPTIC MANHOLE
 - SANITARY SEWER MANHOLE
 - ELECTRIC BOX
 - SPOT ELEVATION SHOTS
 - CONTOUR LINES
 - XFMR - TRANSFORMER
 - WATER LATERAL
 - WATER METER
 - WATER VALVE
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - GRATE INLET
 - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - GUY LINE
 - LIGHT POLE
 - STORM DRAIN MANHOLE
 - FIBEROPTICS MANHOLE

SITE IMPERVIOUS:
 TOTAL LOT SQ. FT.: 4,807 SQ. FT.
 SQ. FTG. OF IMPERV.: 1,868 SQ. FT.
 % OF IMPACT: 39%



SITE PLAN

SCALE: 1/8" = 1' 0"

- TREE LEGEND
- WHOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SUG - SUGARBERRY
 - PI - PINE
 - CUM - CUM
 - BAY - BAY

TABB SHELL ROAD 50' R/W

PLUFF MUDD LANE
 26' POWER LINE EASEMENT

LOCATION MAP NOT TO SCALE



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A RESIDENCE FOR :
MR. & MRS. SCOTT
 LOT #15, TABBY SHELL ROAD
 TABBY ROADS

SHEET TITLE
 FOUNDATION & ROOF PLANS

DATE
 DEC. 23, 2015

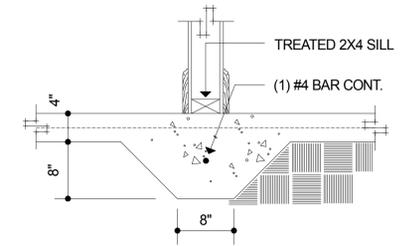
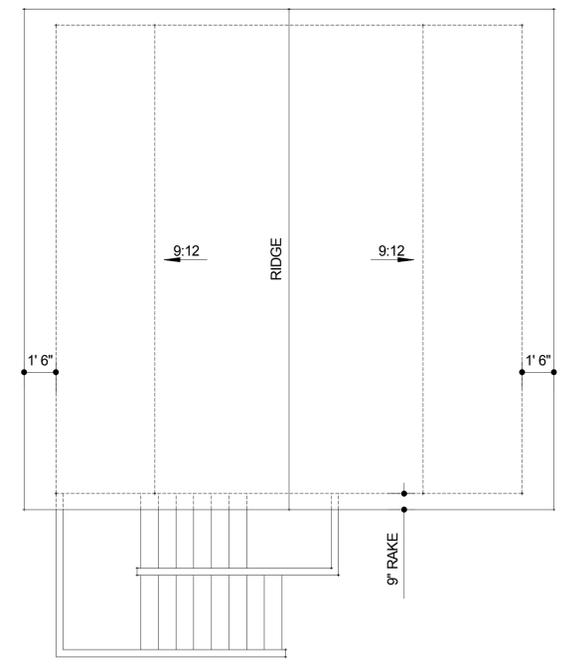
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JOB NUMBER

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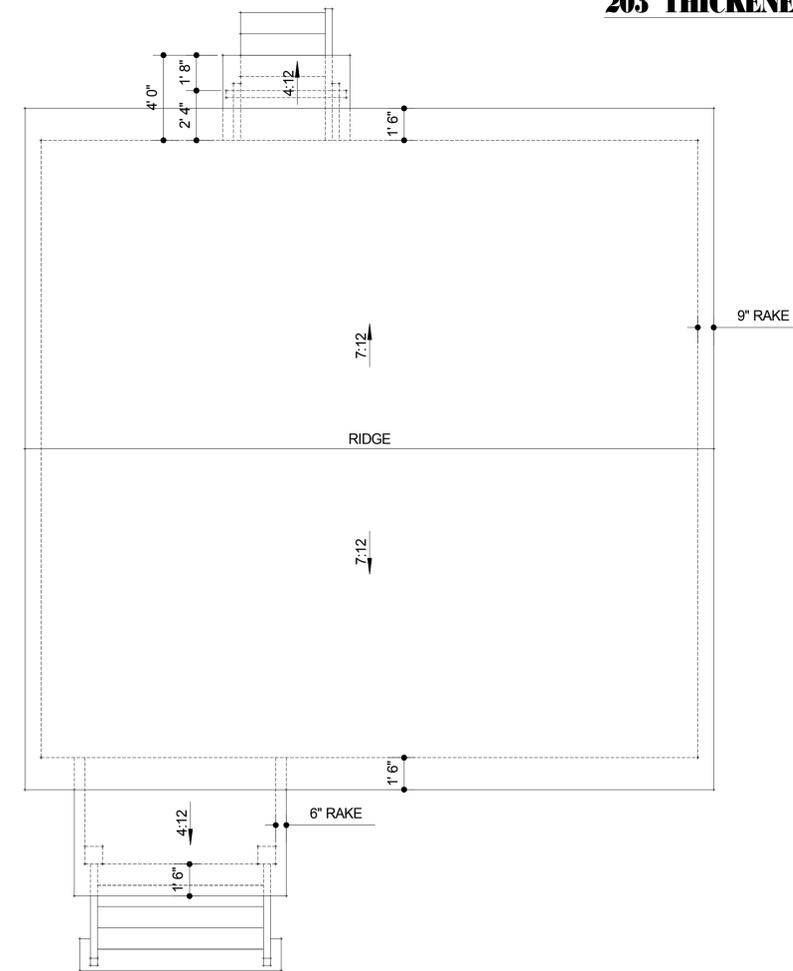
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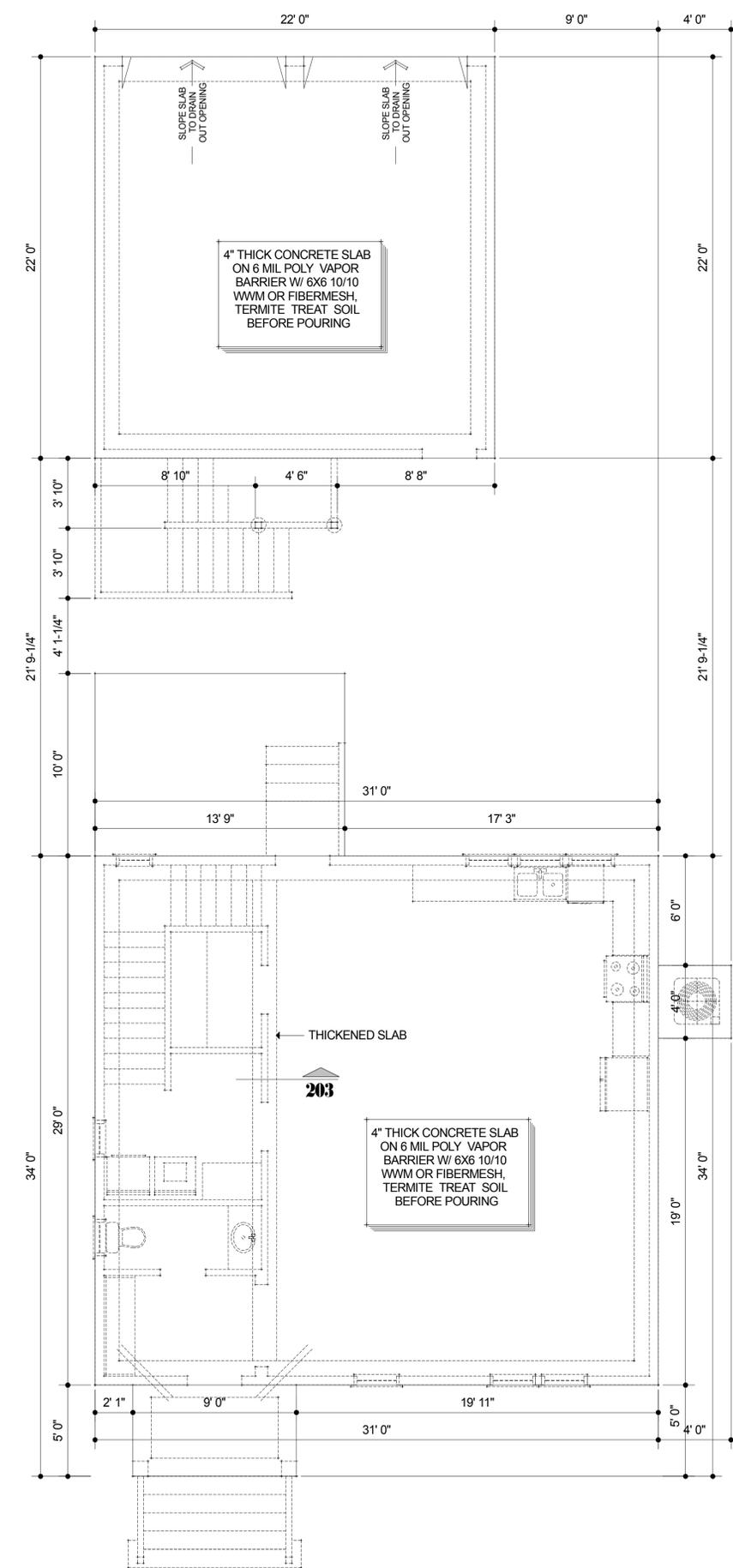


203 THICKENED SLAB DETAIL
 NO SCALE



202 ROOF PLANS

SCALE : 1/4" = 1' 0"



201 FOUNDATION PLANS

SCALE : 1/4" = 1' 0"

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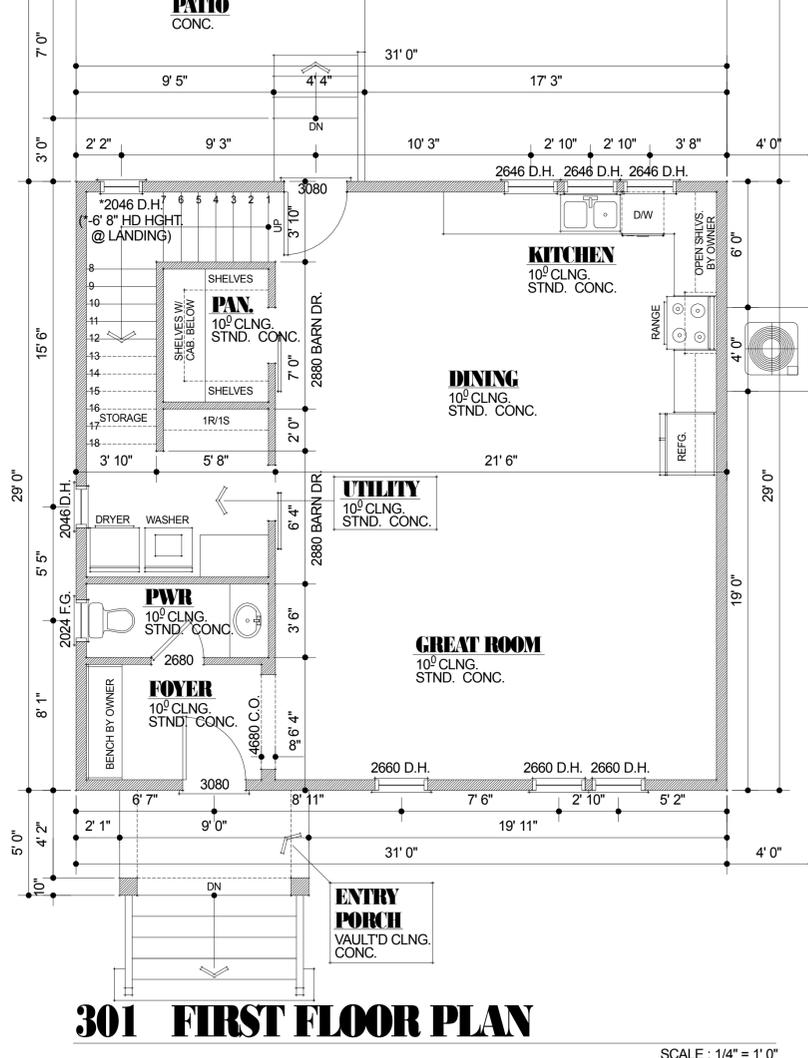
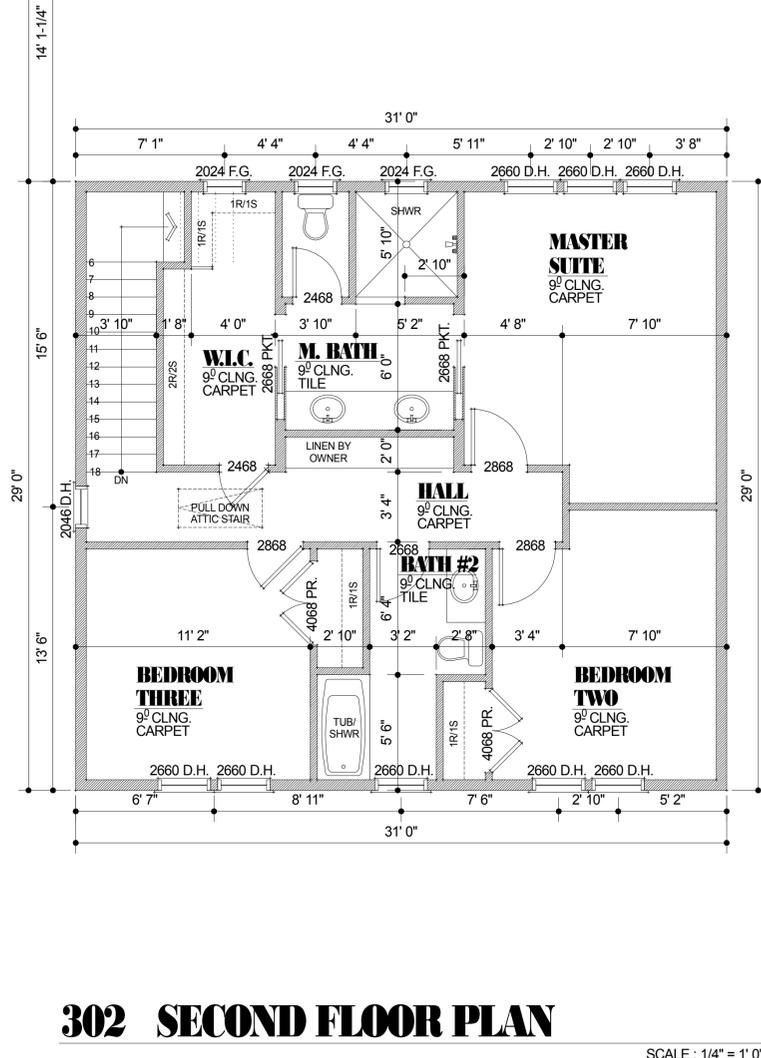
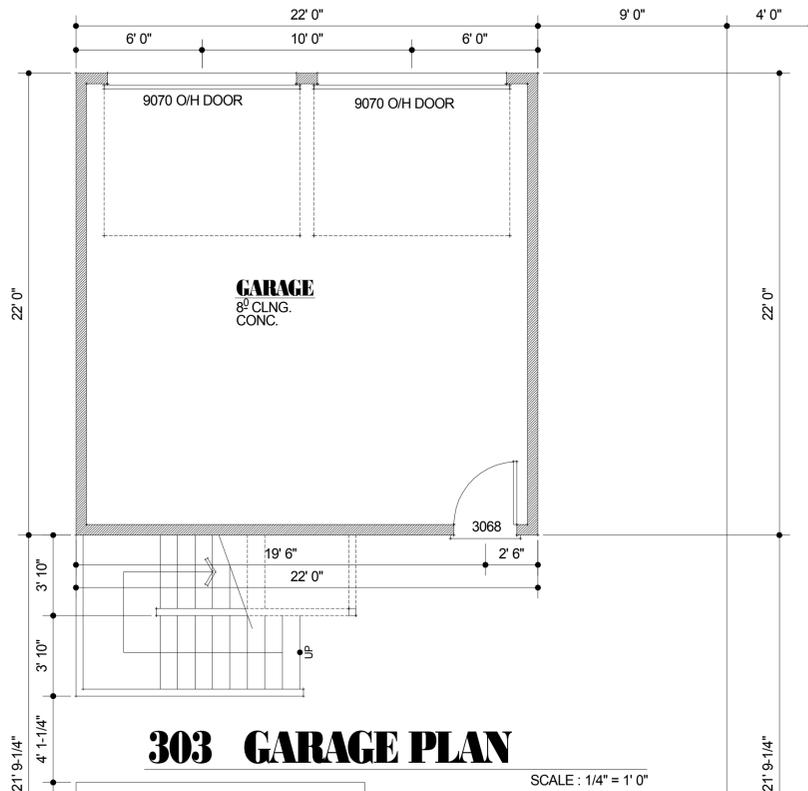
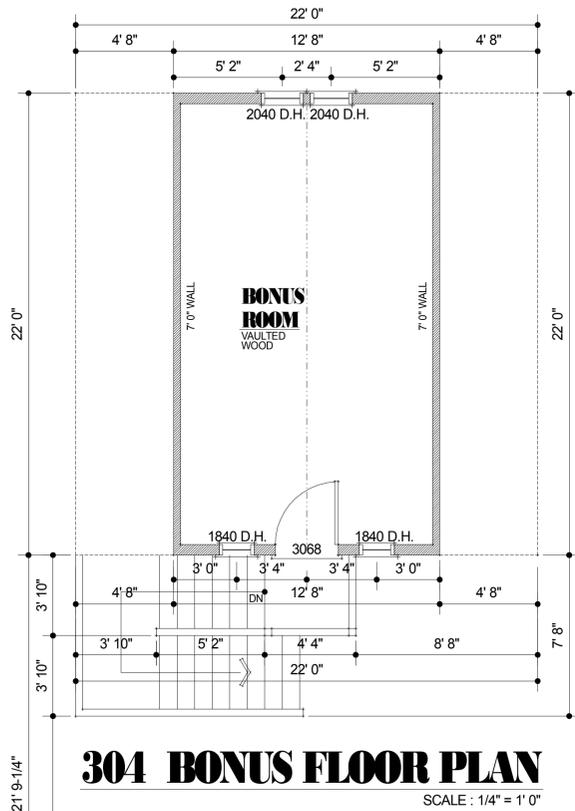
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A RESIDENCE FOR :
MR. & MRS. SCOTT
 LOT #15, TABBY SHELL ROAD
 TABBY ROADS

SHEET TITLE
 FLOOR PLANS

DATE
 DEC. 23, 2015
 PLOTTED 12/23/2015
 JOB NUMBER
 1533

SHEET NUMBER
3
 OF SHEETS



FIRST FLOOR	899 SF
SECOND FLOOR	841 SF
HOUSE TOTAL	1740 SF
BONUS ROOM	279 SF
TOTAL HEATED	2019 SF

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REVISIONS
 DECEMBER 17, 2015
 FULL FRT. PORCH, ADDED SHUTTERS, B&B SIDING @ GARAGE, ENTRY LIGHTS

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A RESIDENCE FOR:
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 TABBY ROADS

SHEET TITLE
 ELEVATIONS

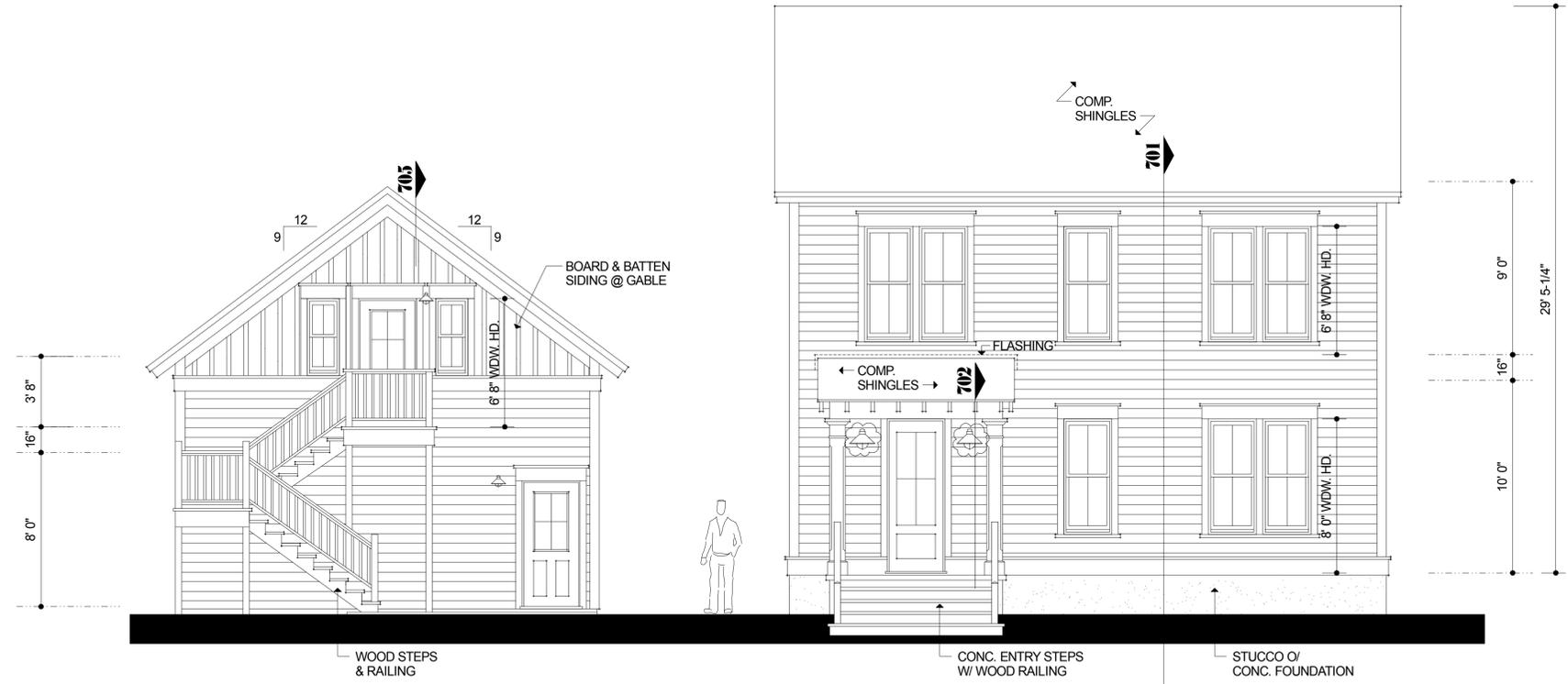
DATE
 DEC. 23, 2015
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JOB NUMBER
 1533

SHEET NUMBER
4
 OF SHEETS



402 LEFT SIDE ELEVATION

SCALE : 1/4" = 1' 0"



401 FRONT ELEVATION

SCALE : 1/4" = 1' 0"

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REVISIONS
 DECEMBER 17, 2015
 B&B SIDING @ GARAGE
 REAR PATIO LIGHTS

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SHEET TITLE
 ELEVATIONS

DATE
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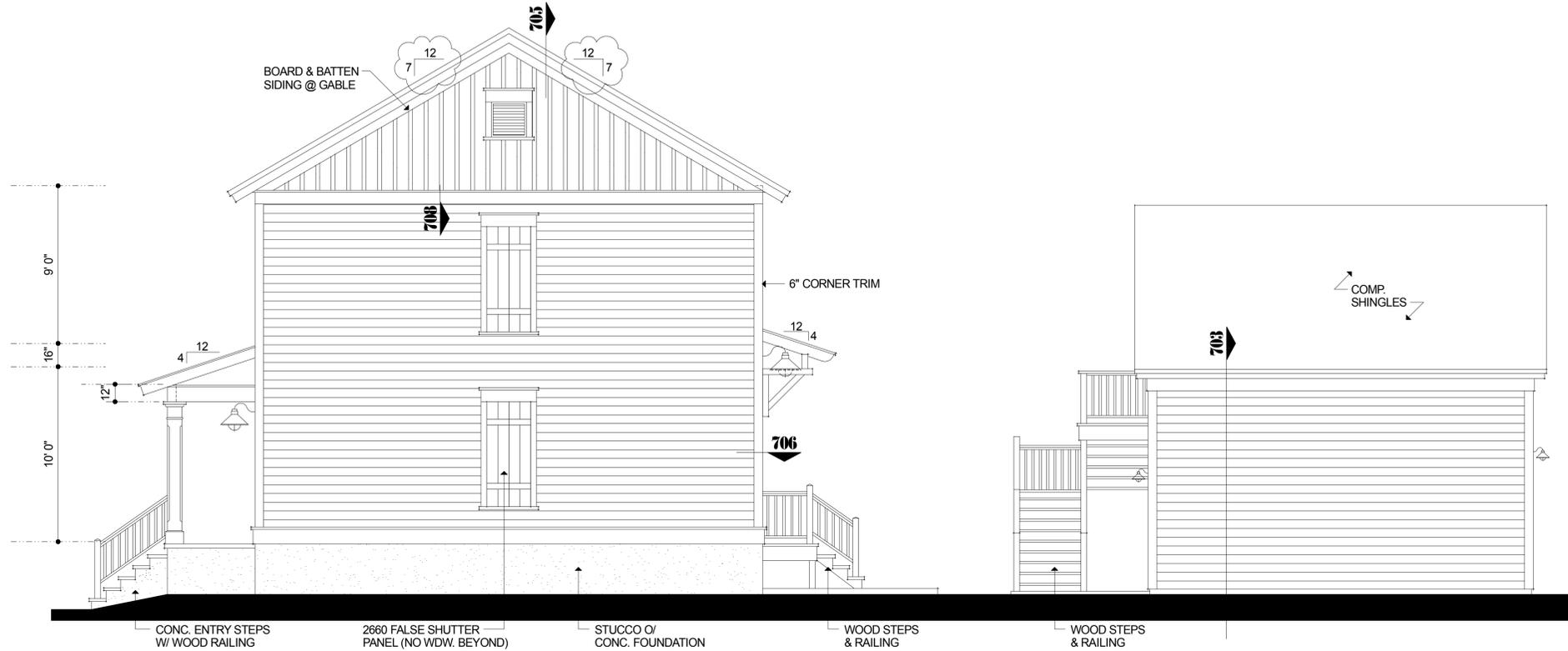
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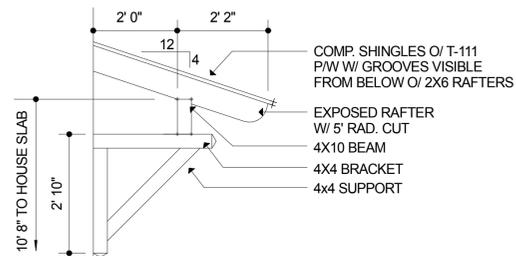
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OF SHEETS



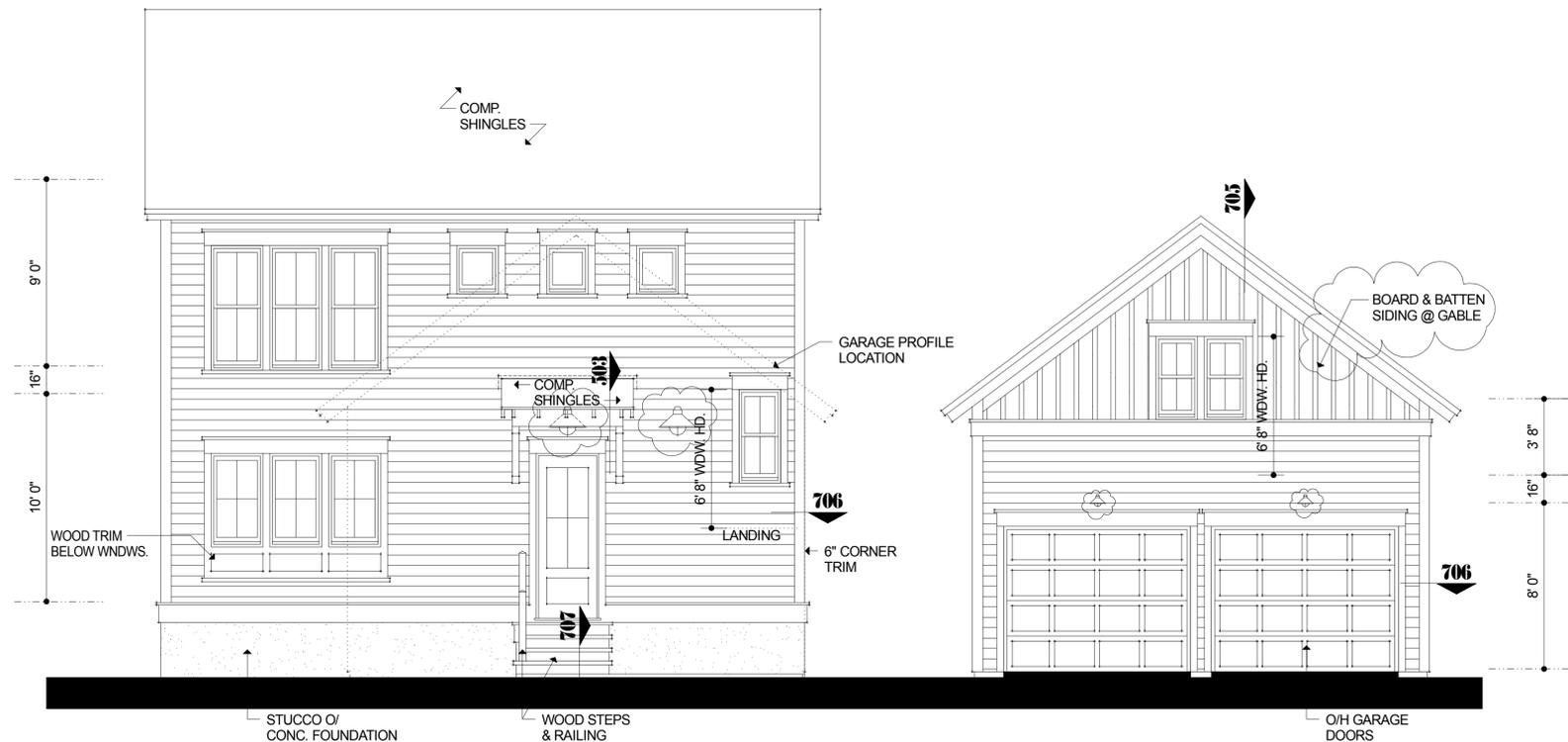
502 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"



503 ROOF/BRACKET DETAIL

SCALE 1/2" = 1' 0"



501 REAR ELEVATION

SCALE: 1/4" = 1' 0"

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REVISIONS

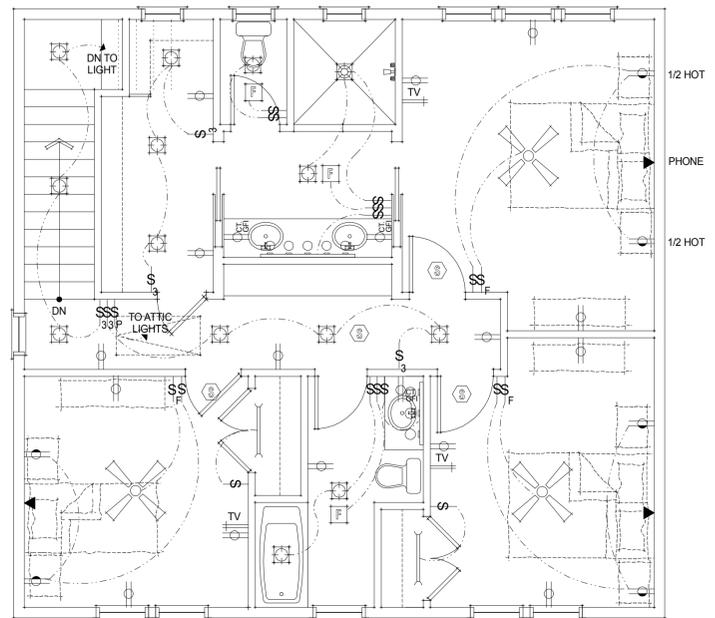
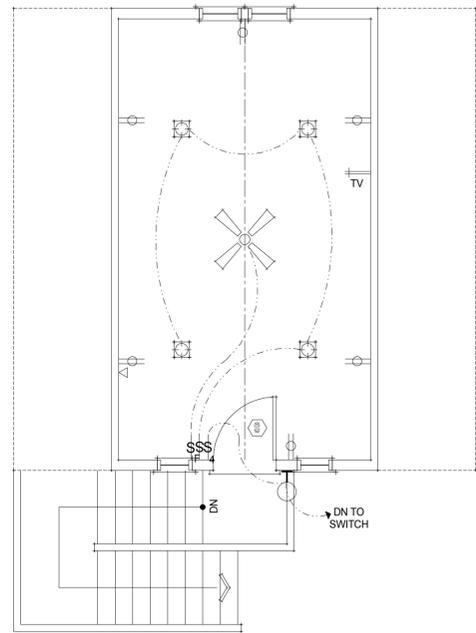
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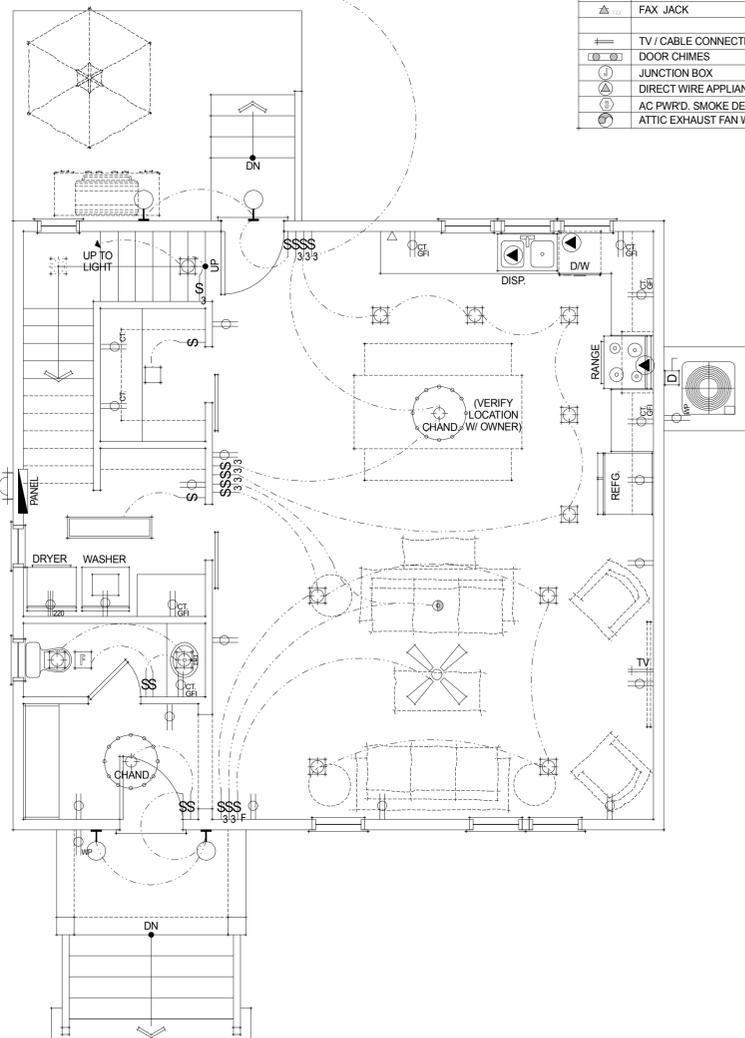
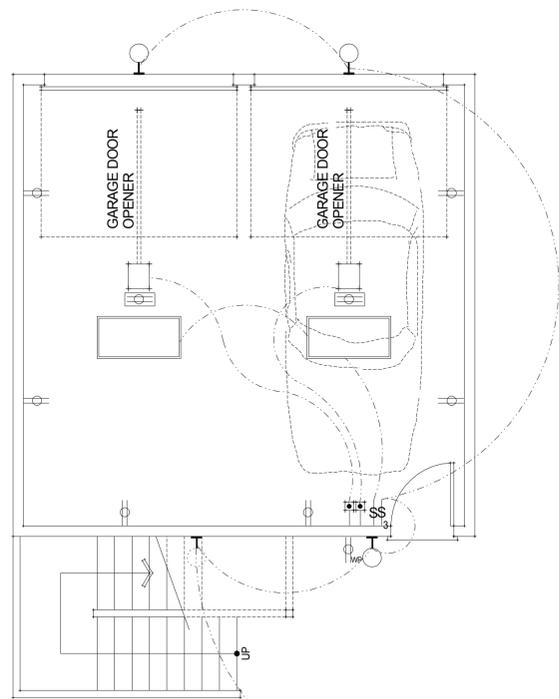
SHEET TITLE
 ELECTRICAL PLANS

DATE
 DEC. 23, 2015
 PLOTTED 12/23/2015
JOB NUMBER
 1533

SHEET NUMBER
6
 OF SHEETS



602 2ND FLR. ELECTRICAL PLAN
 SCALE : 1/4" = 1' 0"



601 1ST FLR. ELECTRICAL PLAN
 SCALE : 1/4" = 1' 0"

ELECTRICAL LEGEND			
	110 VOLT DUPLEX RECEPTICAL		EXHAUST FAN
	110 V. DUP. RECEPT./SWTCHD.		EXHAUST FAN / LIGHT
	220 VOLT RECEPTICAL		EXHST. FAN / LGHT. / HEAT LAMP
	110 V. WEATHER PRF. RECEPT.		RECESSED DOWN LIGHT
	110 V. DUP. FLOOR RECEPT.		SURFACE MNTD. INCANDESCENT
	110 V. GRND. FLT. DUP. RECEPT.		EMERGENCY EXIT LIGHT
	110 V. DEDICATED CIRCUIT		VANITY STRIP LIGHT
	110 V. SURGE PROTECTD RECEPT.		RECESSED WALL WASH
	110 V. CTRIP GRD. FT. RECEPT.		ADJUSTABLE EYEBALL
	SINGLE POLE SWITCH		WALL MOUNTED BRACKET LIGHT
	3-WAY SWITCH		WALL SCONCE
	4-WAY SWITCH		CHANDELIER FIXTURE
	DIMMER SWITCH		KEYLESS FIXTURE (SWITCHED)
	SWITCH BY FAN MANUFTR.		KEYLESS FIXTURE (PULL CHAIN)
	SWITCH WITH PILOT LIGHT		RECESSED FLRSCNT. FIXTURE
	PUSH BUTTON SWITCH		SURFACE MNTD. FLRSCNT. FIXTURE
	QUICK DISCONNECT SWITCH		CEILING FAN
	COMPUTER NET. JACK		CEILING FAN WITH LIGHT KIT
	TELEPHONE JACK		TRACK LIGHTING
	FAX JACK		UNDER CABINET STRIP LIGHT
	TV / CABLE CONNECTION		CLOSET LIGHT
	DOOR CHIMES		STEP LIGHT FIXTURE
	JUNCTION BOX		DOUBLE SECURITY LIGHT
	DIRECT WIRE APPLIANCE		WALL MOUNTED STRIP LIGHT
	AC PHWRD. SMOKE DETECTOR		SURROUND SOUND SPEAKER
	ATTIC EXHAUST FAN W / TSTAT		FLOOR OUTLET / SWITCHED

602 2ND FLR. ELECTRICAL PLAN
 SCALE : 1/4" = 1' 0"

601 1ST FLR. ELECTRICAL PLAN
 SCALE : 1/4" = 1' 0"



PLAN REVIEW COMMENTS FOR COFA-11-15-009413

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 11/19/2015
Plan Status: Active **Plan Address:** 28 Tabby Shell Rd
 BLUFFTON, SC 29910
Case Manager: Erin Schumacher **Plan PIN #:** R611 039 000 1195 0000
Plan Description: The applicant is requesting a Certificate of Appropriateness for the construction of a new three bedroom, two and a half bathroom, 1740 sq. ft. with a 2 car garage and 279sq. ft. bonus room above.
STATUS: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the November 30th meeting.

Staff Review (HD)

Submission #:	Received:	Completed:		
Reviewing Dept.	Complete Date	Reviewer	Status	
1	11/23/2015			
Growth Management Dept Review (HD)	11/30/2015	Erin Schumacher	Revisions Required	
Comments:				
1. The right elevation lacks fenestration. Per Section 5.15.6.F.4, the building elements shall be organized in a logical sequential order and horizontal and vertical rhythm should be established through the organization of the architectural elements. Consider incorporating building elements to create visual interest and create rhythm in the facade. 2. On sheets 3 and 4 there are several small horizontal windows. Per UDO Section 5.15.6.1.b & 5.15.6.3.b, windows must be oriented vertically and can be rectangular or square in configuration. Change these to a permitted configuration. 3. The garage door is shown as a double garage door. Per UDO Sections 5.15.7.H.1 & 5.15.8.F the garage door is not permitted to be larger than 12 feet in width. Reduce the width of the garage door to meet these requirements. 4. As the project moves toward Final submittal, a letter of approval from the Tabby Roads HARB is required per the Applications Manual.				
HPRC Review	11/30/2015	Erin Schumacher	Revisions Required	
Comments:				
1. On the Front Elevation of the garage, the windows interfere with the frieze board. Per Section 5.15.5.F.4.c of the UDO, building elements and their spaces between them shall be organized in a logical sequential manner. To meet the intent of the code, the windows should be reduced in scale or moved closer to the door so the trim does not interfere with the frieze board. 2. The entablature above the front porch columns currently does not align with the edge of the column. Per Section 50 of the Traditional Construction Patterns the face of the entablature should always align with the face of the top of the column. This element should be revised to meet the requirements.				
Beaufort Jasper Water and Sewer Review		Dick Deuel	Pending Review	
Comments:				
No Comments.				
Engineering Department Review - HD		Karen Jarrett	Pending Review	
Comments:				
No Comments.				
Stormwater Review		William Baugher	Pending Review	

Comments:

No Comments.

Addressing Review	11/24/2015	Theresa Thorsen	Approved
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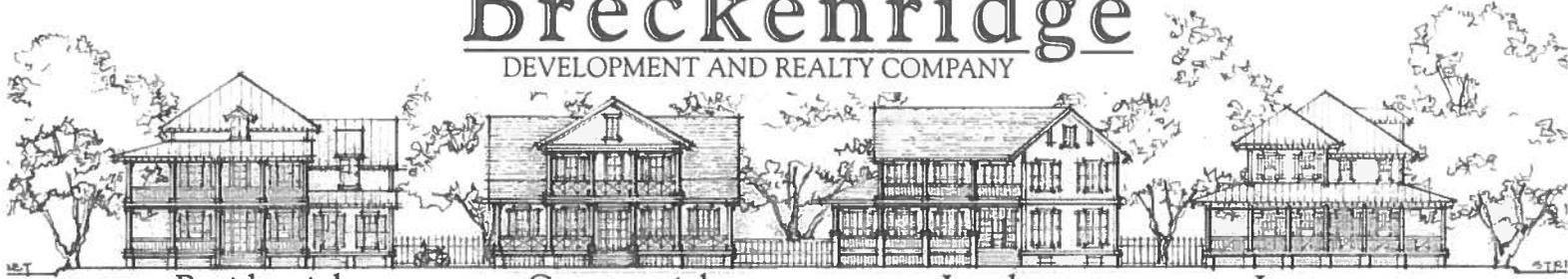
Comments:

No Comments.

Plan Review Case Notes:

Breckenridge

DEVELOPMENT AND REALTY COMPANY



Residential

Commercial

Land

Investment

Scott Residence – Lot 15 Tabby Roads

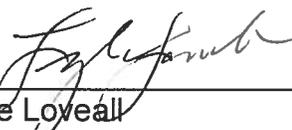
HARB Review:

- 1) Foundation needs to be no higher than 30". Needs to be a raised slab but not 36" above grade.
- 2) Front Porch needs to be a full front porch that covers the full width of the front of the house. The small single porch makes the home look unfinished and not complete. Porch to have Rafter tail finish.
- 3) Workable shutters need to be added to the front windows and the side windows on the left side of the house. When house color changes, the color of shutters will have to change.
- 4) The garage siding needs to be changed to board and batten to add detail to the total house. House is too plain and not enough architectural punch.
- 5) The house needs to be painted in a nice soft pastel color with white trim or reverse. The color selection to colored trim with a white base i.e. review roof color and shutter colors.
- 6) The asphalt type roof is acceptable but needs to be middle to high end Certainteed Shingles. Landmark –Pro is more in keeping with style and quality. Base on the color of the house black shingles may not work: may have to submit another color.
- 7) Need more details for the front steps. Materials and construction details.
- 8) Need photos or examples of Exterior Lighting.
- 9) This house needs to be moved over 5 feet to the right or west to give more room for a better drainage swale on the left side of the house. This should be acceptable without interfering with the conservation easement between lots #14 and 15. The conversation easement is there to protect the specimen trees on the lot line.
- 10) A more detail drainage plan needs to be reviewed from Brean Fennell (Key Engineer) on this lot.

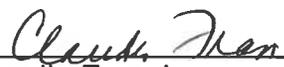
11) Landscape plan needs more work and clarity. We do not like the Bamboo being used as a screen between lots or anywhere. Bamboo needs a lot of control. There does not appear to be a lot of color in the landscape plan – need more color! What is the welded fence? Is that a living fence base? How does it mix with the conservation easement that separates Lot 14 and 15? The landscaping across the front needs to be redone because the porch will change. How does the landscaping work with the drainage swales? What does the wood privacy fence look like? More detail.

x 

Dick Francis
843-802-3060

x 

Lyle Loveall
843-757-5355

x 

Claudia Francis
843-802-3060